

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read Application And Notes, If Any, Attached

**PERMIT**

Permit Number: 070952

This is to certify that ARMSTRONG JULIE L / Home Owner

has permission to Addition to first floor of existing structure

AT 38 ARMSTRONG HEIGHTS

L 386A B034001 SEP 13 2007

PERMIT ISSUED  
CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS  
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

*Thomas M. Markley* 9/12/07  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Scanned

called Herb @ 8:30  
his  
~~9:30 - 10:00~~

called Julie Armstrong  
& left a message that  
permitted to get up  
9/12/07  
Jm

**City of Portland, Maine - Building or Use Permit Application**

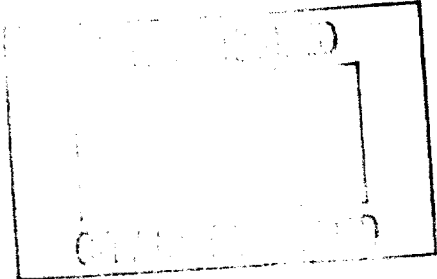
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0952	Issue Date:	CBL: 386A B034001
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Location of Construction: 38 ARMSTRONG HEIGHTS	Owner Name: ARMSTRONG JULIE L	Owner Address: 38 ARMSTRONG HEIGHTS	Phone: 615-1781
Business Name:	Contractor Name: Home Owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-2

Past Use: Single Family Home	Proposed Use: Single Family Home - Addition to first floor of existing structure	Permit Fee: \$1,420.00	Cost of Work: \$140,000.00	CEO District: 5
Proposed Project Description: Addition to first floor of existing structure		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B IRC 2003	
		Signature: <i>[Signature]</i> Date: 9/12/07		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 08/08/2007	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Date: <i>[Signature]</i> 9/16/07	Date: <i>[Signature]</i>	Date: <i>[Signature]</i>	



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

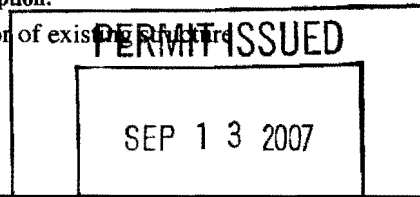
**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0952	Date Applied For: 08/08/2007	CBL: 386A B034001
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Location of Construction: 38 ARMSTRONG HEIGHTS	Owner Name: ARMSTRONG JULIE L	Owner Address: 38 ARMSTRONG HEIGHTS	Phone:
Business Name:	Contractor Name: Home Owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Addition to first floor of existing structure	Proposed Project Description: Addition to first floor of existing structure
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Dept: Zoning      Status: Approved with Conditions      Reviewer: Marge Schmuckal      Approval Date: 09/06/2007  
 Note:  Ok to Issue:

- 1) If in the future this new addition area is to be changed to an accessory unit, a conditional use appeal is required. It is the owner's responsibility at this time to review the conditional use standards to be sure what is being proposed at this time will meet the R-2 ordinance requirements for an accessory dwelling unit. It appears that Falmouth also has requirements for such a unit. Falmouth's regulations will also need to be met.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 5) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 6) There shall be NO pre-plumbing or pre-wiring for any future kitchen facilities at this time. Use approvals SHALL FIRST be granted before such work.

Dept: Building      Status: Approved with Conditions      Reviewer: Tom Markley      Approval Date: 09/12/2007  
 Note:  Ok to Issue:

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Comments:**

8/9/2007-mes: the original house was buildt in 2001 and was situated entirely within Portland. This new addition is partially in Portland and mostly in Falmouth. I can review for zoning on the Portland side and Falmouth will review on the Falmouth side. The owner brought in a scalable plot plan.

8/13/2007-mes: Got an e-mail from Al Farris - he said the side setbacks are 20' not the 15' shown. Falmouth's front and rear setbacks are 40' each which is being met. I will e-mail the applicant back for revised plans.

9/4/2007-mes: on 8/31/07 new plans were dropped off showing that the side setback now meets Falmouth's minimum side setback of 20'. However the building plans still show a kitchen being installed for a dwelling unit. I called Julie Armstrong and told her either she appeals or takes the kitchen off the plans.

**From:** "Julie Armstrong" <jarmstrong@cornerstonetitlecompany.com>  
**To:** <mes@portlandmaine.gov>  
**Date:** 8/13/2007 11:14:07 AM  
**Subject:** Armstrong-Coffin Proposed Addition to Map/Lot R05-75 in Falmouth, and CBL 386A B034001 in Portland

Dear Al and Marge,

First, thank you for taking the time to help me as I prepare to build an addition so I can care for my terminally ill grandfather. I really appreciate your efficiency and patience, and I am thrilled to be moving forward.

The reason for this note is to memorialize a conversation that I had with Patrice from Falmouth, at 8:45am today. Patrice informed me that the project is all set to move forward under the following circumstances:

1. I must have Al confirm with Marge (in writing, per Marge) that we can move forward with the plans so long as Portland approves of them. [Per Marge, this a.m., she is ready to sign off on zoning, once Al confirms this, and then the plans will be reviewed for building and a permit issued];
2. I must apply for an administrative permit from Falmouth so that Falmouth can merely defer to Portland's judgment so long as the setbacks for Falmouth were met, and per Patrice this a.m., the setbacks are fine.

Thus, I am now en route to Falmouth with a copy of the application I provided to Marge along with other pertinent documents. Upon Falmouth's receipt, would Al be so kind as to respond to this e-mail to Marge and me, and just confirm that Falmouth is all set to let Portland take over?

Thanks to all for the assistance!

Best Regards---

Julie Armstrong

**CC:** <afarris@town.falmouth.me.us>

The reason for this note is to memorialize a conversation that I had with Patrice from Falmouth, at 8:45am today. Patrice informed me that the project is all set to move forward under the following circumstances:

1. I must have Al confirm with Marge (in writing, per Marge) that we can move forward with the plans so long as Portland approves of them. [Per Marge, this a.m., she is ready to sign off on zoning, once Al confirms this, and then the plans will be reviewed for building and a permit issued];
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Thanks to all for the assistance!

Best Regards---

Julie Armstrong

CC: "Justin Brown" <jbrown@town.falmouth.me.us>, "Patrice Perreault" <pperreault@town.falmouth.me.us>

# Door Schedule

Exterior Doors are 3068

Interior Doors

1. 3068
2. 3068
3. 4068
4. 4068
5. 4068
6. 4068
7. 2668
8. 5068
9. 5068

# Window Schedule

Windows will be Harvey Brand (Harvey Egress windows are 3052)

All windows have a U-Factor (Low E with Argon Gas of 0.32)

Windows:

1. 3052
2. 3052
3. 3052
4. 3052
5. 3052
6. 3052 with Side Lights
7. 3052
8. 3052
9. 3052-2 with Side Lights
10. 363-2
11. Anderson/Harvey Equivalent of CW26/CW24 with triangular tops
12. Anderson/Harvey Equivalent of CW26/CW24 with triangular tops
13. 2030



**\* EMERGENCY \***  
**Permitting By Appointment**

- if necessary -

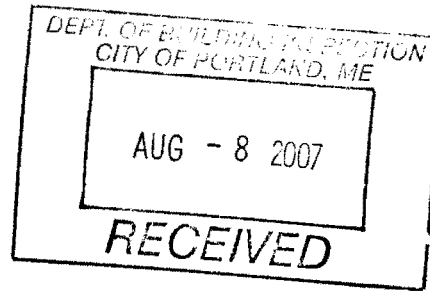
As part of Portland's city-wide effort to improve customer service and help streamline doing business within the City, the Inspections Division has developed a new permitting system for qualified properties and for specific construction projects. Under this new program, you may be eligible to receive a building permit on the day you have a scheduled appointment with Inspection staff.

**This permitting program applies only to existing one and two family homes not located within a historic district or shore land zone.**

**Eligible Projects**

**Please submit a complete application with the required plans**

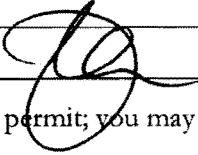
- Interior renovations, gut rehabs including structural changes
- Attached and detached garages
- Additions, decks, sheds, pools, dormers
- Rebuild of any exterior structure listed above



Inspections are still required per City Code of Ordinance.

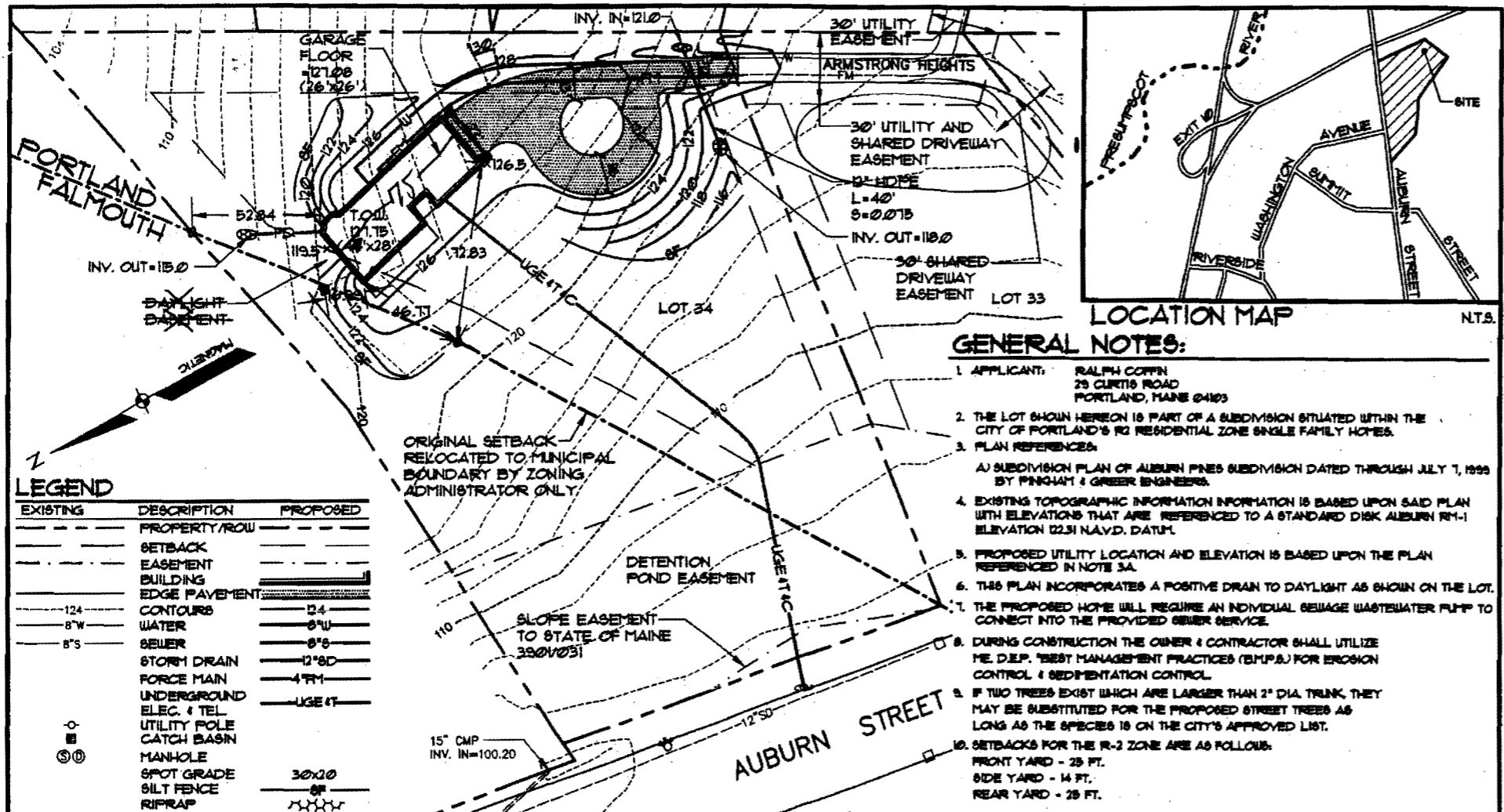
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that this project meets the above criteria and that the work performed will not go beyond these parameters.

Signature of applicant: 	Date: August 7, 2007
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This is not a permit; you may not commence ANY work until the permit is issued.





**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	CONTOURS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	FORCE MAIN	---
---	UNDERGROUND ELEC. & TEL.	---
○	UTILITY POLE	---
■	CATCH BASIN	---
⊙	MANHOLE	---
---	SPOT GRADE	---
---	SILT FENCE	---
---	RIPRAP	---

- GENERAL NOTES:**
1. APPLICANT: RALPH COFFIN  
29 CURTIS ROAD  
PORTLAND, MAINE 04103
  2. THE LOT SHOWN HEREON IS PART OF A SUBDIVISION SITUATED WITHIN THE CITY OF PORTLAND'S R2 RESIDENTIAL ZONE SINGLE FAMILY HOMES.
  3. PLAN REFERENCES:  
A) SUBDIVISION PLAN OF AUBURN PINES SUBDIVISION DATED THROUGH JULY 1, 1999 BY PINGHAM & GREER ENGINEERS.
  4. EXISTING TOPOGRAPHIC INFORMATION IS BASED UPON SAID PLAN WITH ELEVATIONS THAT ARE REFERENCED TO A STANDARD DISK AUBURN RM-1 ELEVATION (2231 N.A.V.D. DATUM).
  5. PROPOSED UTILITY LOCATION AND ELEVATION IS BASED UPON THE PLAN REFERENCED IN NOTE 3A.
  6. THIS PLAN INCORPORATES A POSITIVE DRAIN TO DAYLIGHT AS SHOWN ON THE LOT.
  7. THE PROPOSED HOME WILL REQUIRE AN INDIVIDUAL SEWAGE WASTEWATER PUMP TO CONNECT INTO THE PROVIDED SEWER SERVICE.
  8. DURING CONSTRUCTION THE OWNER & CONTRACTOR SHALL UTILIZE ME. D.E.P. BEST MANAGEMENT PRACTICES (B.M.P.'S) FOR EROSION CONTROL & SEDIMENTATION CONTROL.
  9. IF TWO TREES EXIST WHICH ARE LARGER THAN 2" DIA. TRUNK, THEY MAY BE SUBSTITUTED FOR THE PROPOSED STREET TREES AS LONG AS THE SPECIES IS ON THE CITY'S APPROVED LIST.
  10. SETBACKS FOR THE R-2 ZONE ARE AS FOLLOWS:  
FRONT YARD - 25 FT.  
SIDE YARD - 14 FT.  
REAR YARD - 25 FT.

**Sebago Technics**  
Engineering & Planning for the Future  
One Chabot Street  
Westbrook, Me 04098-1339  
Tel (207) 856-0277

**PLOT PLAN - ARMSTRONG RESIDENCE**  
OF:  
**LOT 34 AUBURN PINES SUBDIVISION**  
AUBURN PINES DRIVE  
PORTLAND, ME  
FOR:  
**RALPH COFFIN**  
29 CURTIS ROAD  
PORTLAND, MAINE 04103

DESIGN BY: JRS  
DRAWN BY: MAL  
CHECKED BY: -  
DATE: 9-19-01  
SCALE: 1"=40'  
FIELD BK: -  
PROJ. NO: 01415  
DRAWING: 01415LOT34  
**SHEET 1 OF 1**





**CITY OF PORTLAND, MAINE**  
 Department of Building Inspections

8-2 20 07

Received from Mark Armstrong

Location of Work 38 Armstrong Heights

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 1,420

Building (U) \_\_\_\_\_ Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 386-NTS-34

Check # 1,420 Total Collected \$ 1,420

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

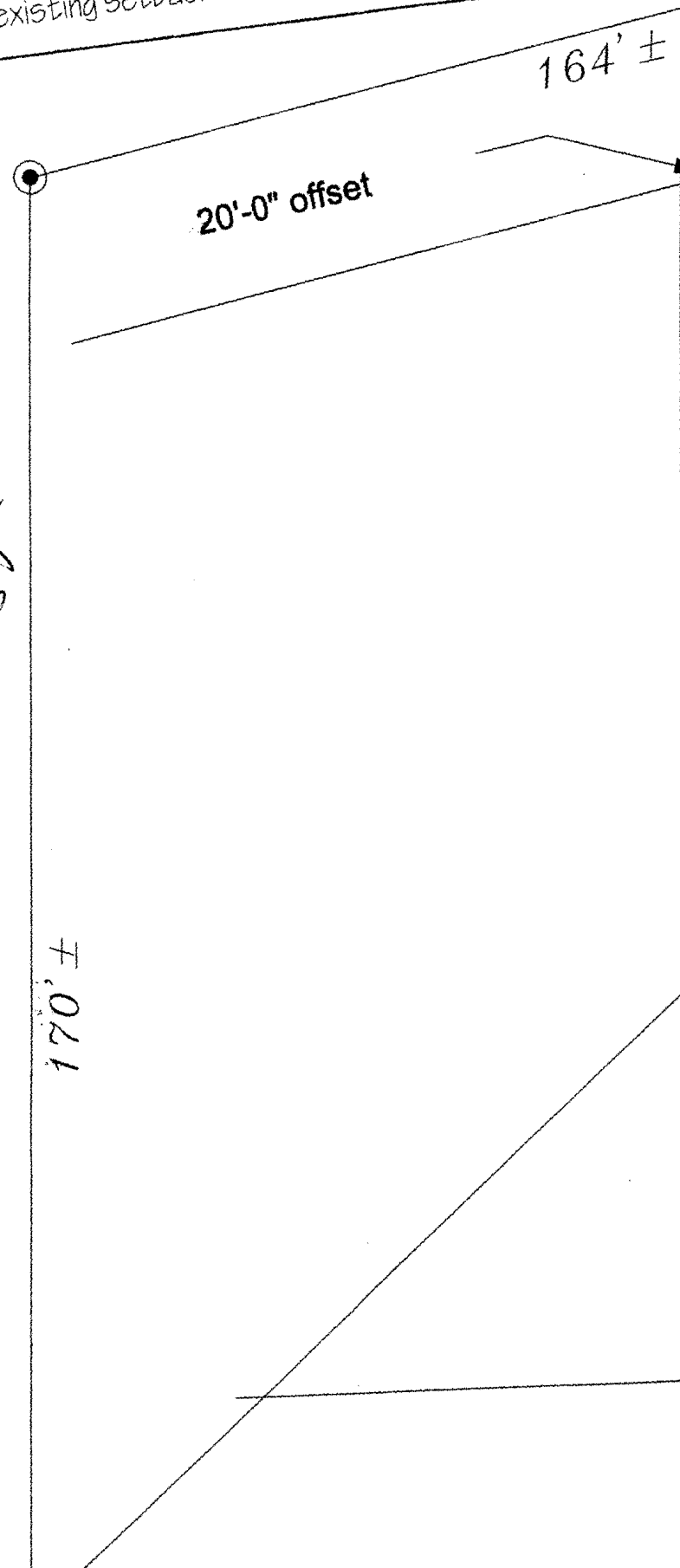
WHITE - Applicant's Copy  
 YELLOW - Office Copy  
 PINK - Permit Copy

ing to locate the proposed addition relative to the existing structure on the previously described & accepted property.  
3) Verify existing setbacks in field prior to any construction.

Front  
Auburn St

Side

REAR



Proposed Single Story Addition

Extended Porch

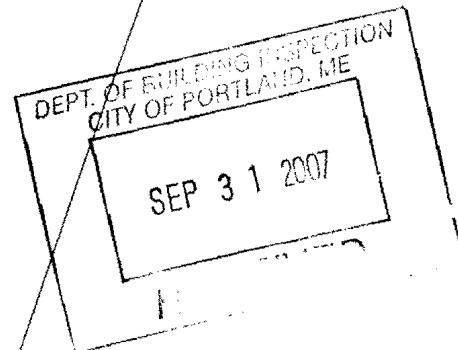
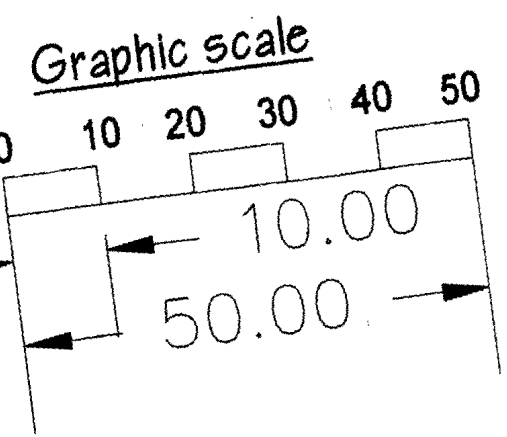
Porch

Exist. 2 Story Duelling

Ex. Garage

Paved Drive

side



Ground