

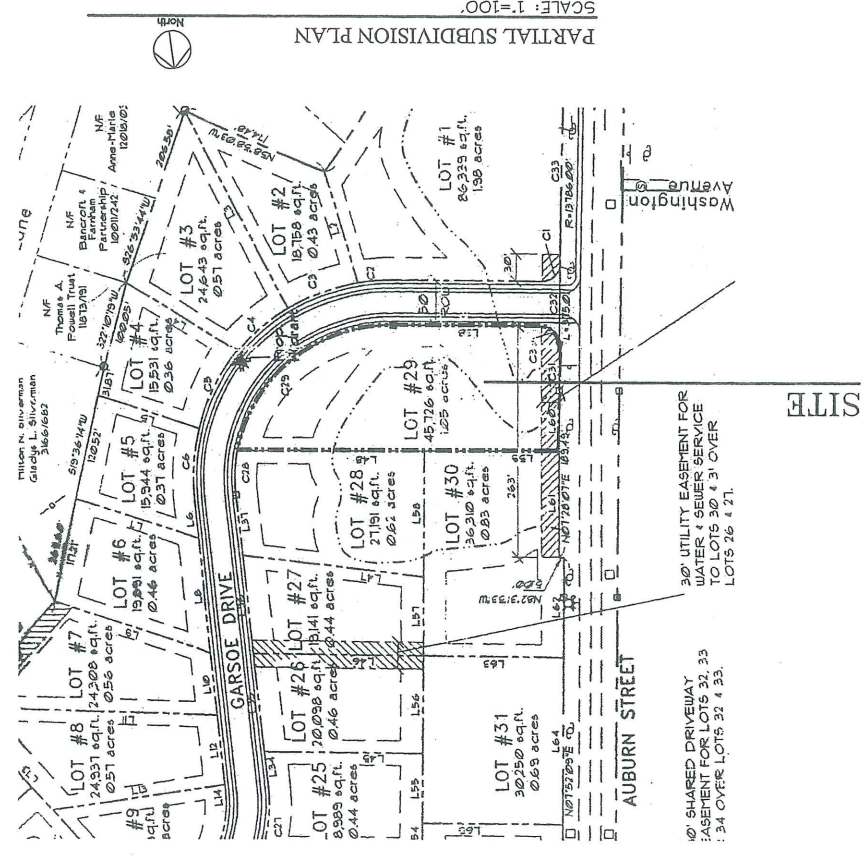
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34-34 Garsoe Dr, Portland, ME

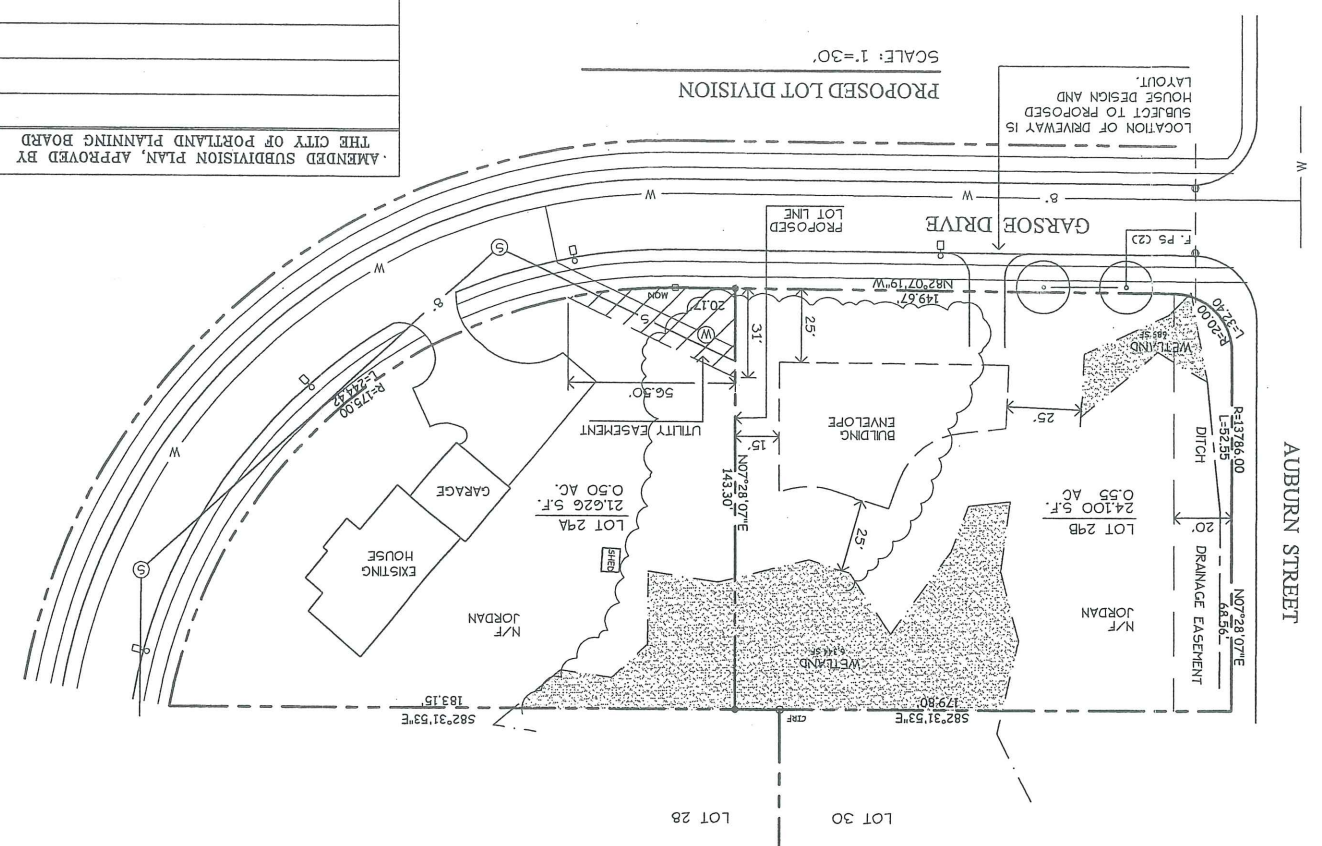
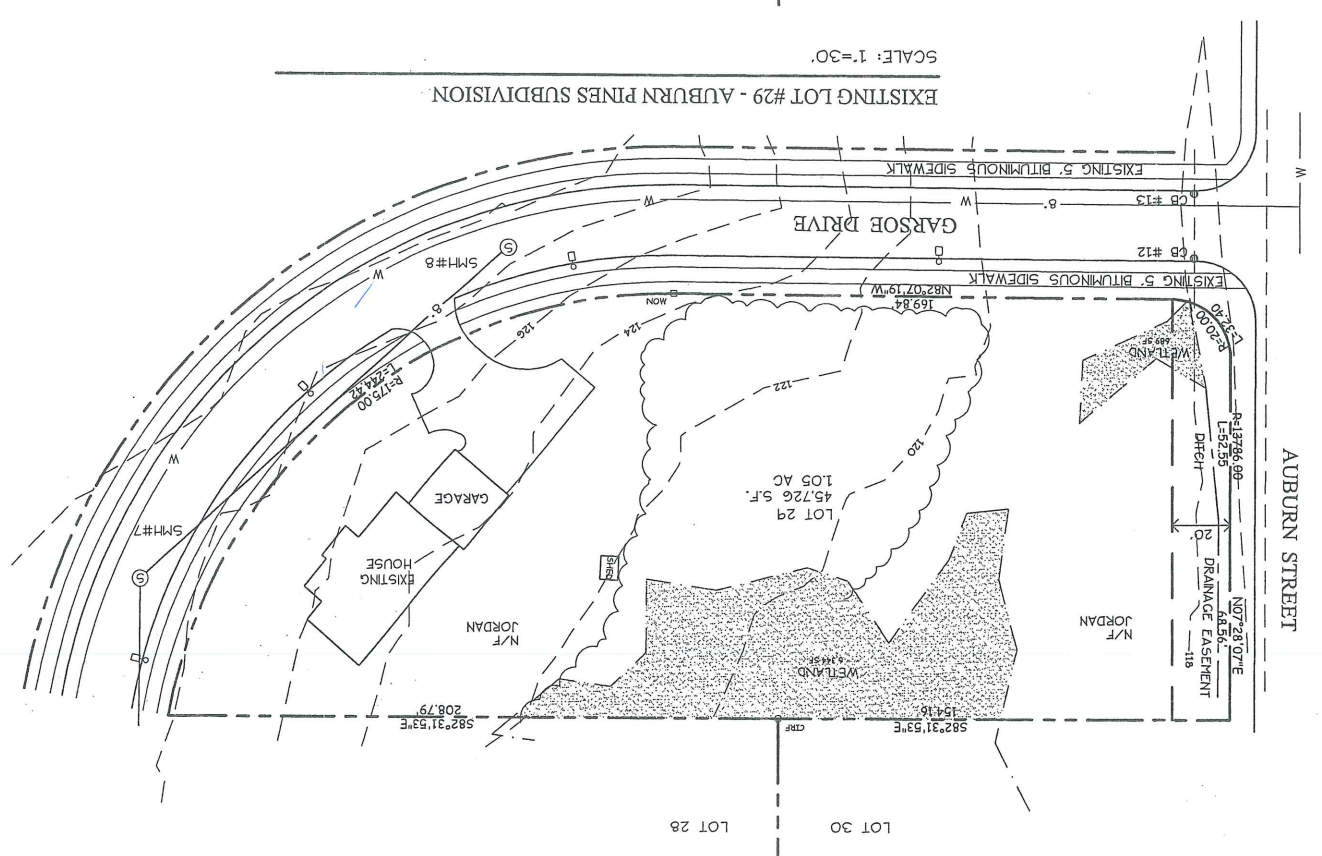
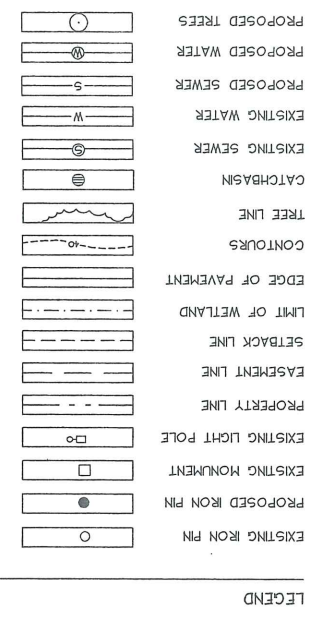
Amendment to plan - Auburn pines Su

Jordan Charles M d

34 Garsoe Dr, Portland, ME 04103



- ZONING REQUIREMENTS**
- ZONING DISTRICT: R2 - RESIDENTIAL
  - MINIMUM LOT SIZE (RESIDENTIAL): 10,000 S.F.
  - MINIMUM AREA PER DWELLING UNIT: 10,000 S.F.
  - MINIMUM STREET FRONTAGE: 50 FEET.
  - MINIMUM YARD DIMENSIONS:
    - FRONT YARD (PRINCIPAL STRUCTURE): 25 FEET.
    - REAR YARD (PRINCIPAL STRUCTURE): 25 FEET.
    - SIDE YARD: 12 FEET.
    - 1 1/2 STORIES: 12 FEET.
    - 2 STORIES: 14 FEET.
    - 2 1/2 STORIES: 16 FEET.
  - FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN 12 FEET.
  - MAXIMUM LOT WIDTH: 80 FEET.
  - MAXIMUM LOT COVERAGE: 20% OF AREA.
  - MAXIMUM HEIGHT (PRINCIPAL STRUCTURE): 35 FEET.
- GENERAL NOTES:**
- THIS AMENDED SUBDIVISION PLAN DIVIDES THE ORIGINAL LOT 29 INTO TWO LOTS, LOT #29A AND LOT #29B.
  - ALL CONDITIONS OF APPROVAL FOR THE ORIGINAL SUBDIVISION AUBURN PINES SUBDIVISION, AUBURN ST., PORTLAND, ME DATED APRIL 26, 1999 APPLY TO LOTS #29A AND LOT #29B.
  - STAIWIDE SURVEYS, INC. ON AUGUST 19, 2006.
  - THE WETLAND BOUNDARIES WERE MAPPED USING A TRIMBLE PRO-XRS GPS UNIT WITH SUB-METER CAPABILITIES AND COULD VARY FROM ACTUAL SURVEYED LOCATIONS.
  - BOUNDARY INFORMATION PER "AUBURN PINES SUBDIVISION" PREPARED BY PINKHAM + GREER DATED APRIL 28, 1999 REVISED THRU 7/20/99 RECORDED IN PLAN BOOK 199 PAGE 393.
  - NEW HOME SHALL HAVE ITS NUMBER CLEARLY VISIBLE FROM THE ROAD.
  - NEW LOT SHALL BE SERVICED BY PUBLIC SEWER AND WATER.
  - POWER, TELEPHONE AND CABLE SHALL BE UNDERGROUND.
  - NEW LOT SHALL REQUIRE THE SUBMISSION OF A MAJOR SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

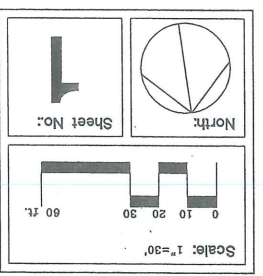


**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	F. P5	2	FRAXINUS PENNSYLVANICA 'SUMMIT'	SUMMIT GREEN ASH
			TREES	

DATE: \_\_\_\_\_

THE CITY OF PORTLAND PLANNING BOARD  
AMENDED SUBDIVISION PLAN, APPROVED BY \_\_\_\_\_



**Title:** SUBDIVISION PLAN AMENDED

**Revisions:**

Date:	SEPTEMBER 27, 2006
Issued For:	LOT DIVISION APPROVAL

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**34 GARSOE DRIVE**

**AUBURN PINES**

**PORTLAND, MAINE**

Prepared For: PHILIP AND CHARLENE JORDAN  
34 Garsoe Drive  
Portland, Maine 04103  
Tel: (207) 774-4427

Prepared By: MITCHELL & ASSOCIATES  
Landscape Architects  
The Staples School  
70 Center Street  
Portland, Maine 04101

A#6

A#6

Prepared For:  
 PHILIP AND CHARLENE JORDAN  
 34 Garsoe Drive  
 Portland, Maine 04103

Prepared By:  
 MITCHELL & ASSOCIATES  
 Landscape Architects  
 The Staples School  
 70 Center Street  
 Portland, Maine 04101  
 Tel: (207) 774-4427

**AUBURN PINES**  
 34 GARSOE DRIVE  
 PORTLAND, MAINE

Date:  
 SEPTEMBER 27, 2006

Issued For:  
 LOT DIVISION  
 APPROVAL

Revisions:

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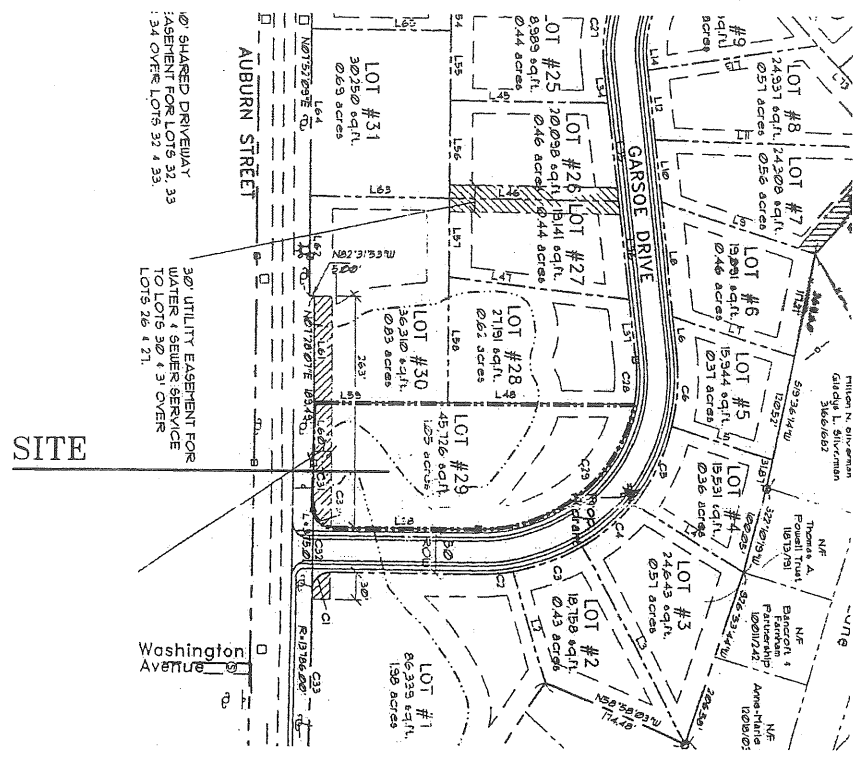
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 AMENDED  
 SUBDIVISION PLAN

Scale: 1"=30'

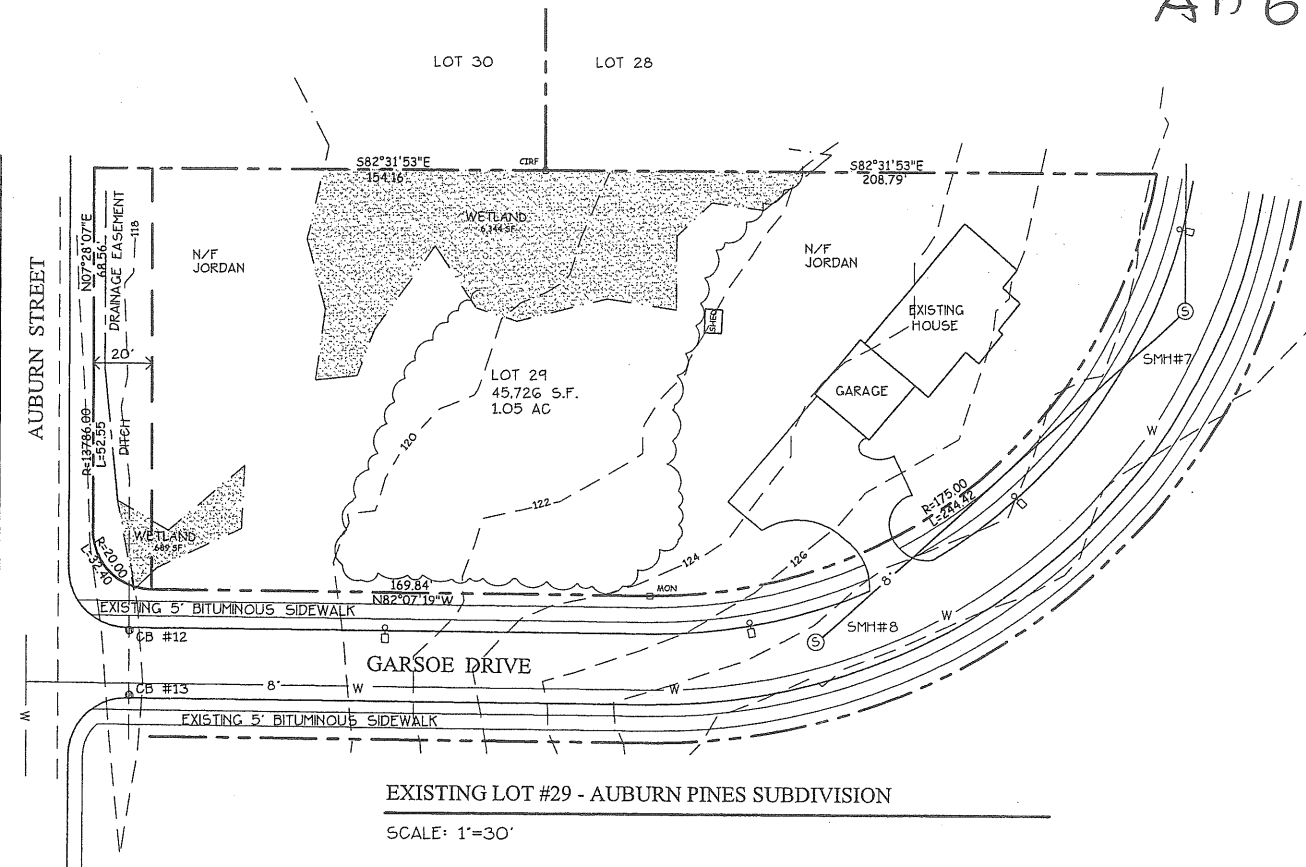
0 10 20 30 60 ft.

North

Sheet No:  
**1**



PARTIAL SUBDIVISION PLAN  
 SCALE: 1"=100'



EXISTING LOT #29 - AUBURN PINES SUBDIVISION  
 SCALE: 1"=30'

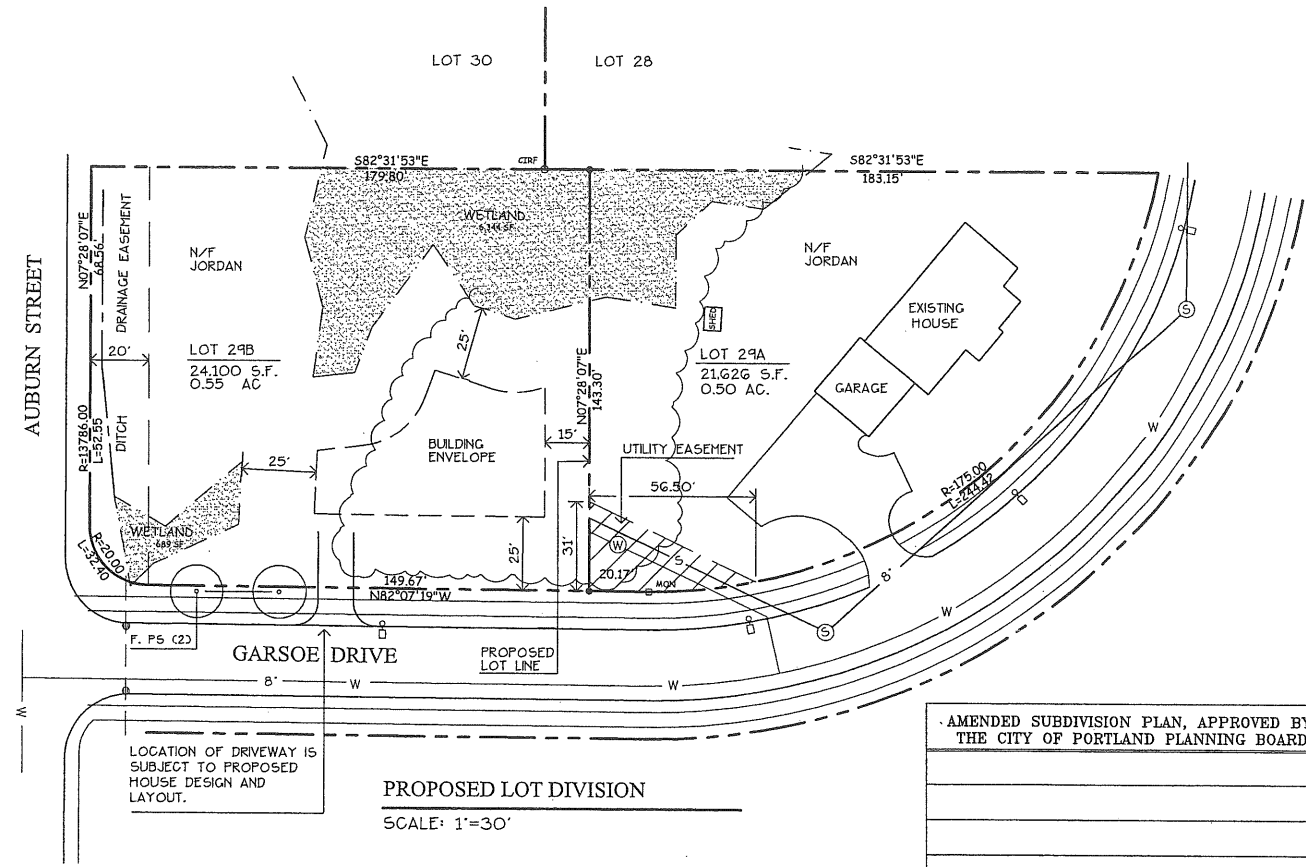
**ZONING REQUIREMENTS**

1. ZONING DISTRICT:	R2 - RESIDENTIAL
2. MINIMUM LOT SIZE (RESIDENTIAL):	10,000 S.F.
3. MINIMUM AREA PER DWELLING UNIT:	10,000 S.F.
4. MINIMUM STREET FRONTAGE:	50 FEET.
5. MINIMUM YARD DIMENSIONS:	
FRONT YARD (PRINCIPAL STRUCTURE):	25 FEET.
REAR YARD (PRINCIPAL STRUCTURE):	25 FEET.
SIDE YARD:	
1 STORY:	12 FEET
1 1/2 STORIES:	12 FEET
2 STORIES:	14 FEET
2 1/2 STORIES:	16 FEET
THE WIDTH OF ONE SIDE YARD MAY BE REDUCED ONE FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN 12 FEET.	
6. MAXIMUM LOT COVERAGE:	20% OF AREA
7. MINIMUM LOT WIDTH:	80 FEET
8. MAXIMUM HEIGHT (PRINCIPAL STRUCTURE):	35 FEET

**LEGEND**

EXISTING IRON PIN	
PROPOSED IRON PIN	
EXISTING MONUMENT	
EXISTING LIGHT POLE	
PROPERTY LINE	
EASEMENT LINE	
SETBACK LINE	
LIMIT OF WETLAND	
EDGE OF PAVEMENT	
CONTOURS	
TREE LINE	
CATCHBASIN	
EXISTING SEWER	
EXISTING WATER	
PROPOSED SEWER	
PROPOSED WATER	
PROPOSED TREES	

- GENERAL NOTES:**
- THIS AMENDED SUBDIVISION PLAN DIVIDES THE ORIGINAL LOT 29 INTO TWO LOTS, LOT #29A AND LOT #29B.
  - ALL CONDITIONS OF APPROVAL FOR THE ORIGINAL SUBDIVISION 'AUBURN PINES SUBDIVISION, AUBURN ST., PORTLAND, ME.' DATED APRIL 26, 1999 APPLY TO LOTS #29A AND LOT #29B.
  - THE WETLANDS AS SHOWN WERE DELINEATED BY DALE A. BREWER OF STATEWIDE SURVEYS, INC. ON AUGUST 19, 2006.
  - THE WETLAND BOUNDARIES WERE MAPPED USING A TRIMBLE PRO-XRS GPS UNIT WITH SUB-METER CAPABILITIES AND COULD VARY FROM ACTUAL SURVEYED LOCATIONS.
  - BOUNDARY INFORMATION PER "AUBURN PINES SUBDIVISION" PREPARED BY PINKHAM + GREER DATED APRIL 28, 1999 REVISED THRU 7/20/99 RECORDED IN PLAN BOOK 199 PAGE 393.
  - NEW HOME SHALL HAVE ITS NUMBER CLEARLY VISIBLE FROM THE ROAD.
  - NEW LOT SHALL BE SERVICED BY PUBLIC SEWER AND WATER.
  - POWER, TELEPHONE AND CABLE SHALL BE UNDERGROUND.
  - NEW LOT SHALL REQUIRE THE SUBMISSION OF A MINOR SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.



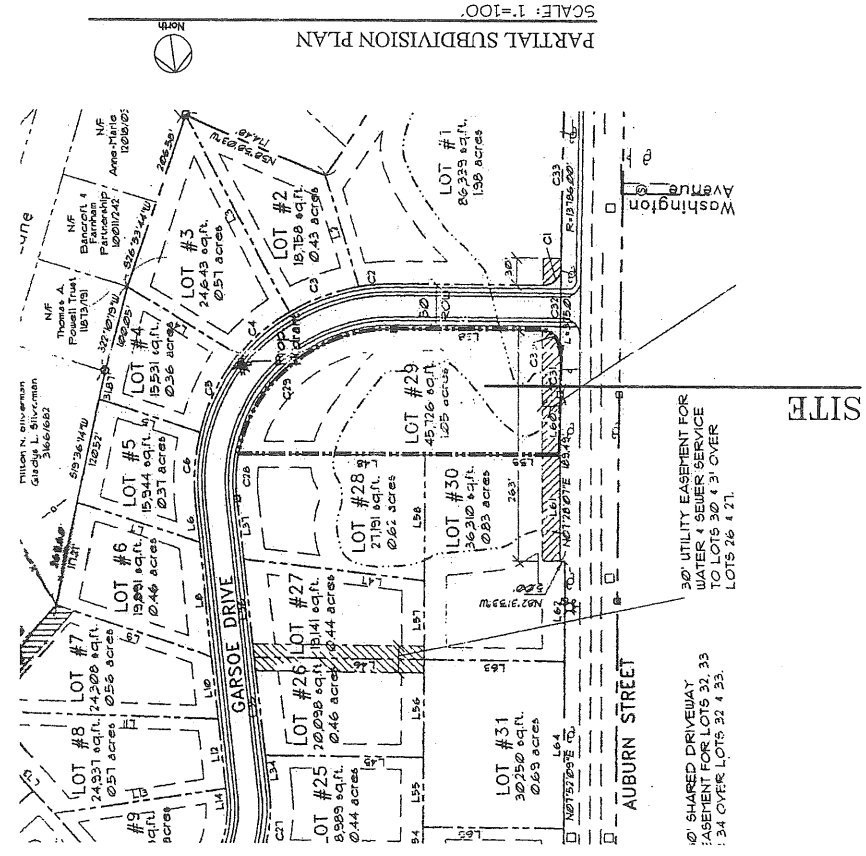
PROPOSED LOT DIVISION  
 SCALE: 1"=30'

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
F. P5	2	FRAXNUS PENNSYLVANIA 'SUMMIT'	SUMMIT GREEN ASH	2.5" CAL.

AMENDED SUBDIVISION PLAN, APPROVED BY  
 THE CITY OF PORTLAND PLANNING BOARD

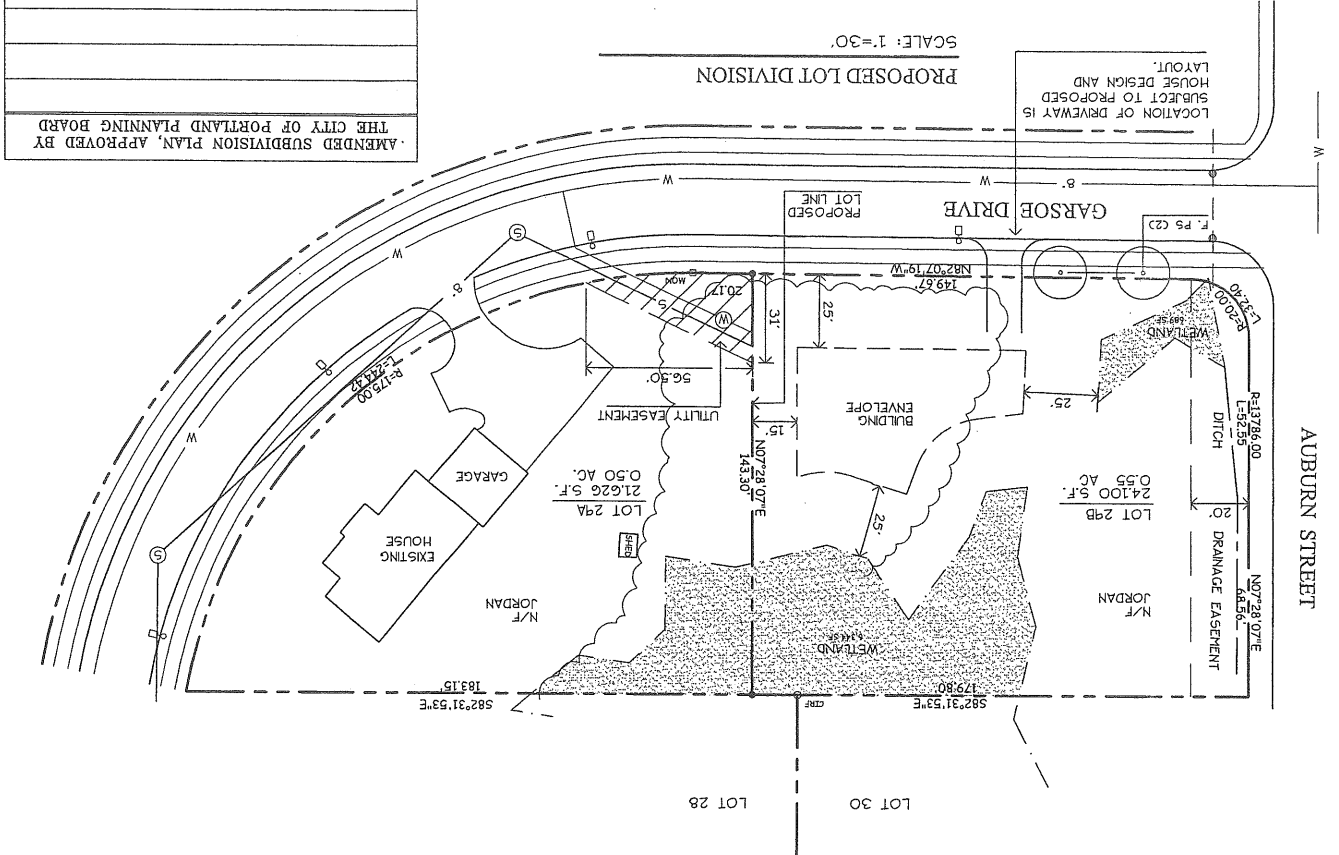
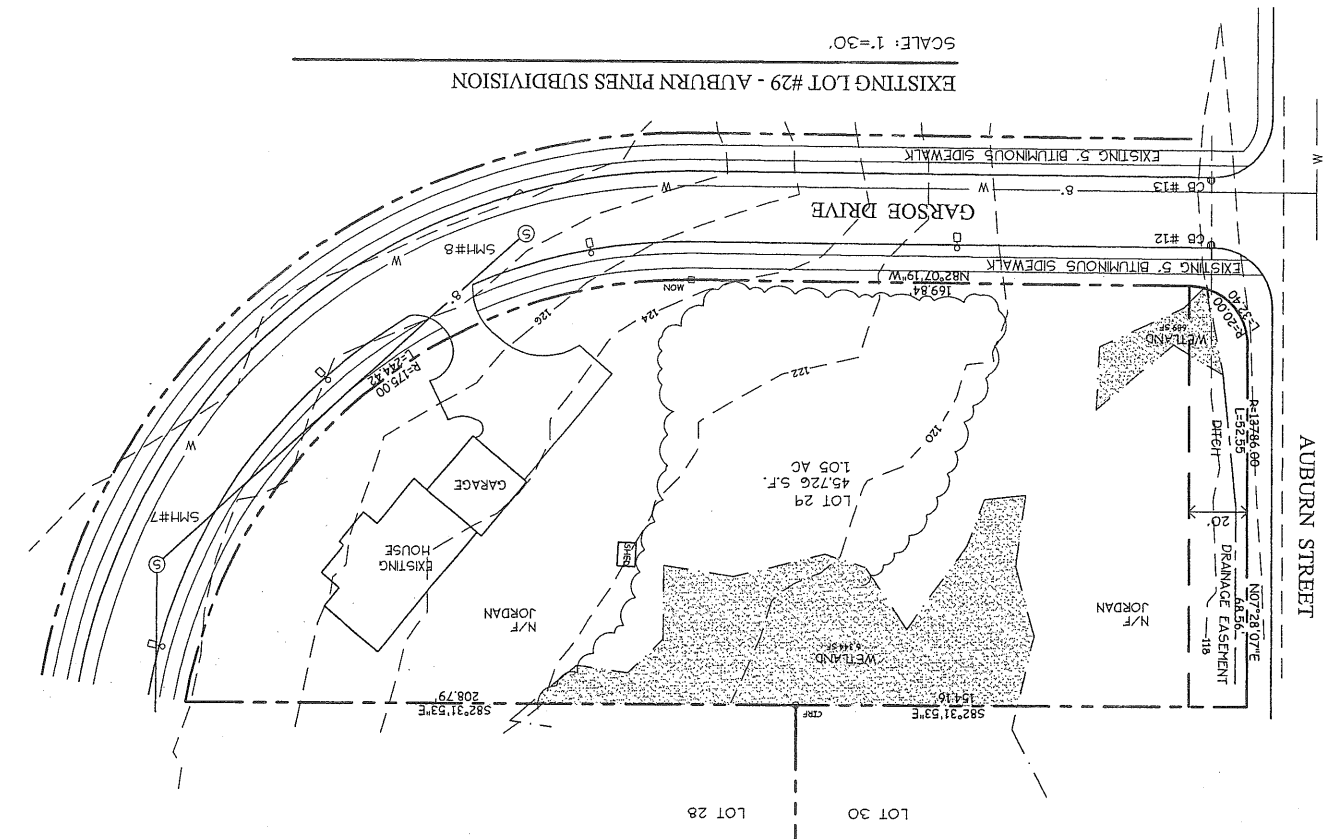
DATE:



- GENERAL NOTES:**
1. THIS AMENDED SUBDIVISION PLAN DIVIDES THE ORIGINAL LOT 29 INTO TWO LOTS #29A AND LOT #29B.
  2. ALL CONDITIONS OF APPROVAL FOR THE ORIGINAL SUBDIVISION, AUBURN PINES SUBDIVISION, AUBURN ST., PORTLAND, ME. DATED APRIL 26, 1994 APPLY TO LOTS #29A AND LOT #29B.
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- ZONING REQUIREMENTS**
- 1. ZONING DISTRICT: R2 - RESIDENTIAL
  - 2. MINIMUM LOT SIZE (RESIDENTIAL): 10,000 S.F.
  - 3. MINIMUM AREA PER DWELLING UNIT: 50 FEET.
  - 4. MINIMUM STREET FRONTAGE: 50 FEET.
  - 5. MINIMUM YARD DIMENSIONS:
    - FRONT YARD (PRINCIPAL STRUCTURE): 25 FEET.
    - REAR YARD (PRINCIPAL STRUCTURE): 25 FEET.
    - SIDE YARD: 12 FEET.
    - 1 STORY: 12 FEET.
    - 1 1/2 STORIES: 14 FEET.
    - 2 STORIES: 16 FEET.
    - 2 1/2 STORIES: 18 FEET.  - 6. FOR EVERY FOOT THAT THE OTHER SIDE YARD IS LESS THAN 12 FEET, THE WIDTH OF ONE SIDE YARD MAY BE REDUCED ONE FOOT CORRESPONDENTLY INCREASED, BUT NO SIDE YARD SHALL BE 20% OF AREA.
  - 7. MINIMUM LOT WIDTH: 80 FEET.
  - 8. MAXIMUM LOT COVERAGE: 80 FEET.
  - 9. MAXIMUM HEIGHT (PRINCIPAL STRUCTURE): 35 FEET.

- LEGEND**
- EXISTING RCN FM
  - PROPOSED RCN FM
  - EXISTING MONUMENT
  - EXISTING LIGHT POLE
  - PROPERTY LINE
  - EASEMENT LINE
  - SETBACK LINE
  - LIMIT OF WETLAND
  - EDGE OF PAVEMENT
  - CONTOURS
  - TREE LINE
  - CATCHBASIN
  - EXISTING SEWER
  - PROPOSED SEWER
  - EXISTING WATER
  - PROPOSED WATER
  - PROPOSED TREES



**PLANT LIST**

KEY	CITY BOTANICAL NAME	COMMON NAME	SIZE
F. P. 5	2	FRAUNUS PENNSYLVANICA SUMMIT	SUMMIT GREEN ASH
TREES			
DATE:			

**THE CITY OF PORTLAND PLANNING BOARD**

AMENDED SUBDIVISION PLAN, APPROVED BY

DATE:

**AUBURN PINES**  
34 GARSOE DRIVE  
PORTLAND, MAINE

**Prepared For:** PHILIP AND CHARLENE JORDAN  
34 Garsoe Drive  
Portland, Maine 04103

**Prepared By:** MITCHELL & ASSOCIATES  
Landscape Architects  
70 Center Street  
Portland, Maine 04101  
Tel: (207) 774-4427

**Date:** SEPTEMBER 27, 2006

**Issued For:** LOT DIVISION APPROVAL

**Revisions:**

**Title:** AMENDED SUBDIVISION PLAN

**Scale:** 1"=30'

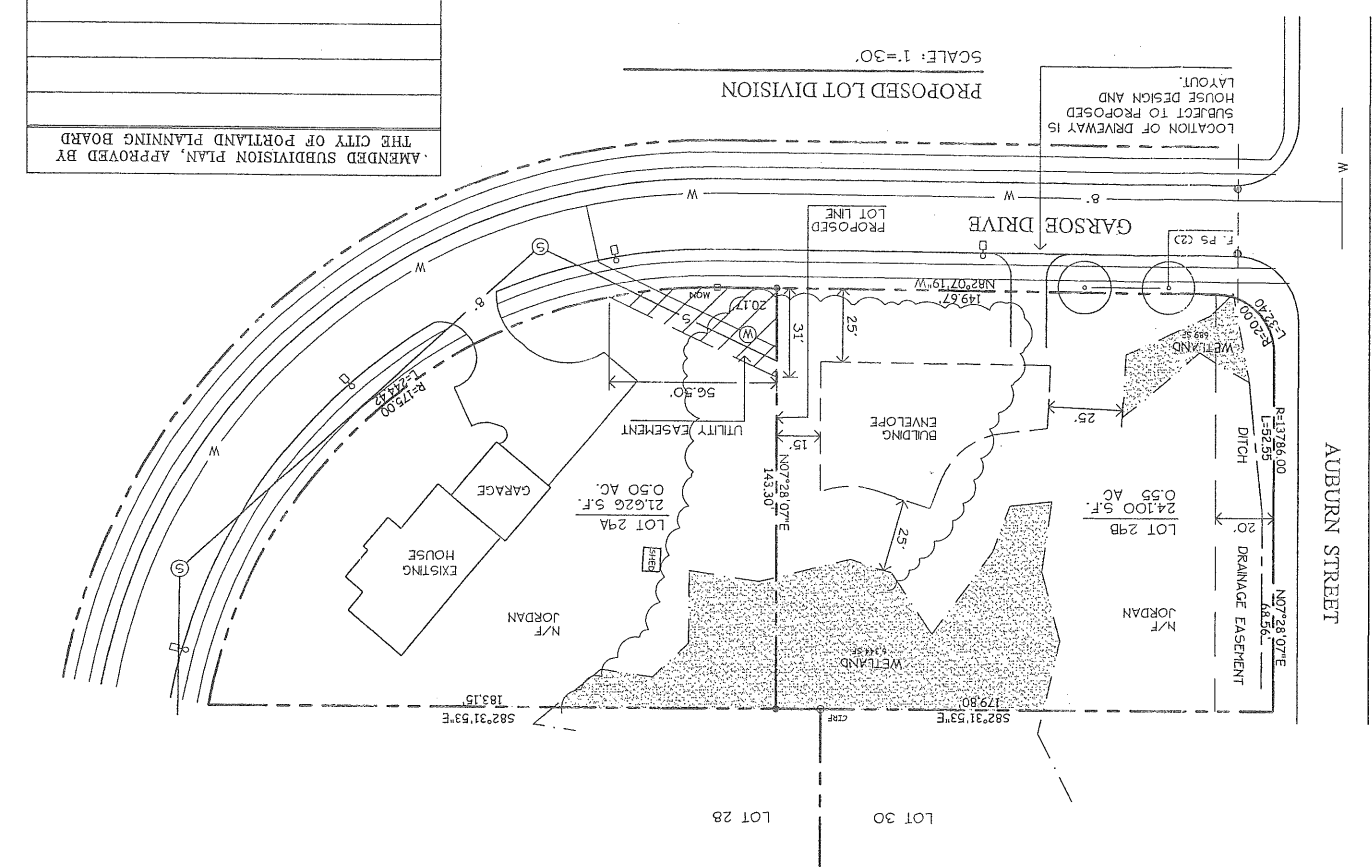
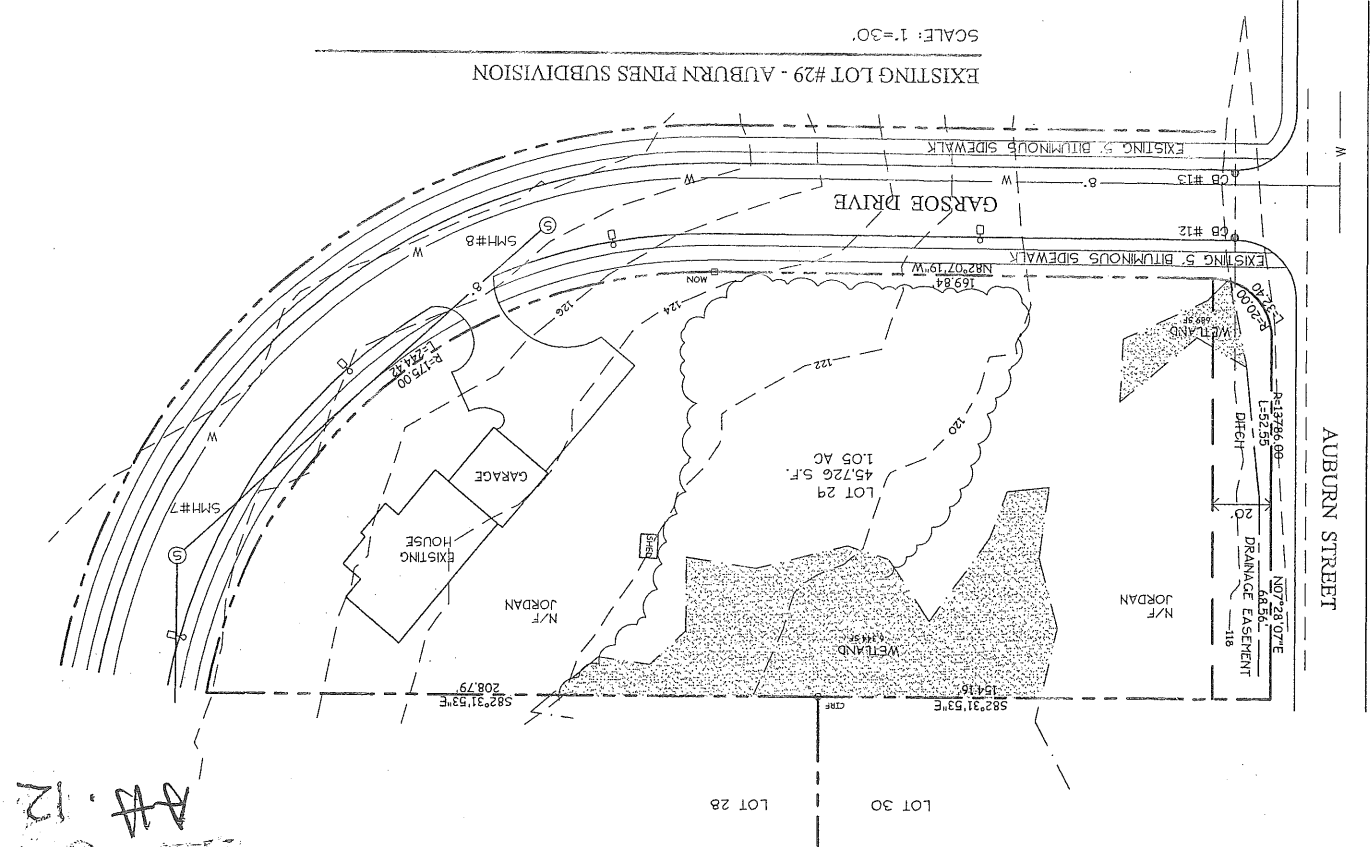
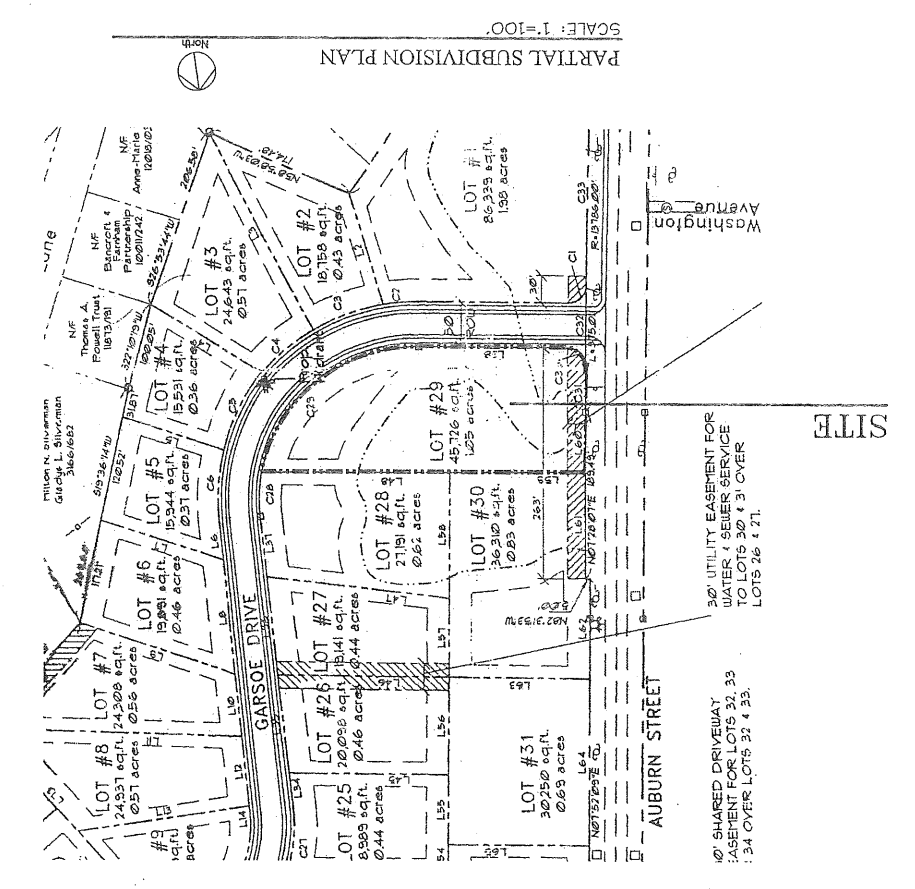
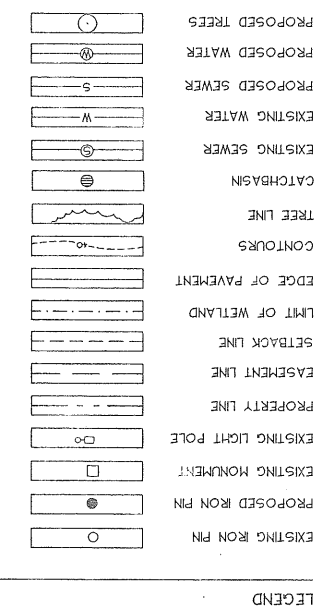
**North:**

**Sheet No.:**



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  4. THE WETLAND BOUNDARIES WERE MAPPED USING A TRIMBLE PRO-XRS GPS UNIT WITH SUB-METER CAPABILITIES AND COULD VARY FROM ACTUAL SURVEYED LOCATIONS.
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  5. MINIMUM YARD DIMENSIONS:
    - FRONT YARD (GRANULAR STRUCTURE): 25 FEET.
    - PROPOSED MONUMENT: 25 FEET.
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 CATCHBASIN  
 EXISTING SEWER  
 EXISTING WATER  
 PROPOSED SEWER  
 PROPOSED WATER  
 PROPOSED TREES

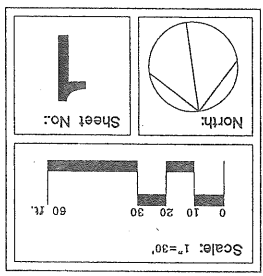


**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	F. PS	2	FRAXINUS PENNSYLVANICA 'SUMMIT'	SUMMIT GREEN ASH
				2.5" CAL.

**DATE:**


AMENDED SUBDIVISION PLAN, APPROVED BY THE CITY OF PORTLAND PLANNING BOARD



**Title:** AMENDED SUBDIVISION PLAN

**Revisions:**

Issued For: LOT DIVISION APPROVAL

Date: SEPTEMBER 27, 2006

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**Prepared For:** PHILIP AND CHARLENE JORDAN  
 34 Garsoe Drive  
 Portland, Maine 04103

**Prepared By:** MITCHELL & ASSOCIATES  
 Landscape Architects  
 70 Center Street  
 Portland, Maine 04101  
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**AUBURN PINES**  
 34 GARSOE DRIVE  
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