

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

19990162

I. D. Number

Stephen Smith

Applicant

15 E. Kidder St, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

761-8050

Applicant or Agent Daytime Telephone, Fax

11/10/99

Application Date

single family home w/garage

Project Name/Description

40

46 Garsoe Dr, Portland, Maine 04103

Address of Proposed Site

386-AB-028

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) w/att. 2 car garage & deck

2215 27191 R-2 Zone

Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other

Fees Paid: Site Plan \$300.00 Subdivision Engineer Review Date: 11/10/99

DRC Approval Status:

Reviewer Steve Bushy

- Approved Approved w/Conditions see attached Denied

Approval Date 11/15/99 Approval Expiration 11/15/00 Extension to Additional Sheets Attached

Condition Compliance Steve Bushy 11/15/99 signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date
 Inspection Fee Paid _____ date _____ amount
 Building Permit _____ date
 Performance Guarantee Reduced _____ date _____ remaining balance _____ signature
 Temporary Certificate Of Occupancy _____ date Conditions (See Attached)
 Final Inspection _____ date _____ signature
 Certificate Of Occupancy _____ date
 Performance Guarantee Released _____ date _____ signature
 Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date
 Defect Guarantee Released

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ADDENDUM

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DRC Conditions of Approval

Approved Subject to Site Plan Review Addendum Conditions of Approval:

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 40 Garsoe Drive, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

The applicant shall install all erosion control measures including silt fence and hay mulching in accordance with the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices.

Planning Conditions of Approval

Inspections Conditions of Approval

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Please note that this lot has a very large wetland area in the rear that shall not be filled without written permission from the Planning Division. Also the building window envelope shall not be enlarged without written permission from the Planning Division.
3. The area above the garage shall not be for an additional dwelling unit. You shall not add any additional kitchen equipment, such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
4. Separate permits shall be required for future decks, sheds, pools, and/or garage.

Fire Conditions of Approval

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL**

APPLICANT: STEPHEN Smith
 ADDRESS: 15 Fe Kidder Ct
 SITE ADDRESS/LOCATION: 40 GARSOE Drive
 DATE: 11/15/99

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to: increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW WILL BE ENFORCED FOR YOUR SITE PLAN

1. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland Standards prior to issuance of a Certificate of Occupancy.
2. Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
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7. A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

8. X As-built record information for sewer and stormwater service connections must be submitted to Parks and Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
9. X The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
10. X The site contractor shall establish finish grades at the building foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
11. _____ A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FEE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for the drainage from the property.
12. X The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
13. X The Applicant shall install all erosion control measures including silt fence and hay mulching in accordance with the Maine Erosion and Sediment Control Handbook for Construction Best Management Practices

cc: Katherine Staples, P.E., City Engineer

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<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
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	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL**

APPLICANT: STEPHEN SMITH

ADDRESS: 15 E. KIDDER CT

SITE ADDRESS/LOCATION: 40 GARSOE DRIVE

DATE: 11/15/99

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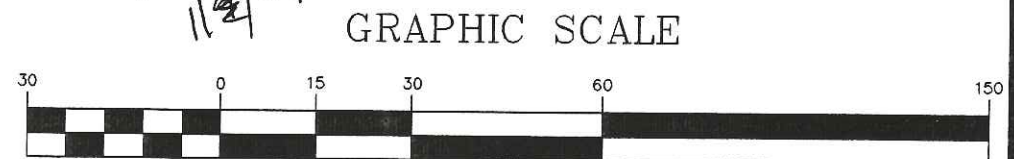
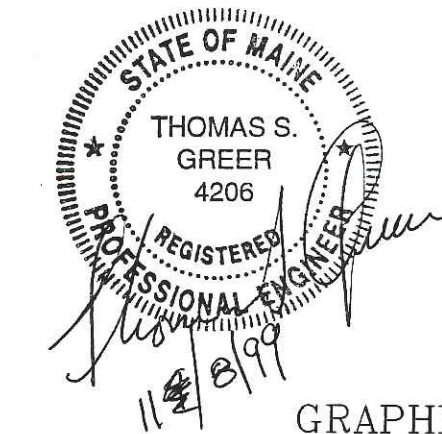
cc: Katherine Staples, P.E., City Engineer

GENERAL NOTES

1. THIS SITE PLAN IS PART OF THE AUBURN PINES SUBDIVISION. SEE THE APPLICABLE PLANS FOR INFORMATION NOT SHOWN HERE.
2. FOR BOUNDARY SURVEY, SEE AUBURN PINES SUBDIVISION PLANS.
3. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE 'MAINE EROSION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES', CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT, DEPARTMENT OF ENVIRONMENTAL PROTECTION DATED 1991.
4. FINISHED FLOOR ELEVATION TO FINISHED FLOOR ELEVATION ASSUMED TO BE 9.0 FEET.

LEGEND

EXISTING	PROPOSED
PROPERTY LINE	LOT LINES
ABUTORS PROPERTY EASEMENT	BUILDING SETBACK
CONTOURS	EDGE OF PAVEMENT
WETLAND BOUNDARY	CURB
TREE/TREELINE	CONTOURS
	SANITARY SEWER
	STORM DRAIN
	WATER LINE
	UNDERDRAIN
	CENTERLINE
	SEWER HOUSE SERVICE
	WATER HOUSE SERVICE
	SPOT GRADE
	CATCH BASIN
	DRAIN MANHOLE
	SANITARY MANHOLE
	LIGHT POLE
	SURFACE DRAINAGE



GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

SITE PLAN - LOT #28

AUBURN PINES
GARSOE DRIVE, PORTLAND ME

SCALE: 1"=30'
DATE: 11/08/99
DESG BY: MRB
PROJECT: 99401

PINKHAM & GREER
CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

C1

