



Certificate of Occupancy

LOCATION 66 Garsoe Drive Lot 26

Issued to Normand Berube CBL 386-A-B-026

Date of Issue 5-4-00

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. ~~000248~~ ^{# 991414}, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Single Family dwelling w/attached garage

Use Group R-3 Type 5-B
Boca 96

Limiting Conditions: All exterior site condition requirements must be completed by June 15, 2000, as set forth in memo from DeLuca Hoffman dated 5/5/00.

This certificate supersedes certificate issued

Approved:

5/4/00

(Date)

Normand Berube
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

*W.L.
5/7/00*

Please see attached permit # 991414 Fall
complete notes.

4/27/00 Final insp. Still need following: 1. Design Professional's Stamp. 4/27/ 2:30 OK.

2. Disposal Handwritten - must be cond + plug - 4/27 3:00 OK.

3. NFA 211-Chimney certification

Rest of Requirements have been met, need Steve Butley's memo on site work for

Inspection Record
Type
Date

Foundation:

Framing:

Plumbing:

Final:

Other:

DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

386A-B-026

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Code Enforcement
Kandi Talbot, Planner

FROM: Chris Earle, Construction Monitor
Reviewed by Steve Bushey, P.E., Acting Development Review Coordinator

DATE: August 16, 2000

RE: Certificate of Occupancy – 66 Garsoe Drive

On August 16, 2000, the site was reviewed for compliance with the conditions of approval.

It is our opinion that a **permanent certificate of occupancy could be issued**, assuming neither Code Enforcement nor Public Works has any outstanding issues.

STATE OF MAINE CHIMNEY OR FIREPLACE CONSTRUCTION/INSTALLATION DISCLOSURE

Dear Consumer: State law, specifically 52 M.R.S.A., Chapter 33, §2313-A, requires that chimney or fireplace installers, as of January 1, 1992, provide you with this "Disclosure" prior to the installation or construction of your chimney or fireplace. The purpose of this Disclosure is to inform you that the National Fire Protection Standard #211 (NFPA #211) is the current standard which applies to all new construction of chimneys and fireplaces. Please to note that the State of Maine does not require registration or licensure of chimney or fireplace installers. It is important to realize that many fires are caused each year from improperly constructed fireplaces and chimneys. This disclosure form should help you in making an informed decision as to the abilities of the installer and under what requirements the installation must comply.

INSTALLER INFORMATION

Name of Installer Kevin C Tangway
 D.B.A. K C Tangway Masonry
 Name of Installer (if incorporated) SAME
 D.B.A. SAME
 Legal Address 286 WADLIN RD DAYTON ME
(Street and No.) (City or Town)
ME 04005
(State) (County) (Zip Code)
 Home Telephone 207 1499 17933 Business Telephone 1 1 1
 Years of experience doing fireplace or chimney installations 19

CONSUMER IDENTIFICATION

Consumer's Name Norman Berube Builders Inc
 Mailing Address 1040 US. Route one SACO MAINE 04072
(Street and No.) (City or Town)
SACO York 04072
(State) (County) (Zip Code)
 Home Telephone 207 1283 13961 Business Telephone 207 1883 18270

Installer, please give a brief description of installation being offered.
wood burning Fire Place
Two Flue one for wood
one for Fire Place

I, K C Tangway, the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA #211 that I shall be subject to penalties as outlined under Title 32, Chapter 33, and the Oil and Solid Fuel Board Rules.

Signature [Signature] Date 4/27/00

INSTALLATION STANDARDS

The 1996 Edition of NFPA #211 contains provisions for chimney, fireplaces, venting systems, and solid fuel burning appliances including their installations. The standards applies to residential as well as commercial and industrial installations.

PLEASE CHECK THE TYPE OF CONSTRUCTION TO BE BUILT:

Factory-Built Chimney and Chimney Units.

Factory-built chimney and chimney units shall be listed and installed in accordance with the temperature conditions of the listing, the manufacturer's instructions and all applicable sections of NFPA #211.

Factory-Built Fireplaces.

Factory-built fireplaces shall be listed and shall be installed in accordance with the terms of the listing. Hearth extensions shall be provided in accordance with the manufacturer's instructions or shall be of masonry on non combustible construction in accordance with applicable sections of NFPA #211.

Unlisted Metal Chimney (smokestacks) for Non Residential Applications.

Single wall metal chimneys or unlisted metal chimneys shall not be used inside or outside of one and two family dwellings. Metal chimneys shall be constructed and installed in accordance with the appropriate sections of NFPA #211

Masonry Chimney.

Masonry chimneys shall be constructed by appropriate sections of NFPA #211 for proper design, support, re-enforced, and installation.

Masonry Fireplace.

Masonry fireplaces shall comply with all requirements of NFPA #211 and all other pertinent sections.

CONSUMER CHECKLIST

1. Has the installer provided you with a written contract? 10 M.R.S.A., Chapter 219-A requires written contracts for any home remodeling or construction with an estimated cost in excess of \$1,400.
2. Have you asked the local fire department or code enforcement officials to inspect the installation during and after construction?
3. Is the installer familiar with current NFPA #211 standards and does he have a copy of same?
4. Have you asked for references to be provided by the installer?

g:\trade\offchimney\disclosr.wp

Revised 7/98

TOTAL P.03

Attm. John Reed

NORMAND BERUBE BUILDERS, INC.

1040 US ROUTE ONE SACO, MAINE 04072

207-283-3270 or 207-283-3961 FAX: 207-283-4039

VISIT OUR WEB PAGE AT : <http://www.quikpage.com/N/normand>

e-mail : berubebuilders@cybertours.com

4-27-00 3:10:00

Date: 3/9/00

JOHN FEED

To: ~~KEVIN GERRON~~ (CODE ENFORCEMENT)

Fax # _____

From: GARY SYLVAIN

RE: 66 GARBOE DRIVE

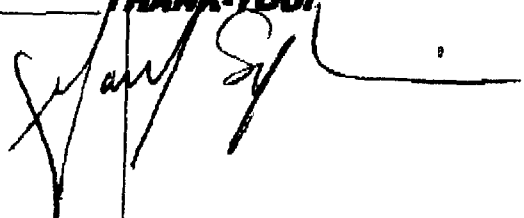
Page 1 of 2

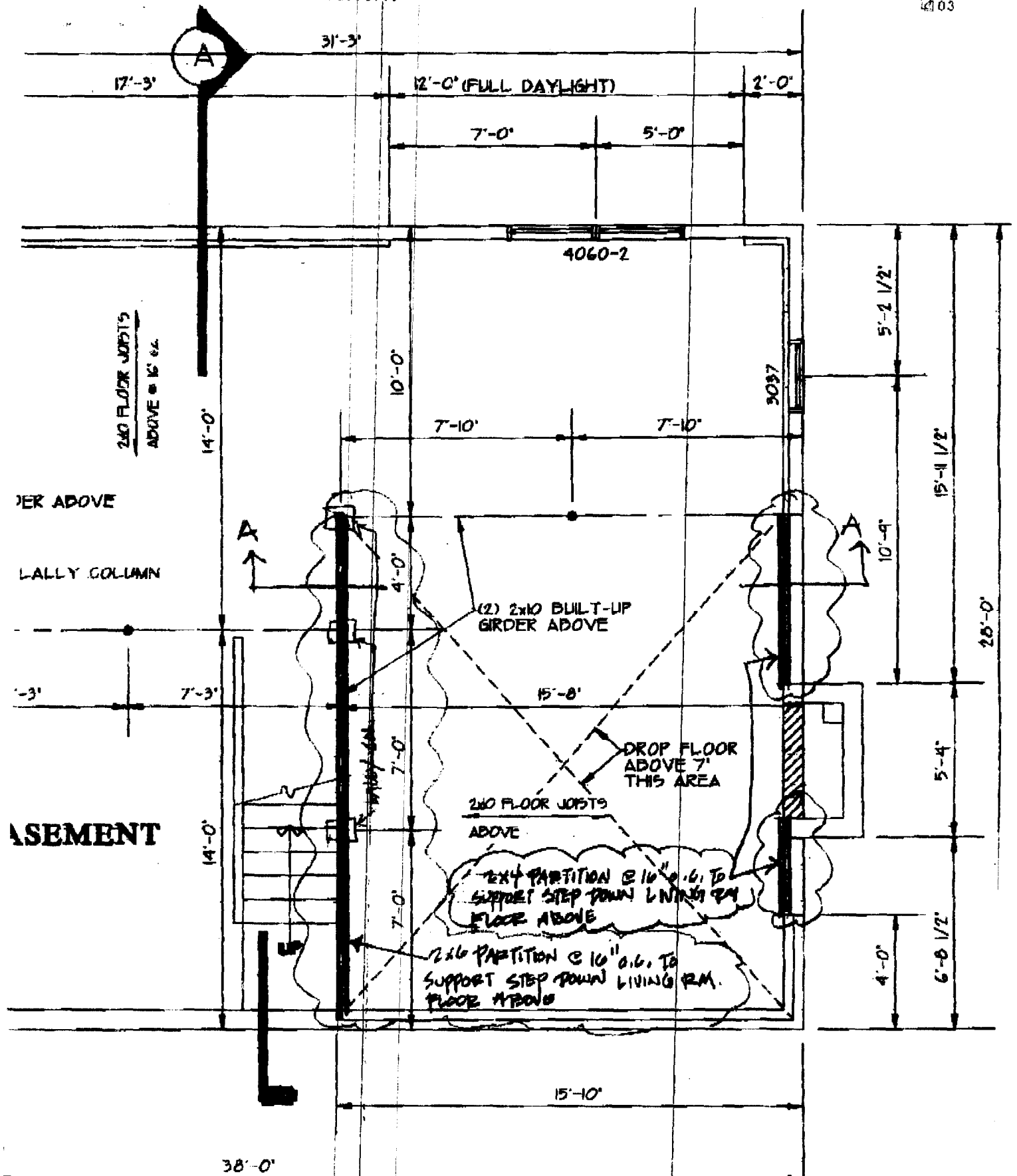
~~KEVIN~~, JOHN,

HERE IS INFO ON STEP DOWN LIVING EDOWN
SUPPORT PARTITIONS. PLEASE GET BACK TO
ME A.S.A.P.

PERMIT # 99144
CBL 380A-B-02L

THANK YOU!





AUBURN PINES LOT 216 (66 GARSON DRIVE)

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 798-5432

March 15, 2000

Gary Sylvain
Normand Berube Builders, Inc.
1040 Route One
Saco, Maine 04072

Subject: Sunken floor framing review for residence located on Lot #26 in Auburn Pines -
Portland, Maine.

Dear Gary,

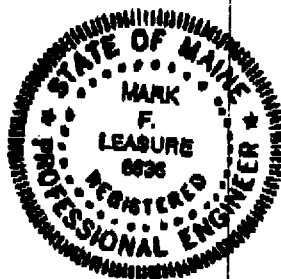
We have visited the job site to review the floor framing for the sunken living room. We have also reviewed the two sketches provided to us by Berube Builders at the site. At the time of our visit the 2x6 bearing wall which will support the lowered floor was not installed. Based on your sketches we understand there will also be a thickened slab below the interior bearing wall. The other end of the floor joists will be supported by a 2x4 knee wall built on top of the concrete foundation wall. If both ends of the floor joists are supported by bearing walls anchored to an adequate foundation wall or thickened slab then the framing as indicated in the sketches is acceptable.

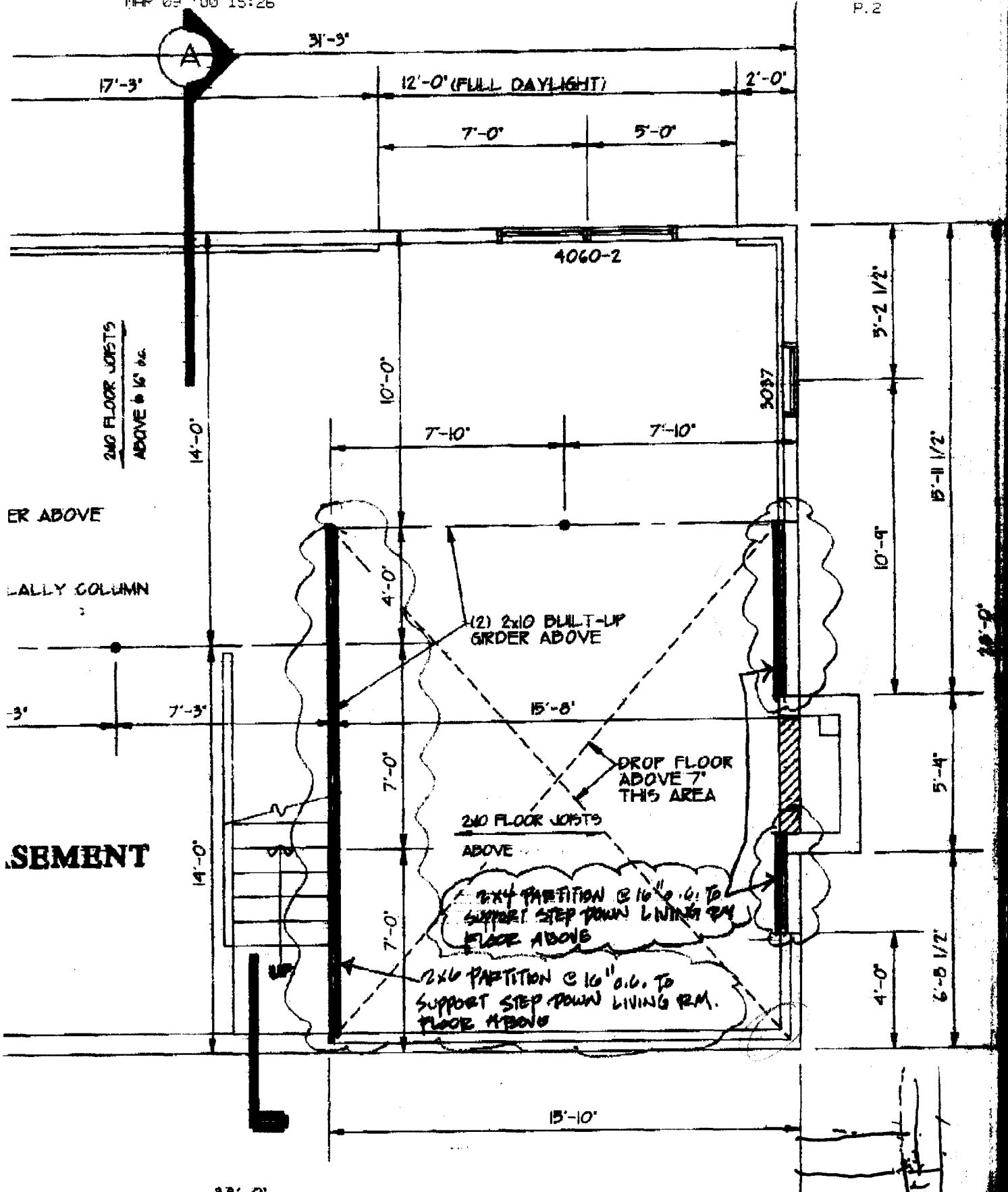
If you have any questions or require additional information, please do not hesitate to call.

Sincerely,

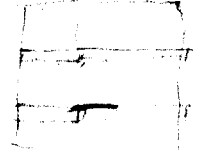
L&L Structural Engineering Services, Inc.

Mark F. Leasure, P.E.
Principal





AUBURN PINES LOT 26 (66 GARSON DRIVE)



NORMAND BERUBE BUILDERS, INC.

1040 US ROUTE ONE SACO, MAINE 04072

207-283-3270 or 207-283-3961 FAX: 207-283-4039

VISIT OUR WEB PAGE AT : <http://www.quikpage.com/N/normand>

e-mail : berubebuilders@cybertours.com

Date: 3.9.00

To: KEVIN CARROLL (CODE ENFORCEMENT)

Fax # _____

From: GARY SYLVAIN

RE: 66 GARSON DRIVE


Page 1 of 2

PERMIT # 99144
CBL 386A-B-026

KEVIN,

HERE IS INFO ON STEP DOWN LIVING ROOM
SUPPORT PARTITIONS, PLEASE GET BACK TO
ME A.S.A.P.

THANK-YOU!



15126/62

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, THAT NEPTUNE PROPERTIES, LLC, a Maine Limited Liability Company, of 120 Exchange St., Portland, Maine 04101, in consideration of One Dollar (\$1.00) and other good and valuable considerations paid by Normand Berube Builders, Inc., whose mailing address is 1040 US Rt. 1, Saco, Maine 04072, the receipt whereof is hereby acknowledged, do hereby give, grant, bargain, sell and convey unto the said Normand Berube Builders, Inc., its successors and assigns, certain property situated in the City of Portland, County of Cumberland and State of Maine, described as follows:

Lot No. 26 as depicted on the Auburn Pine Subdivision Plan recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 393

The property described herein is conveyed subject to the general notes and Conditions set forth on said plan together with the Declaration of Restrictions and Covenants for Auburn Pines as set forth in an instrument dated August 16 1999 and recorded in the Cumberland County Registry of Deeds in Book 14981, Page 172. Also conveying an easement for access and installation and maintenance of utilities over and within the streets and ways shown on said Plan.

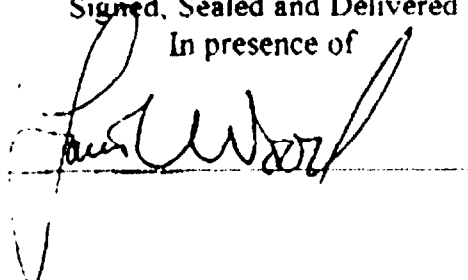
Being a portion of the premises conveyed to the Grantor herein by Deed of Provost, Inc., dated June 9, 1999, and recorded in the Cumberland County Registry of Deeds, Book 14817, Page 100

TO HAVE AND TO HOLD the aforegranted and bargained premises with all the privileges and appurtenances thereof, to the said Normand Berube Builders, Inc., its successors and assigns, to its and their use and behoof forever.

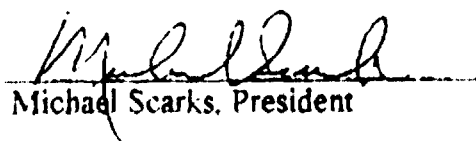
AND I do covenant with the said Grantees, its successors and assigns, that NEPTUNE PROPERTIES, LLC, is lawfully seized in fee of the premises, that it is free of all encumbrances and that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that NEPTUNE PROPERTIES, LLC, shall and will WARRANT and DEFEND the same to the said Grantee, its successors and assigns forever, against the lawful claims and demands of all persons

IN WITNESS WHEREOF, NEPTUNE PROPERTIES, LLC, has hereunto set its hand and seal, by Michael Scarks, its President duly authorized, this 14th day of the month of October 1999

Signed, Sealed and Delivered
In presence of



NEPTUNE PROPERTIES, LLC


Michael Scarks, President

STATE OF MAINE
CUMBERLAND, SS.

October 14, 1999

Then personally appeared the above-named Michael Scarks, President of Neptune Properties, LLC, and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of Neptune Properties, LLC.

Before me,

Patricia A. Conant
Notary Public/ Attorney at Law

PATRICIA A. CONANT
Notary Public, Maine
My Commission Expires April 9, 2005

**CITY OF PORTLAND, ME
BOCA 1996 Plan Review Record
One and Two Family Dwelling**

Valuation: \$185,000.00 Plan Review # 1999
 Fee: \$1134.00 Date: 17 Dec. 1999

Building Location: 66 Garsoe Dr. CBL: 386-AB-026

Building Description: Single Family dwelling / attached garage

Reviewed by: Sam Hoffes

Use or Occupancy: R-3 Type of Construction: 5B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building Code requirements shall be completed before a Certificate of Occupancy can or will be issued.	111.0
2.	Water proofing & damp proofing shall comply with sections 1813.0	1813.0
3.	Anchor bolts shall comply with section 2305.12	2305.12
4.	Crawl space in attic (ventilation) shall comply with section 1210.0 & 1211.	1211.0 1210.0
5.	Bridging shall comply with section 2305.16	2305.16
6.	Boring, Cutting and Notching shall comply with section 9. 2305.3, 2305.3.1, 2305.4.4 & 2305.5.1	2305.3 2305.3.1 2305.4.4 2305.5.1
7.	Foundation drainage shall comply with Section 1813.5.2	1813.5.2
8.	All Fastening shall comply with Table 2305.2	Table 2305.2
9.	The proposed steel beams shall require a design statement	1077

Foundations (Chapter 18)

Wood Foundation (1808)

NA Design
NA Installation

Footings (1807.0)

X Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
NA Insulated footing provided
X Soil bearing value (table 1804.3)
X Footing width
X Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

X Design (1812.1)
X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
SR Water proofing and damp proofing Section 1813
X Sill plate (2305.17)
SA Anchorage bolting in concrete (2305.17)
X Columns (1912)
SR Crawl space (1210.2) Ventilation

Floors (Chapter 16-23)

X Joists - Non sleeping area LL40PSF (Table - 1606)
X Joists - Sleeping area LL30PSF (Table - 1606)
X Grade
X Spacing
X Span
X Girder 4" bearing 2305

Roof-Ceiling Construction (Chapter 23)

- ~~X~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~NA~~ Roof trusses (2313.3.1)
- _____
- _____
- _____
- _____
- _____

Roof Coverings (Chapter 15)

- ~~X~~ Approved materials (1404.1)
- ~~X~~ Performance requirement (1505)
- ~~X~~ Fire classification (1506)
- ~~X~~ Material and installation requirements (1507)
- ~~NA~~ Roof structures (1510.0)
- ~~X~~ Type of covering (1507)

**Chimneys and Fireplaces
BOCA Mechanical/1993**

- ~~NA~~ Masonry (1206.0)
- ~~SR~~ Factory - built (1205.0)
- ~~NA~~ Masonry fireplaces (1404)
- ~~SA~~ Factory - built fireplace (1403)

**Mechanical
1993 BOCA Mechanical Code**

Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~EXIT DOOR (1017.3) 32" W 80" H~~
- ~~Landings (1014.3.2) stairway~~
- ~~Ramp slope (1016.0)~~
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SR~~ Riser (1014.6) 7 3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~Winders (1014.6.3)~~
- ~~Spiral and Circular (1014.6.4)~~
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- ~~_____~~
- ~~_____~~
- ~~_____~~

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

**Dwelling Unit Separation
Table 602**

N/A



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT

JAN - 6 2000
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. 386-AB-02L 000009

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location GAESO 66 GARDNER DR Use of Building Residential Date 1-04/99
Name and address of owner of appliance Burba builders

Installer's name and address Cory BLANLAND - Advanced Heating
80 Middle St SACO ME. 04072 Telephone 283-0763

Location of appliance:
 Basement Floor
 Attic Roof

Type of Fuel:
 Gas Oil Solid

Appliance Name: Burnham
 U.L. Approved Yes No

Will appliance be installed in accordance with the manufacture's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:
 Master Plumber # _____
 Solid Fuel # _____
 Oil # MS10005368 ✓
 Gas # _____
 Other _____

Type of Chimney:
 Masonry Lined Factory built
 Metal
 Factory Built U.L. Listing # _____
 Direct Vent
 Type _____ UL# _____

Type of Fuel Tank
 Oil Gas

Size of Tank 275 gal
 Number of Tanks 1
 Distance from Tank to Center of Flame 10 feet.

New \$30.00

Approved
 Fire: _____
 Ele.: _____
 Bldg.: _____
 Signature of Installer [Signature]

Approved with Conditions
 See attached letter or requirement

Applicant: Normand Berube Bldges Date: 12/20/99

Address: 66 Garsoe Drive (Lot #26) C-B-L: 386A-B-2L

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - construct 28 x 38 house with attached garage ^{24' x 26'} No deck

Sevage Disposal - City

Lot Street Frontage - 50' min. - 110' shown

Front Yard - 25' req \approx 55' shown

Rear Yard - 25' req \approx 95' shown

Side Yard - 11' req \approx 20' shown

Projections - chimney on side - bulkhead 266 feet

No Deck shown
but sliding door - will
req. A separate perm

Width of Lot - 80' req - 110' shown

Height - 35' max - shows 2 story & 25' high

Lot Area - 10,000[#] min 20,092[#]

Lot Coverage/ Impervious Surface - 20% \approx 4,019.6[#]

Area per Family - 10,000[#] - ok

28' x 38' = 1064[#]

Off-street Parking - 2 req - 2 shown

24' x 26' = 624

Loading Bays - N/A

1688[#]

Site Plan - minor/minor
19990171

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

15' utility easment for water, sewer ~~remaining~~ along left side property line.

Storage area above garage not to be used for any living area without a separate permit

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

19990171

I. D. Number

Normand Berube Builders

Applicant

1040 U.S. Rt 1, Saco, ME 04072

Applicant's Mailing Address

Consultant/Agent

283-3961

Applicant or Agent Daytime Telephone, Fax

12/6/99

Application Date

single family w/ garage

Project Name/Description

66 Garsoe Dr, Portland Maine 04103

Address of Proposed Site

386A-B-026

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approved subject to Site Plan Review (Addendum) Conditions of Approval:

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

The applicant shall revise the plans to show the 6" foundation drain connecting to the storm drain in the street. The lot grading shall also be revised to minimize shedding of runoff towards lot 25 or lot 27. Concentrated runoff shall not be allowed to leave the site onto the abutting rear properties. The applicant shall be responsible for installation and maintenance of all erosion control measures including silt fence, stone construction entrance and hay mulch over denuded areas during winter construction.

Planning Conditions of Approval

Inspections Conditions of Approval

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. The future owner shall be made aware that there is a 15' utility easement for water and sewer running along the left side of property line.
3. Only storage is presently allowed above the garage as shown. If the use of this area changes, ex. for living space, a separate permit is required
4. The area above the garage shall not be used for a separate dwelling unit including any kitchen facilities.
5. No deck is approved with these plans. The sliding doors shall be secured from use. A separate permit shall be required for any future deck construction.
6. Separate permits shall be required for future decks, sheds, pool, and/or garage.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

19990171
I. D. Number

Normand Berube Builders

Applicant

1040 U.S. Rt 1, Saco, ME 04072

Applicant's Mailing Address

Consultant/Agent

283-3961

Applicant or Agent Daytime Telephone, Fax

12/6/99

Application Date

single family w/ garage

Project Name/Description

66 Garsoe Dr, Portland Maine 04103

Address of Proposed Site

386A-B-026

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Planning Conditions of Approval

Inspections Conditions of Approval

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6. Separate permits shall be required for future decks, sheds, pool, and/or garage.

Fire Conditions of Approval

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19990171

I. D. Number

Normand Berube Builders

Applicant

1040 U.S. Rt 1, Saco, ME 04072

Applicant's Mailing Address

12/6/99

Application Date

single family w/ garage

Project Name/Description

Consultant/Agent

283-3961

Applicant or Agent Daytime Telephone, Fax

66 Garsoe Dr, Portland Maine 04103

Address of Proposed Site

386A-B-026

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) Lot 26- att garage - no decks
 2150 20,098 sq ft R-2
 Proposed Building square Feet or # of Units 20,098 sq ft Acreage of Site R-2 Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$300.00 Subdivision _____ Engineer Review _____ Date: 12/6/99

Inspections Approval Status:

Reviewer Marge Schmuckal

- Approved Approved w/Conditions see attached Denied

Approval Date 12/20/99 Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____
 signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issued | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | |
| | date | | |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | | | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19990171

I. D. Number

Normand Berube Builders

Applicant

1040 U.S. Rt 1, Saco, ME 04072

Applicant's Mailing Address

12/6/99

Application Date

single family w/ garage

Project Name/Description

Consultant/Agent

283-3961

Applicant or Agent Daytime Telephone, Fax

66 Garso Dr, Portland Maine 04103

Address of Proposed Site

386-AB-026

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) Lot 26

2150

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-03 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$300.00 Subdivision _____ Engineer Review _____ Date: 12/6/99

Inspections Approval Status:

Reviewer _____

- | | | |
|---|--|--|
| <input type="checkbox"/> Approved | <input type="checkbox"/> Approved w/Conditions
see attached | <input type="checkbox"/> Denied |
| Approval Date _____ | Approval Expiration _____ | Extension to _____ |
| <input type="checkbox"/> Condition Compliance | signature _____ | date _____ |
| | | <input type="checkbox"/> Additional Sheets
Attached |

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issued | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | |
| | date | | |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 107 26 Auburn Pines Drive 166 GARSOE DR			
Total Square Footage of Proposed Structure 2150 sq ft		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Number Chart# 386 Block# AB Lot# 128		Owner: Normand Berube Builders	Telephone#: 207-283-3961
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address: 1040 US. Route 1 Saco, Me 04072	Cost Of Work: \$185,000.	Fee: \$1,134.00
Proposed Project Description: (Please be as specific as possible) 28x38 colonial style house with garage			+ 300.00 site plan fee 1,434
Contractor's Name, Address & Telephone Same Normand Berube Builders			Rec'd By: UB

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

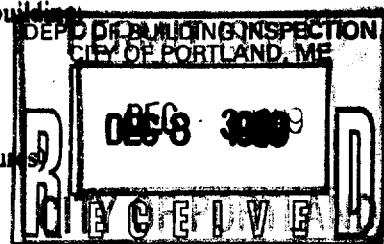
A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.



Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Norm Berube</i>	Date: 12/2/99
--	---------------

Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000 cost plus \$6.00 per \$1,000.00 construction cost thereafter.

L & L STRUCTURAL

ENGINEERING SERVICES, INC.

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

January 26, 2000

Gary Sylvain
Normand Berube Builders, Inc.
1040 Route One
Saco, Maine 04072

Subject: Miscellaneous beam design for residence located at Auburn Pines – Lot #26 in Portland, Maine. (66 GARSOE DRIVE)

Dear Gary,

We have completed our review of the three beams which supports the residential floor at various locations. Our review is based on loading and deflection requirements provided in Boca 1996. The results are as follows:

BEAM ID	BEAM LOCATION	BEAM SIZE	COMMENTS
B1	Above Master Bedroom	W8x21	Acceptable
B2	Above Living Room	W8x21	Acceptable
B3	Bonus Room Floor	W14x22	Acceptable

The beams above have sufficient strength, as well as, section properties to limit deflections to within tolerable limits. Non of the beams are stressed more than 61% in bending and the total load deflections are as follows:

BEAM ID	CSI	TL Deflection	L/Defl
B1	0.43	0.30"	L/611
B2	0.61	0.44"	L/429
B3	0.55	0.47	L/560

If you have any questions or require additional information, please do not hesitate to call.

Sincerely,

L&L Structural Engineering Services, Inc.

Mark F. Leasure, P.E.
Principal



City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 66 Garsoe Drive		Owner: Normand Berube Builders		Phone: 207-283-3961		Permit No: 991414
Owner Address: *** 1040 US Route 1 Saco, ME 04072		Lessee/Buyer's Name:		Phone: 885-0080		
Contractor Name: Normand Berube Builders		Address: 1040 US Route 1 Saco, ME 04072		Phone: 283-3961		Zoning Approval Special Zone or Reviews: <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 2-200A <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm. <input type="checkbox"/> #14790171 Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
Past Use: Vacant		Proposed Use: Single family w/ attached gar.		COST OF WORK: \$185,000 PERMIT FEE: \$ 1134.00 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: <i>Res</i> Type: <i>2</i> Signature: <i>[Signature]</i> Signature: <i>[Signature]</i>		
Proposed Project Description: 28x38 colonial home with attached garage						
Permit Taken By: <i>UNA</i>		Date Applied For: 12/6/99				

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Sue Berube 885-0080

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

12/6/99

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

PERMIT ISSUED WITH REQUIREMENTS
 CEO DISTRICT 2