

Form # P-04 **DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**

CITY OF PORTLAND

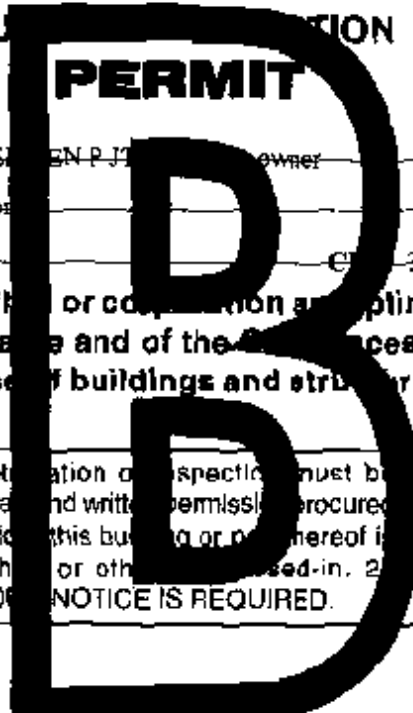
BUILDING DEPARTMENT

PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

Permit Number: 101358
NOV 12 2010

PERMIT



This is to certify that DONATELLE EMERY J & BEN P J owner

has permission to add deck to rear of existing house City of Portland

AT 76 GARSOE DR City 386A B025001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 2 HOOR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 11-10-10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1358	Issue Date:	CBL: 386A B025001
-----------------------	-------------	----------------------

Location of Construction: 76 GARSOP DR	Owner Name: DONATELLE EMERY J & EILEE	Owner Address: 76 GARSOP DR	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Dwellings	Zone: R-2

Fast Use: Single Family Home	Proposed Use: Single Family Home - add deck to rear of existing home	Permit Fee: \$40.00	Cost of Work: \$1,500.00	CEG District: 5	18989
---------------------------------	---	------------------------	-----------------------------	--------------------	-------

Proposed Project Description: add deck to rear of existing home	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group R-3 Tr 5B JRC-2003 Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 10/29/2010	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>10/11/10</i>	Date: <i>10/11/10</i>	Date: <i>[Signature]</i>

PERMIT ISSUED

NOV 12 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1358	Date Applied For: 10/29/2010	CBL: 386A B025001
-----------------------	---------------------------------	----------------------

Location of Construction: 76 GARSOE DR	Owner Name: DONATELLE EMERY I & EILEE	Owner Address: 76 GARSOE DR	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - add deck to rear of existing home	Proposed Project Description: add deck to rear of existing home
---	--

Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 11/01/2010
Note:			OK to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> Separate permits shall be required for future decks, sheds, pools, and/or garages. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			
Dept: Building	Status: Approved with Conditions	Reviewer: Nicholas Adams	Approval Date: 11/10/2010
Note:			OK to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> Fastener schedule per the IRC 2003 Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. If there are 4 or more risers, a handrail is required on one side with ends returned if the guardrail does not meet graspability dimensions 			

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Framing Inspection, will only be required if the framing can not be viewed at Final.**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>76 GARDNER DRIVE, PORTLAND, ME</u>		
Total Square Footage of Proposed Structure/Area: <u>2230 sq ft</u>	Square Footage of Lot: <u>13,985</u>	Number of Stories: <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>3B6A</u> Block# <u>D</u> Lot# <u>025</u>	Applicant *must be owner, Lessee or Buyer* Name: <u>Emily Donatello</u> Address: <u>76 Gardner Drive</u> City, State & Zip: <u>Portland, ME 04113</u>	Telephone: <u>787-2557</u>
Lessee/DRA (if Applicable)	Owner (if different from Applicant) Name: Address: City, State & Zip:	Cost Of Work \$ <u>\$1,500</u> C of O Fee \$ _____ Total Fee \$ <u>40</u>
Current legal use (i.e. single family) <u>Single</u> Number of Residential Units _____		
If vacant, what was the previous use? _____		
Proposed Specific use: _____		
Is property part of a subdivision? _____ If yes, please name: _____		
Project description: <u>As per the permit for my home at 76 Gardner Dr</u>		
Contractor's name: <u>Emily Donatello</u>		
Address: <u>76 Gardner Drive</u>		
City, State & Zip: <u>Portland, ME</u>		Telephone: <u>787-2557</u>
Who should we contact when the permit is ready: <u>Emily Donatello</u>		Telephone: <u>787-2557</u>
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED

Signature: Emily Donatello

Date: 10/21/10

OCT 29 2010

This is not a permit; you may not commence ANY work until the permit is issued.
City of Portland Maine



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000 in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of rise/run, head room, guards/handrails, balustrade spacing
- Window and door schedule
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEBC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are also required if original plans are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

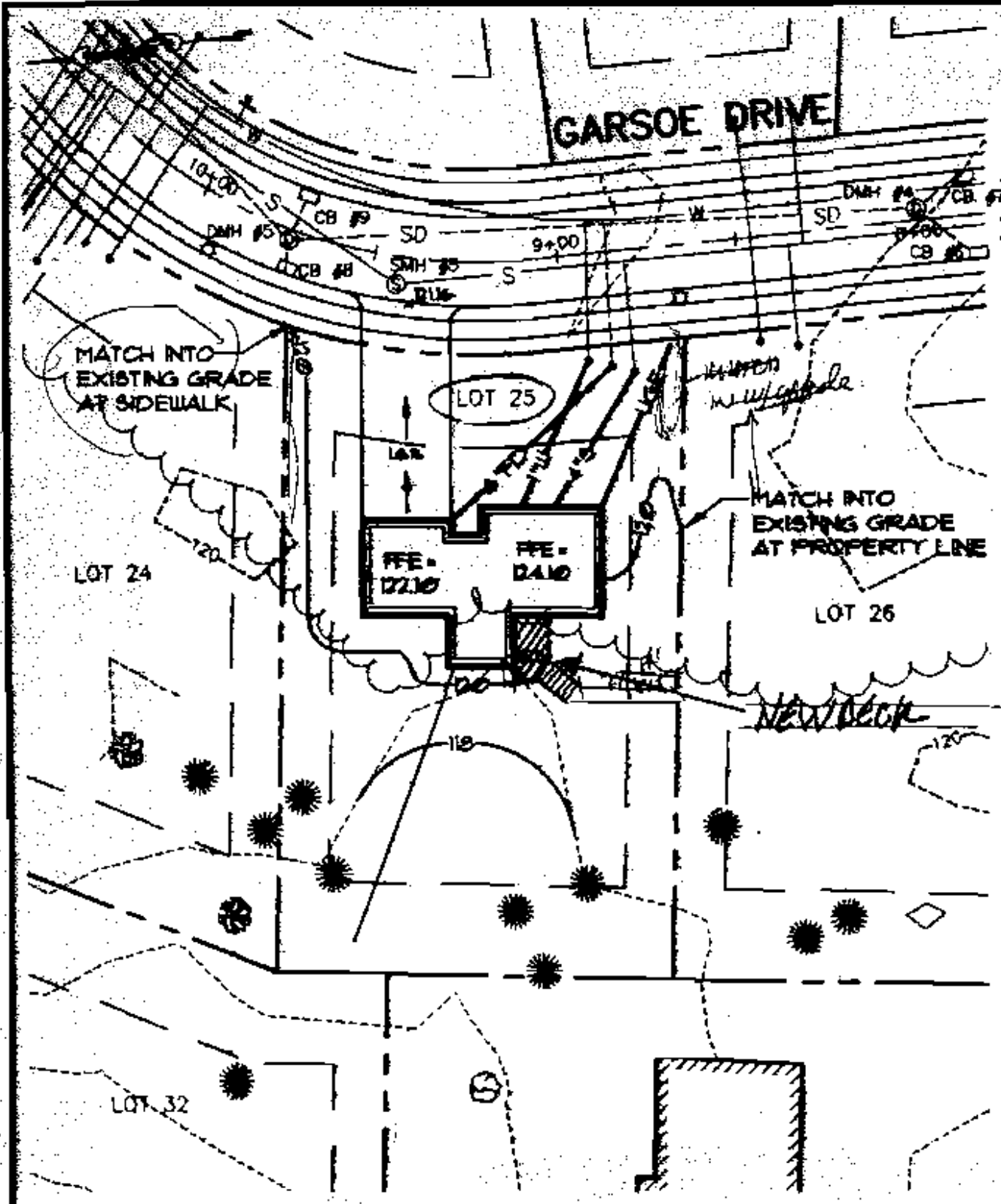
- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

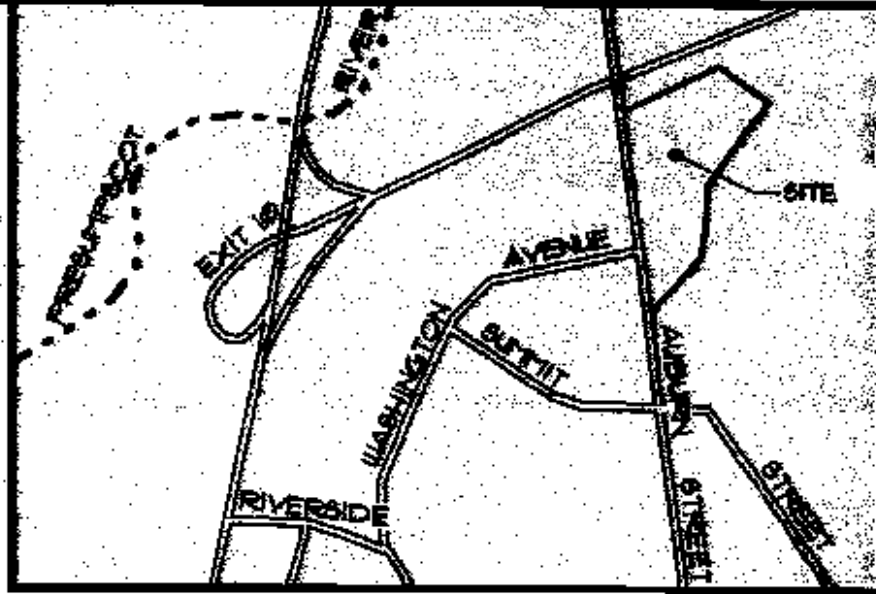
Permit Fee: \$70.00 for the first \$1000.00 construction cost, \$18.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROLL	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
	BUILDING	
---	EDGE PAVEMENT	---
---	CONTOURS	124
---	WATER	8"W
---	SEWER	8"S
---	STORM DRAIN	12"30
☆	IND. DRAIN	---
◇	LIGHT POLE	---
◇	HYDRANT	---
□	CATCH BASIN	---
⊙	MANHOLE	---
⊙	SPOT GRADE	30x10



LOCATION MAP

R-2 Zone
 Front: 25' min - 25' shown
 Rear: 25' min - 25' shown
 Side: 1 story - 12' min - 14' (scaled) (27')

GENERAL NOTES

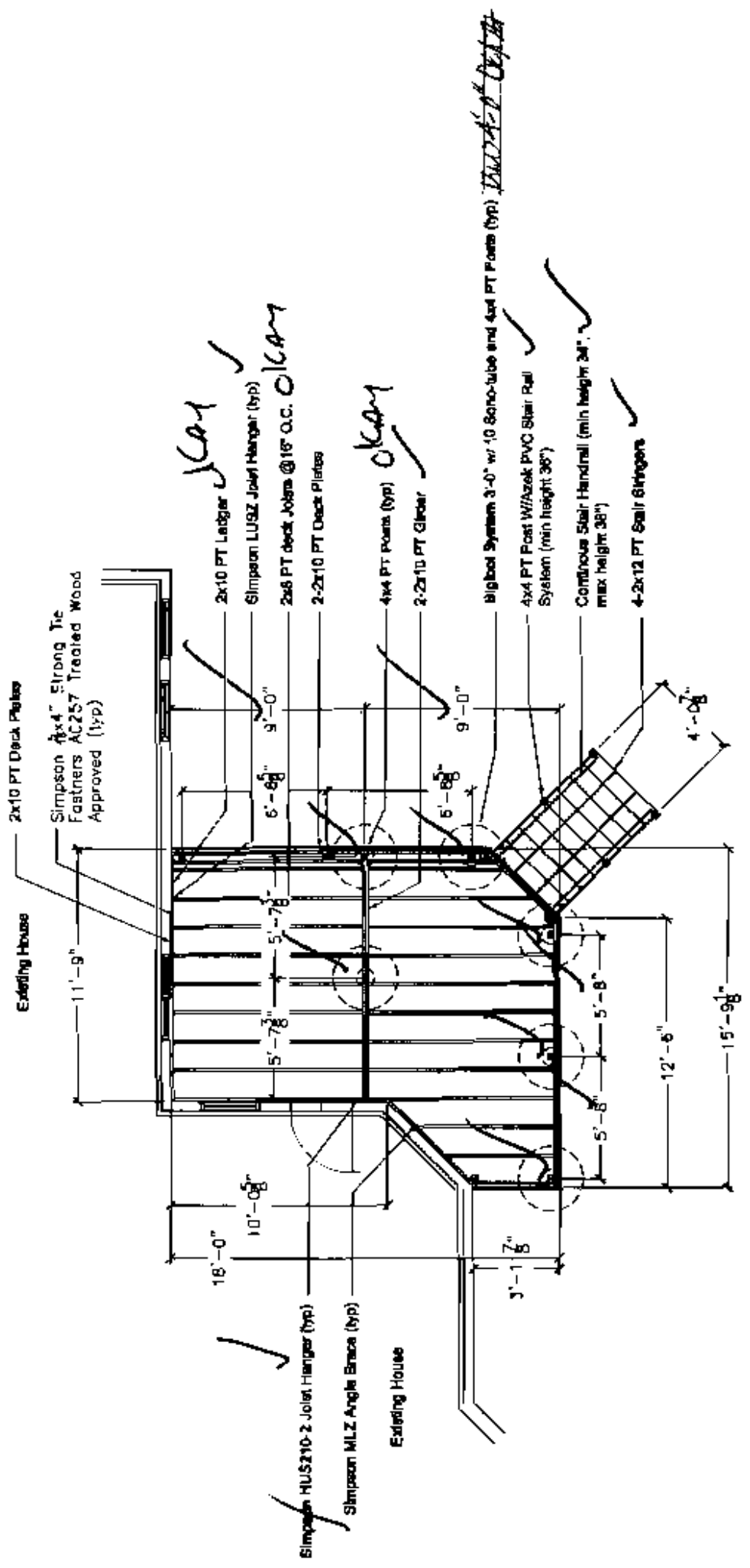
1. APPLICANT: EMERY DONATELLE
121 DEEPWOOD DRIVE
PORTLAND, ME 04103
2. THE LOT SHOWN HEREON IS PART OF A SUBDIVISION SITUATED WITHIN THE CITY OF PORTLAND'S R2 RESIDENTIAL ZONE SINGLE FAMILY HOMES.
3. PLAN REFERENCES:
A) SUBDIVISION PLAN OF AUBURN PINES SUBDIVISION DATED THROUGH JULY 7, 1998 BY PINQUAM & GREER ENGINEERS.
4. EXISTING TOPOGRAPHIC INFORMATION IS BASED UPON SAID PLAN WITH ELEVATIONS THAT ARE REFERENCED TO A STANDARD DISK AUBURN RM-1 ELEVATION 122.9 NAVD. DATUM.
5. PROPOSED UTILITY LOCATION AND ELEVATION IS BASED UPON THE PLAN REFERENCED IN NOTE 3A. CONTRACTOR SHALL VERIFY LOCATION AND DEPTHS OF UTILITY LINES PRIOR TO CONSTRUCTION.
6. FOUNDATION DRAIN SHALL BE EQUIPPED WITH SUMP PUMP.

Sebago Technics
 Engineering & Planning for the Future
 One Chobot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

PLOT PLAN
 OF:
LOT 25 AUBURN PINES SUBDIVISION
 GARSOE DRIVE
 PORTLAND, ME
 FOR:
EMERY DONATELLE
 121 DEEPWOOD DRIVE
 PORTLAND, ME 04103

DESIGN BY:	
DRAWN BY:	BRF
CHECKED BY:	NJG
DATE:	04-04-00
SCALE:	1" = 40'
FIELD BK:	---
PROJ. NO:	00138
DRAWING:	00138S
SHEET 1 OF 1	

NANCY
 J.
 GILBERT
 18577
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MAINE



OKAY ✓
 2x10 PT Ledger ✓
 Simpson LUGZ J-let Hanger (typ) ✓
 2x8 PT Deck Joists @ 16" O.C. ✓
 2-2x10 PT Deck Planks ✓

OKAY ✓
 4x4 PT Posts (typ) ✓
 2-2x10 PT Girder ✓

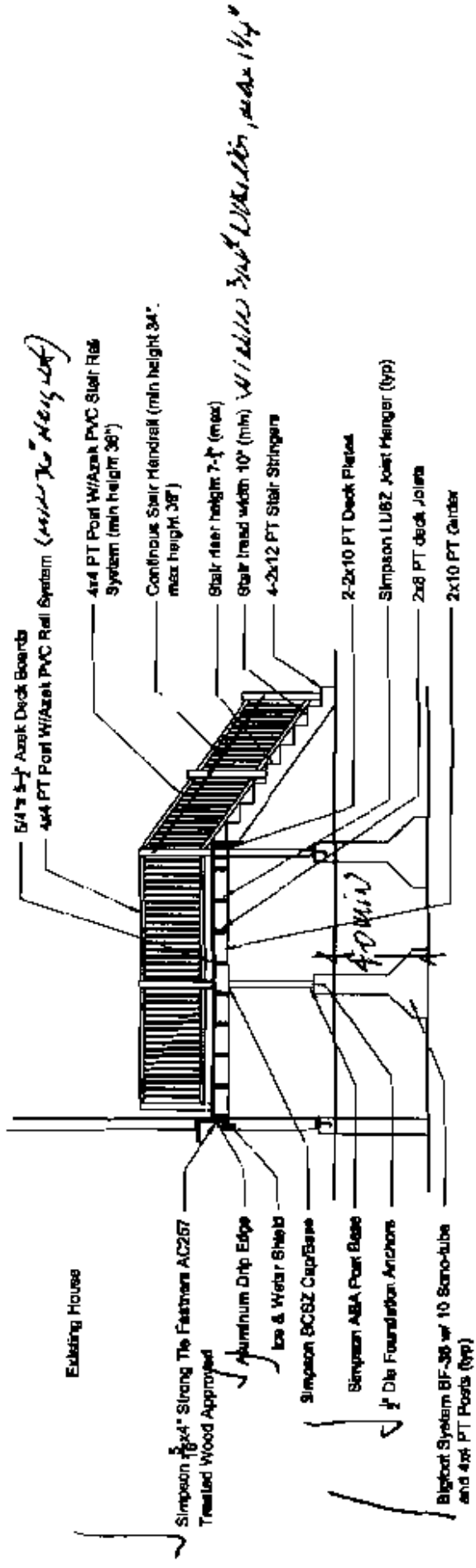
Bigfoot System 3-0" w/ 10 Sch. Tube and 4x4 PT Posts (typ) ✓
 4x4 PT Post W/Aztek PVC Stair Rail System (min height 36") ✓
 Continuous Stair Handrail (min height 36" max height 38") ✓
 4-2x12 PT Stair Stringers ✓

Existing House
 2x10 PT Deck Planks
 Simpson 1/4"x4" Strong Tie Fasteners AC208 Treated Wood Approved (typ)

✓
 Simpson HUS210-2 J-let Hanger (typ)
 Simpson MLZ Angle Brace (typ)
 Existing House

Deck Plan

SCALE: 1/4" = 1'-0"	DATE:	DESIGNED BY:	DRAWN BY:
Donatelle Residence - 76 Garcoe Drive		SHEET 1 OF 3	
		01/REV A	



Deck Cross Section

SCALE: 1/2" = 1'-0"	DATE:	DESIGNED BY:	DRAWN BY:
Donatelle Residence - 76 Garsoe Drive			SHEETS OF 3
PROJECT NUMBER:			01/REV A