

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED		CBL:
Permit No: 02-0021	Issue Date: APR 9 2002	386A B020001

Location of Construction: 38 Alice Ct	Owner Name: Walp Michael R &	Owner Address: 20 Wendell St	Phone: 207-797-0470
Business Name: n/a	Contractor Name: CPW Development	Contractor Address: PO Box 4000 Windham	Phone: 650-5634 2078923527
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	Zone: R-2

Past Use: Vacant	Proposed Use: Single Family / Amendment to permit # 010681; adding a 2 car garage <i>Change Design</i>	Permit Fee: \$30.00	Cost of Work: \$0.00	CEO District: 2
Proposed Project Description: Adding a 2 car garage		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>BOCA 1999</i>	
		Signature: <i>[Signature]</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: <i>[Signature]</i> Date: _____				

Permit Taken By: gg	Date Applied For: 01/09/2002	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>4/1/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>4/1/02</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

38 Alice Ct

Boundary Points



PROFESSIONAL LAND SURVEYING
P.O. BOX 1023
WESTBROOK, MAINE 04098-1023
207-854-0182

Website: <http://members.aol.com/boundarypoints>
E-mail: boundarypoints@maine.net

December 5, 2001

Anne Walp
20 Wendell Street
Portland, Maine 04103

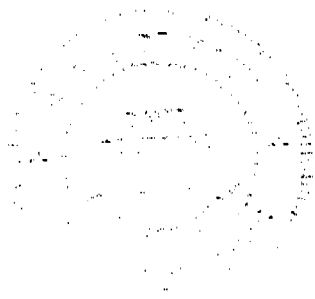
Dear Anne:

As requested, Boundary Points has measured the newly constructed concrete foundation located in Auburn Pines Subdivision. The foundation was constructed on Lot 20 adjacent to Alice Court as depicted on the Auburn Pines Subdivision Plan dated April 28, 1999 and last revised July 20, 1999 by Pinkham & Greer Consulting Engineers. The plan is recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 393 and approved by the City of Portland on July 13, 1999.

The concrete foundation was measured on December 3, 2001. The foundation was found to be constructed within the building envelope as depicted on the above referenced plan.

Sincerely:

David Bouffard
Professional Land Surveyor
Licensed Site Evaluator



AMENDED

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>38 ALICE COURT</u>		
Total Square Footage of Proposed Structure <u>1700</u>	Square Footage of Lot <u>31,445</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>386A</u> Block# <u>B</u> Lot# <u>20</u>	Owner: <u>MICHAEL & ANNE WALSH</u> <u>20 WENDELL ST.</u> <u>PORTLAND, ME 04103</u>	Telephone: <u>(7) 797-0470</u> <u>(C) 450-0470</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>OWNER</u> ↑	Cost Of <u>Amendment</u> Work: \$ 30000 Fee: \$ <u>30.-</u>
Current use: <u>VACANT LOT</u>		
If the location is currently vacant, what was prior use: <u>FOREST</u>		
Approximately how long has it been vacant: <u>—</u>		
Proposed use: <u>SINGLE FAMILY RESIDENCE</u>		
Project description: <u>COLONIAL WITH 2 CAR GARAGE</u> <u>permit # 010281 Amendment</u>		
Contractor's name, address & telephone: <u>CPW DEVELOPMENT</u> <u>P.O. BOX 4000 WINDHAM, ME 04062</u> <u>850-5624</u>		
Who should we contact when the permit is ready: <u>THOMAS BLACKBURN (C) 232-8134</u> <u>WILL PICK UP</u> ↓		
Phone:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Debra Michael Walsh</u>	Date: <u>1/9/02</u>
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This is not a permit, you may not commence ANY work until the permit is issued

Applicant: *Michael Rwalp*

Date: *1/14/01*

Address: *38 Alice Court*

C-B-I: *386A-B-020*

CHECK-LIST AGAINST ZONING ORDINANCE

Date - *New*

Zone Location -

Interior or corner lot -

Proposed Use/Work -

Sevage Disposal -

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

Projections -

Width of Lot -

Height -

Lot Area -

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

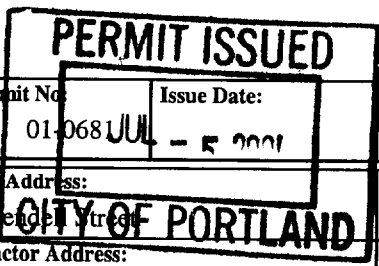
Shoreland Zoning/ Stream Protection -

Flood Plains -

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-068	Issue Date: JUL - 5 2001	CBL: 386 AB020001
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Location of Construction: 38 Alice Court	Owner Name: Walp, Michael & Ann	Owner Address: 20 Wendell Street	Phone: 2077970470
Business Name: n/a	Contractor Name: CPW Development	Contractor Address: PO Box 4000 Windham	Phone: 2078923527
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	Zone: R-2



Past Use: Vacant	Proposed Use: Single Family/New 34' x 49'4" Colonial w/ 2 car 25' x 27'6" garage	Permit Fee:	Cost of Work: \$200,000.00	CEO District: 2
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A-3 Type: S13 PERMIT ISSUED WITH REQUIREMENTS
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Proposed Project Description:
Build 34' x 49'4" Colonial w/2 car 25' x 27'6" Garage

Signature: *[Handwritten Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 06/11/2001	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews
<input type="checkbox"/> Shoreland <i>N/A</i>
<input type="checkbox"/> Wetland
<input type="checkbox"/> Flood Zone <i>PANEL 2 ZONE X</i>
<input type="checkbox"/> Subdivision
<input checked="" type="checkbox"/> Site Plan <i>2001-01+2</i>
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/>
<i>ok with condys</i>
Date: <i>7/5/01</i>

Zoning Appeal
<input type="checkbox"/> Variance
<input type="checkbox"/> Miscellaneous
<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Interpretation
<input type="checkbox"/> Approved
<input type="checkbox"/> Denied

Historic Preservation
<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Requires Review
<input type="checkbox"/> Approved
<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Denied
Date: <i>[Handwritten Signature]</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2001-0142

Application I. D. Number

06/11/2001

Application Date

Alice Court (Lot #20)

Project Name/Description

Busque Construction

Applicant

14 Outlet Cove Rd , Windham , ME 04062

Applicant's Mailing Address

Blackburn, Thomas

Consultant/Agent

Agent Ph: (207)232-8134

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

38 - 38 Alice Ct, Portland, Maine

Address of Proposed Site

386A B020001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1,700 sf.

31,445 sf.

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date: _____

Insp Approval Status:

Reviewer Marge Schmuckal

- Approved Approved w/Conditions See Attached Denied

Approval Date 07/05/2001

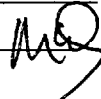
Approval Expiration 07/05/2002

Extension to _____

Additional Sheets Attached

Condition Compliance

Marge Schmuckal
signature



07/05/2001
date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

BUILDING PERMIT REPORT

DATE: 14 June 2001 ADDRESS: 38 Alice Court CBL: 386-AB-020

REASON FOR PERMIT: To Construct Single Family Dwelling/attached garage.

BUILDING OWNER: Michael & Ann Walp

PERMIT APPLICANT: CONTRACTOR CPW Development

USE GROUP: R-3 CONSTRUCTION TYPE: 53 CONSTRUCTION COST: 200,000.00 PERMIT FEES: 1,524.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

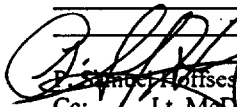
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *5, *8, *9, *10, *13, *16, *20, *27, *28, *29, *30, *32, *33, *34, *35, *36, *39

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

6/11

- *20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- *27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- *28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
- *29. All requirements must be met before a final Certificate of Occupancy is issued.
- *30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements. *All requirements and conditions on the attached site development review sheet shall be met*
- *33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- *34. Bridging shall comply with Section 2305.16.
- *35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- *36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- *38. *Roofing shall comply with section 1505.0*
- *39. *The proposed steel beam shall have a design by a structural engineer. This design shall be submitted and approved by the office before work is started.*


 P. Stimpert, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

01-0687

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

2001 0142

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 38 ALICE COURT

Total Square Footage of Proposed Structure 1700 Square Footage of Lot 31,445-

Tax Assessor's Chart, Block & Lot Number
Chart# 386A Block# B Lot# 20
Owner: MICHAEL & ANNE WALP
20 WENDELL STREET
PORTLAND, ME 04103
Telephone#: 4797-0470 (C) 450-0470

Lessee/Buyer's Name (If Applicable) Owner's/Purchaser/Lessee Address: Cost Of Work: \$200,000 Fee: \$1,224.00

Current use: VACANT LOT
If the location is currently vacant, what was prior use: FOREST
Approximately how long has it been vacant:
Proposed use: SINGLE FAMILY RESIDENCE
Project description: 34 x 49.4" w/ 25 x 27' 8" COLONIAL WITH 2 CAR GARAGE
Site Fee 300.00
Total 1,524.00

Contractor's Name, Address & Telephone: CP W DEVELOPMENT
POB 4000, WINDHAM, ME 04062
892-3527 or 650-5624
Applicants Name, Address & Telephone: SAME

Who should we contact when the permit is ready: ~~THOMAS BLACKBURN~~ 232-8134
Telephone: ~~Call~~ ~~xx~~

If you would like the permit mailed, what mailing address should we use:

RECEIVED JUN 11 2001 6/11/01 Rec'd By: Gough

0029796

BK16252PG128

WARRANTY DEED

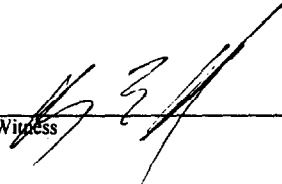
Know All Men By These Presents That Busque Construction Co., Inc.
of 43 Cottage Avenue, Windham,
County of Cumberland and State of Maine,
for consideration paid, grant to Michael R. Walp and Anne D. Walp
of 20 Wendell Street, Portland,
County of Cumberland and State of Maine
as Joint Tenants
with **WARRANTY COVENANTS:**

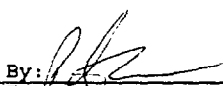
A certain lot or parcel of land together with any buildings thereon situated in
Portland County of Cumberland
and State of Maine, more particularly described in Exhibit A attached hereto and
incorporated herein by reference.

In Witness Whereof, I/we have hereunto set my/our hand(s) this 30th day of
April, 2001.

Busque Construction Co., Inc.

MAINE REAL ESTATE TAX PAID

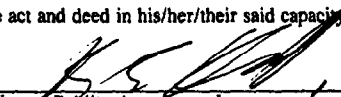
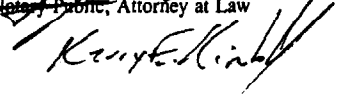
Witness 

By: 
Peter Busque,

State of Maine
County of Cumberland ss.

On this 30th day of April, 2001, personally appeared before me the
above named Peter Busque,, of Busque Construction Co., Inc.

and acknowledged the foregoing to be his/her/their free act and deed in his/her/their said capacity and the
free act and deed of said Corporation.


Notary Public, Attorney at Law


Return to: Michael R. Walp

File No: 01030653

Exhibit A - Deed

A certain tract or parcel of land with the buildings thereon, located in the City of Portland, County of Cumberland and State of Maine, described as follows:

Lot No. 20 as depicted on the Auburn Pine Subdivision Plan recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 393.

The property described herein is conveyed subject to the general Notes and Conditions set forth on said plan together with the Declaration of Restrictions and Covenants for Auburn Pines as set forth in an instrument dated August 16, 1999 and recorded in the Cumberland County Registry of Deeds in Book 14981, Page 172.

Also conveying and easement for access and installation and maintenance of utilities over and within the streets and ways shown on said Plan.

Meaning and intending to convey and hereby conveying the same premises described in a deed from dated June 21, 2000 to Busque Construction Co., Inc. and recorded in the Cumberland County Registry of Deeds in Book 15551, Page 297.

*P.S.
4/30/01*

RECEIVED
RECORDED REGISTRY OF DEEDS
2001 MAY -1 AM 11:56
CUMBERLAND COUNTY
John B. O'Brien

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>DM for CPW DEW</i>	Date: <i>6/11/01</i>
---	----------------------

Applicant: CPW Dev

Date: 7/5/01

Address: 38 Alice Ct (lot 20)

C-B-L: 306A-B-020

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - construct new 34 x 49.33' single family with 25 x 27.5' garage

Sevage Disposal - City

Lot Street Frontage - 50' req - 100' shown

Front Yard - 25' req - 25' + shown

Rear Yard - 25' req - 25' + shown

→ close Side Yard - 14' req - just over 14' on both sides
2 story shown

Projections - rear deck

Width of Lot - 80' req - 100' shown

Height - 35' max

Lot Area - 10,000 sq ft 31,445 shown a site plan

Lot Coverage/ Impervious Surface - 20% of 6,289 sq ft max

Area per Family - 10,000 sq ft

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - minor/minor
#2001-0142

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

Previous permit for house is void (over 1 yr old)

34 x 49.55 = 1684.7

25 x 27.5 = 687.5

2372.2

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-068 JUL - 5 2001	Issue Date: - 5 2001	CBL: 386 AB020001
-----------------------------------	-------------------------	----------------------

Location of Construction: 38 Alice Court	Owner Name: Walp, Michael & Ann	Owner Address: 20 Windham Street CITY OF PORTLAND	Phone: 2077970470
Business Name: n/a	Contractor Name: CPW Development	Contractor Address: PO Box 4000 Windham	Phone: 650-5624 2078923527
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	Zone: R-2

Past Use: Vacant	Proposed Use: Single Family/New 34' x 49'4" Colonial w/ 2 car 25' x 27'6" garage	Permit Fee:	Cost of Work: \$200,000.00	CEO District: 2
Proposed Project Description: Build 34' x 49'4" Colonial w/2 car 25' x 27'6" Garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: S3 PERMIT ISSUED WITH REQUIREMENTS <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 06/11/2001	Zoning Approval		
------------------------	---------------------------------	------------------------	--	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 2 zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2001-01 + 2</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>ok with conditions</i> Date: <i>3 7/5/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>[Signature]</i> Date: _____
---	---	---	--

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$260,000.00 Plan Review # _____

Fee: \$1,524.00 Date: 14 June 2001

Building Location: _____ CBL: 386-AB-020

Building Description: Single Family dwelling/attached garage

Reviewed By: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 5-B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued	111.0 118.0
2.	Before placing concrete for foundation you shall call this office for setback inspection.	111.0
3.	Foundation drains shall comply with section 1813.52	1813.52
4.	Waterproofing & damp proofing shall comply with section 1813.0	1813.0
5.	Private garages shall comply with section 407.	407.0
6.	Chimneys and vents shall comply with NFPA section 211 Ch. 4 or manufactures req.	NFPA 211
7.	Guardrails and handrails shall comply with sections 1021.0 & 1022.0	1021.0 1022.0
8.	STAIR CONSTRUCTION shall comply with section 1014.0	1014.0
9.	Sleeproom egress or rescue windows shall comply with section 1010.4	1010.4
10.	Smoke detectors shall comply with section 920.3.2	920.3.2
11.	Ventilation and access to attic or crawl spaces shall comply with sections 1210.0 & 1211.0	1210.0 1211.0
12.	All bldg elements shall be fasten as per table 2305.2	2305.2
13.	Boring, cutting & notching shall comply with sections 2305.3 through 2305.16	2305.3 2305.16

REV: PSH 4-7-00

Foundations (Chapter 18)

Wood Foundation (1808)

~~NA~~ Design
~~NA~~ Installation

Footings (1807.0)

- ~~X~~ Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
- ~~NA~~ Insulated footing provided
- ~~X~~ Soil bearing value (table 1804.3)
- ~~X~~ Footing width
- ~~X~~ Concrete footing (1810.0) .3.1, 3.2
- _____
- _____
- _____
- _____
- _____

Foundation Walls

- ~~X~~ Design (1812.1)
- ~~X~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- ~~SA~~ Water proofing and damp proofing Section 1813
- ~~X~~ Sill plate (2305.17)
- ~~X~~ Anchorage bolting in concrete (2305.17)
- ~~X~~ Columns (1912)
- ~~SA~~ Crawl space (1210.2) Ventilation
- ~~SA~~ Crawl opening size (1210.2.1)
- ~~SA~~ Access to crawl and attic space (1211.0)
- ~~SA~~

Floors (Chapter 16-23)

- ~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)
- ~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)
- ~~X~~ Grade
- ~~X~~ Spacing
- ~~X~~ Span
- ~~X~~ Girder 4" bearing 2305

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~X~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SA~~ Fastening table (2305.2)
- ~~AM~~ Floor trusses (AFPANDS Chapter 35)
- ~~I~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~I~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~I~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~SA~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~I~~ Wall bracing required (2305.8.1)
- ~~I~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~AM~~ Metal construction
- ~~MA~~ Masonry construction (Chapter 21)
- ~~I~~ Exterior wall covering (Chapter 14)
- ~~I~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~MA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- ~~X~~ Roof rafters - Design (2305.15) spans
- ~~A~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~1~~ Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- ~~511~~ Approved materials (1404.1)
- ~~1~~ Performance requirement (1505)
- ~~1~~ Fire classification (1506)
- ~~1~~ Material and installation requirements (1507)
- ~~1~~ Roof structures (1510.0)
- ~~1~~ Type of covering (1507)

**Chimneys and Fireplaces
 BOCA Mechanical/1993**

- ~~512~~ Masonry (1206.0)
- ~~MA~~ Factory - built (1205.0)
- ~~111~~ Masonry fireplaces (1404)
- ~~51~~ Factory - built fireplace (1403)
- ~~52~~ NFPA 211

**Mechanical
 1993 BOCA Mechanical Code**

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>40 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>1</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

<u>SA</u>	Labeling (2402.1)
	Louvered window or jalousies (2402.5)
	Human impact loads (2405.0)
	Specific hazardous locations (2405.2)
<u>SA</u>	Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

<u>SA</u>	General (407)
	Beneath rooms (407.3)
	Attached to rooms (407.4)
	Door sills (407.5)
	Means of egress (407.8)
	Floor surface (407.9)

Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~A~~ EXIT DOOR (1017.3) ~~36~~" W 80" H
- ~~A~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SA~~ Riser (1014.6) 7 3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

Dwelling Unit Separation
Table 602

NA

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0142

Application I. D. Number

06/11/2001

Application Date

Alice Court (Lot #20)

Project Name/Description

Busque Construction

Applicant

14 Outlet Cove Rd , Windham , ME 04062

Applicant's Mailing Address

Blackburn, Thomas

Consultant/Agent

Agent Ph: (207) 232-8134 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

38 - 38 Alice Ct, Portland, Maine

Address of Proposed Site

386A B020001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 38 Alice Court, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.
- 10 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2001-0142
Application I. D. Number

06/11/2001
Application Date

Alice Court (Lot #20)
Project Name/Description

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Applicant
14 Outlet Cove Rd , Windham , ME 04062
Applicant's Mailing Address
Blackburn, Thomas
Consultant/Agent
Agent Ph: (207)232-8134 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

38 - 38 Alice Ct, Portland, Maine
Address of Proposed Site
386A B020001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1,700 sf. **31,445 sf.**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date _____

DRC Approval Status:

Reviewer Jay Reynolds

- Approved **Approved w/Conditions**
See Attached Denied

Approval Date 06/27/2001 Approval Expiration 06/27/2002 Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds 06/27/2001
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input checked="" type="checkbox"/> Temporary Certificate of Occupancy	_____	<input checked="" type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input checked="" type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	_____
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0142

Application I. D. Number

06/11/2001

Application Date

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Applicant or Agent Daytime Telephone, Fax

38 - 38 Alice Ct, Portland, Maine

Address of Proposed Site

386A B020001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Insp

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pool, and/or garage.
- 3 This permits voids out any previous building permits issued on this lot.

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 38 Alice Court, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
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- 10 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

386-A-B-20

**City Of Portland
Inspection Services
RETURN OF SERVICE**

On the 21 day of November, 2001, I made service of the Stop Work Order
upon, CPW Development, at 38 Alice Ct, Portland

- By delivering a copy in hand.
- By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is _____.
- By delivering a copy to an agent authorized to receive service of process, and whose name is Coley Walsh.
- By (describe other manner of service) _____.

DATED: 11/21/01

[Signature]
Signature of Person Making Service
CEO
Title

I have received the above referenced documents

[Signature]
Person Receiving Service

- Refused to sign
- Unable to sign

Inspection Services
Michael J. Nugent
Manager

Housing & Neighborhood Services
Mark Adelson
Director



CITY OF PORTLAND
STOP WORK NOTICE

November 21, 2001

CPW Development
PO Box 4000
Windham, Maine 04062

RE: 38 Alice Court
CBL: 386 AB020001

HAND DELIVER

Dear CPW Development:

An evaluation of the property at 38 Alice Court revealed that the property fails to comply with Section 113.2 of the 1999 BOCA Building Code of the City of Portland.

Failure to comply with required setback and footing inspection schedule in accordance with the approved site plan.

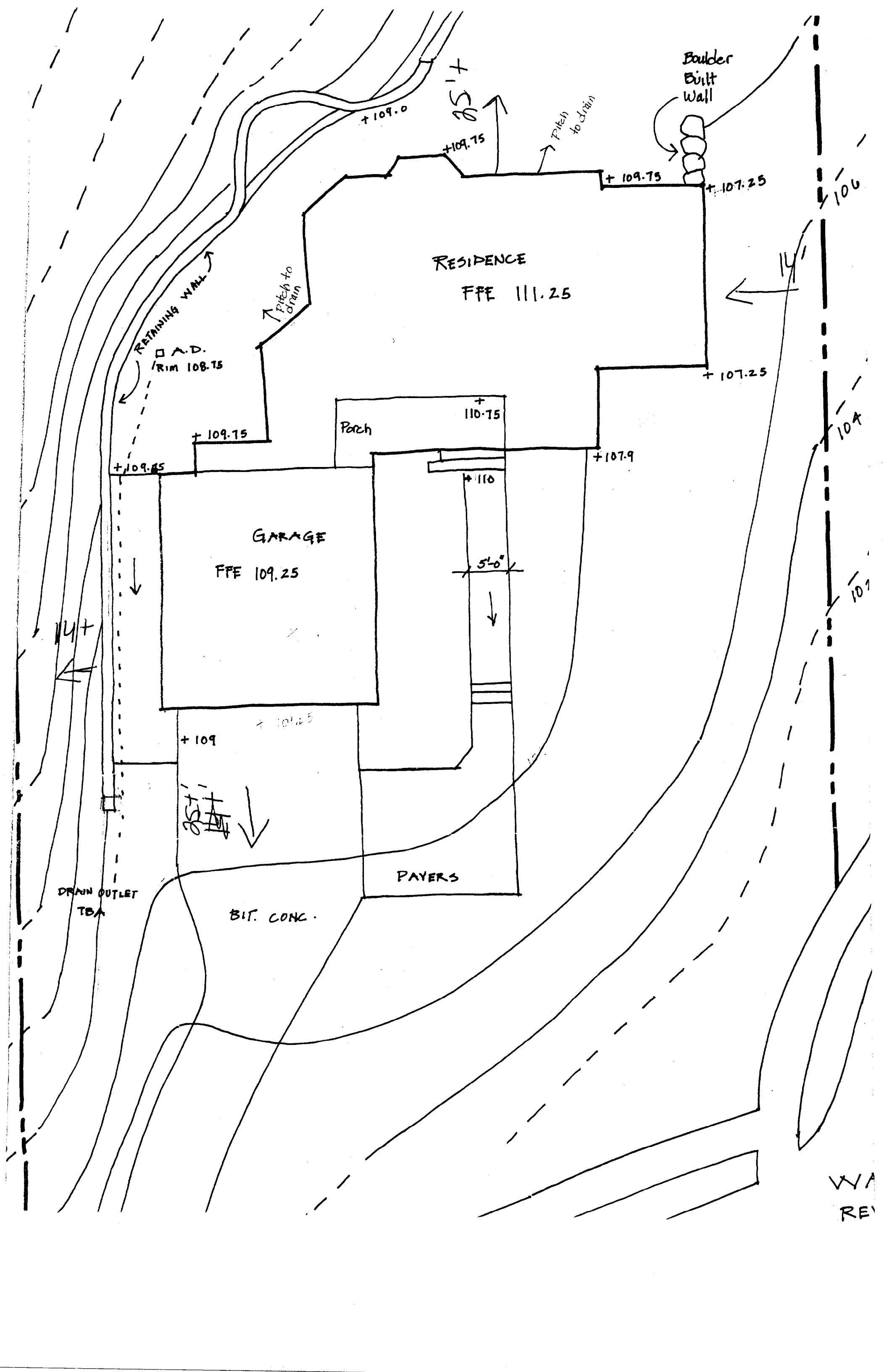
This is a **STOP WORK ORDER** pursuant to Section 117.1 of the 1999 BOCA Building Code. All construction activity at the above referenced property must **STOP** immediately.

Construction may begin after compliance with the approved site plan has been established, including a submission from a registered land surveyor that the as built condition complies with the City of Portland Zoning Ordinance and this order has been lifted.

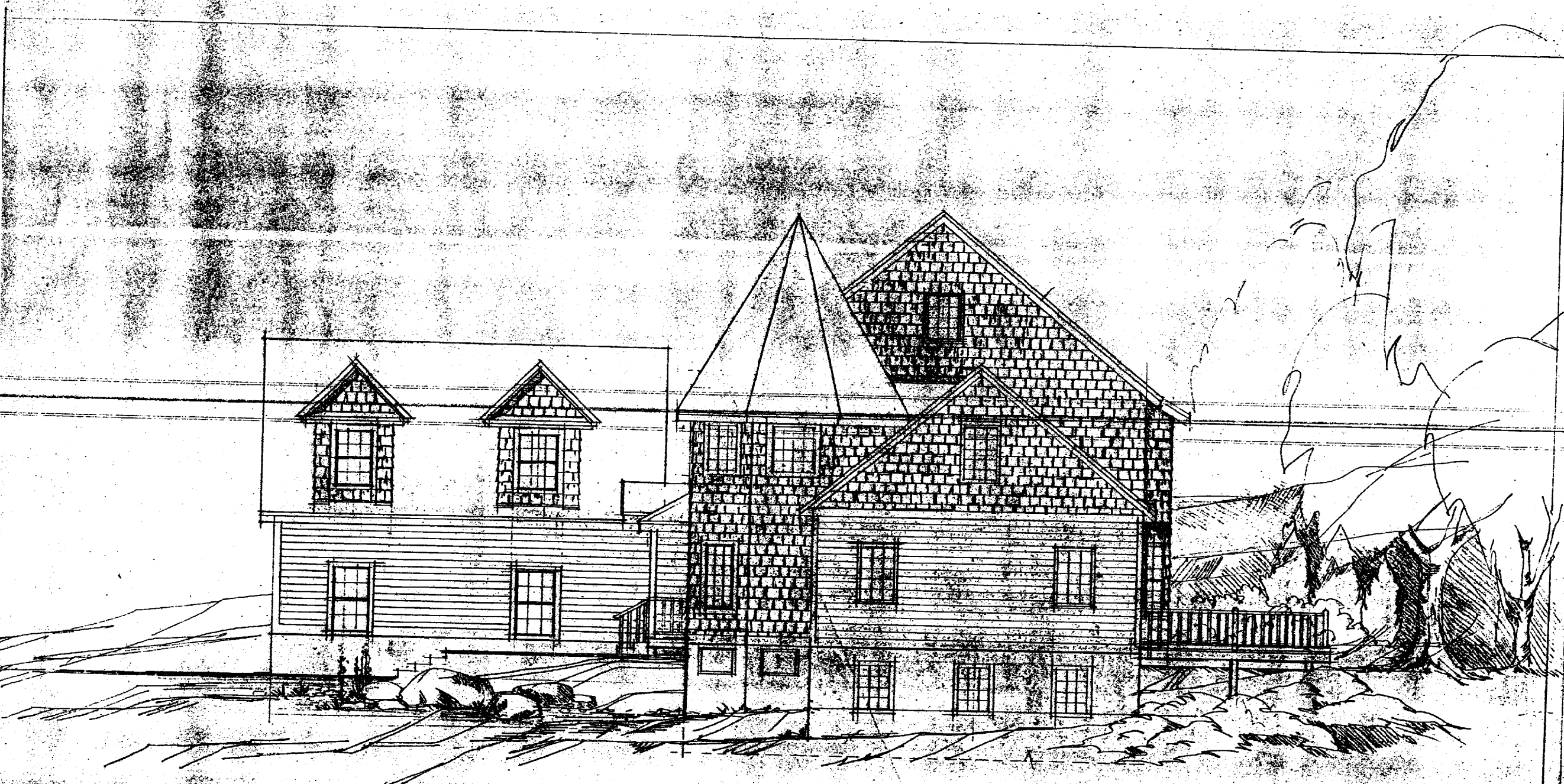
Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Ss 4452. This constitutes an appealable decision pursuant to Section 1-16.(2) of the City of Portland Code of Ordinances. Please feel free to contact me at 874-8703, if you wish to discuss the matter or have any questions.

Sincerely,

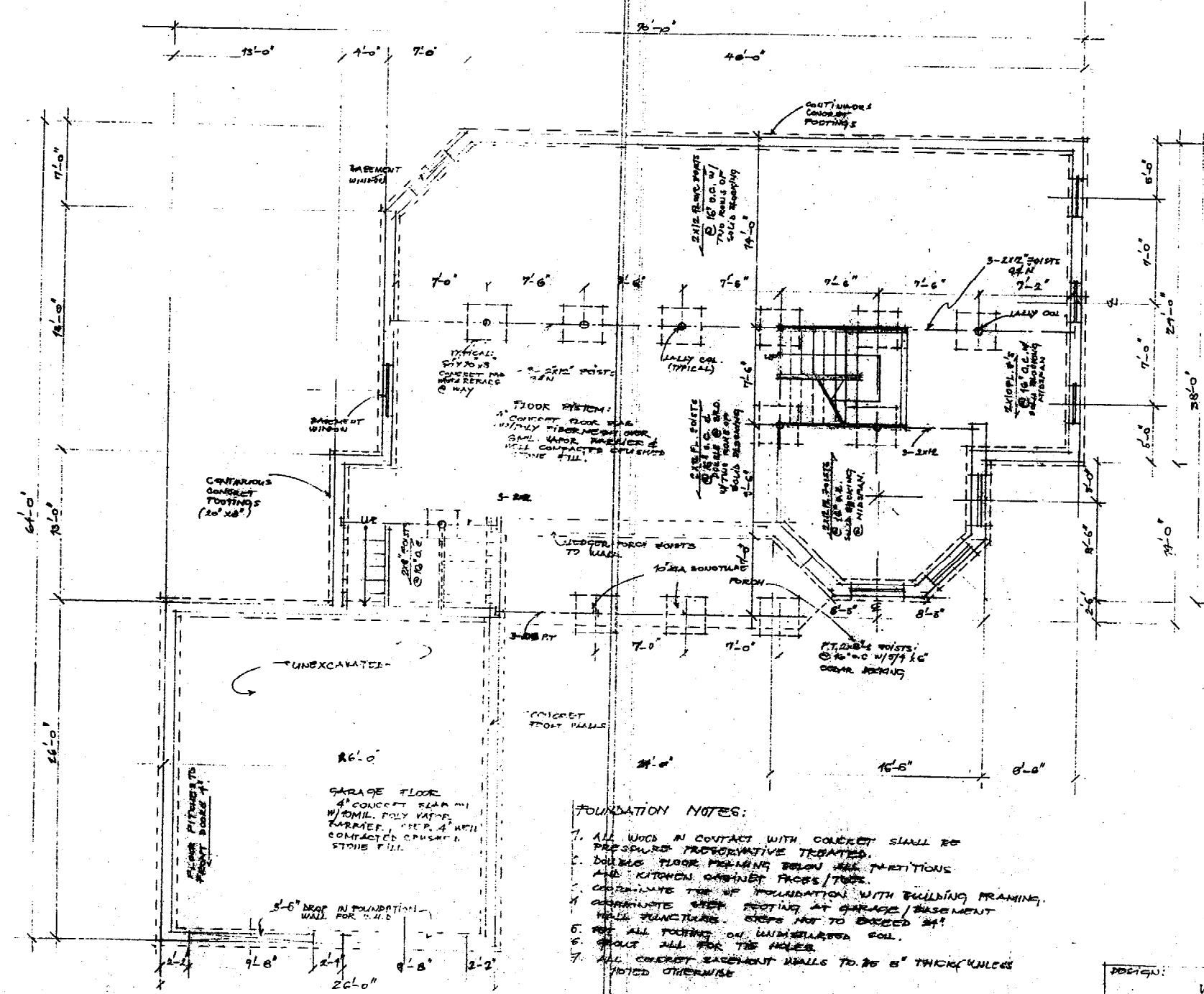
David Caddell
Code Enforcement Officer



WA
RE

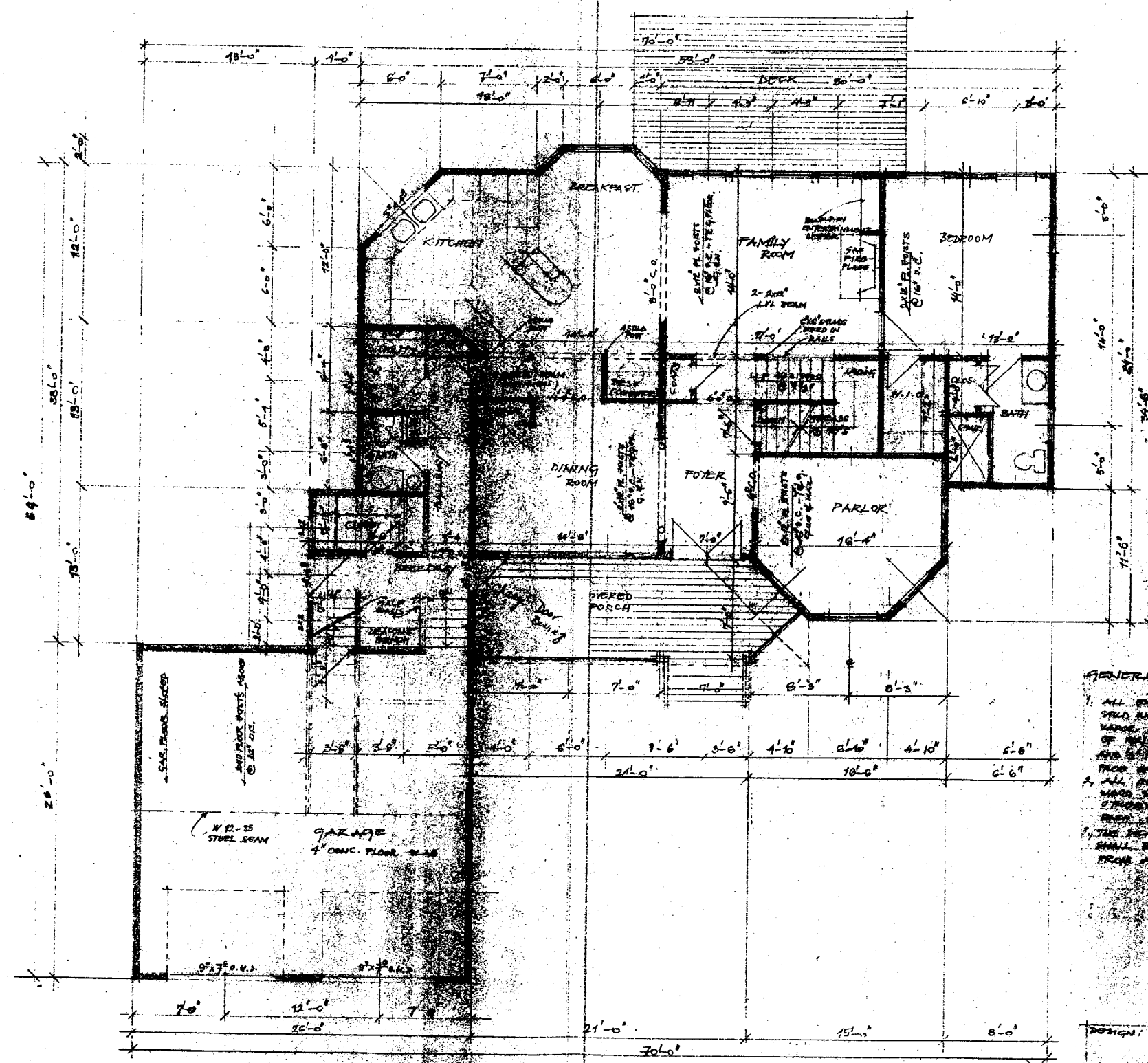


DESIGN:	WALP RESIDENCE
DATE: 03, 2001.	RIGHT ELEVATION
SCALE: 1/4" = 1'-0"	
	PAGE 2 OF 6



- FOUNDATION NOTES:**
1. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVED PRESERVATIVE TREATED.
 2. DOUBLE FLOOR MEASURING BELOW ALL PARTITIONS AND KITCHEN CABINET FRONTS/TOPS.
 3. COORDINATE THE SF FOUNDATION WITH BUILDING FRAMING.
 4. COORDINATE STEEP FOOTING AT GARAGE/BASEMENT WALL JUNCTIONS. STEEP NOT TO EXCEED 24°.
 5. SET ALL FOOTING ON UNIMPAIRED SOIL.
 6. BRACE ALL FOR THE HOLES.
 7. ALL CONCRETE BASEMENT WALLS TO BE 8" THICK UNLESS NOTED OTHERWISE.

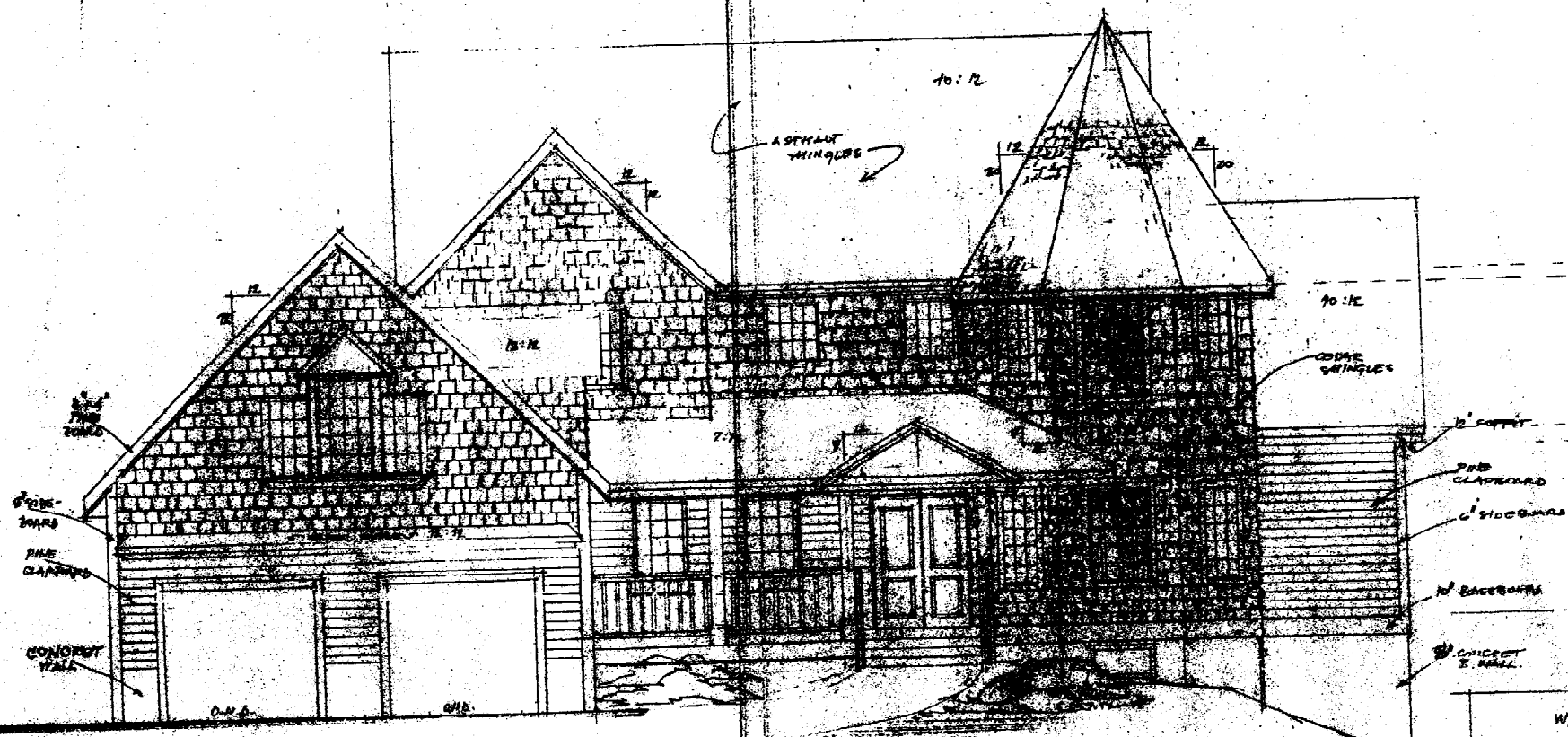
DESIGN:	WALP RESIDENCE
DATE:	02.2001
SCALE:	1/4" = 1'-0"
FOUNDATIONS PLAN	
PAGE 5 OF 6	



- GENERAL NOTES:**
1. ALL EXTERIOR WALLS TO BE LIG WOOD STUD WALLS @ 16" O.C. W/ 1/2" G. I. B. AND WOOD PARCELOR. @ INTERIOR FACE OF WALL. 6" BATT INSULATION (R-11) AND 1/2" WOOD SHOOTING @ EXTERIOR FACE OF WALL.
 2. ALL INTERIOR WALLS TO BE R.M. WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" G. I. B. OVER STUDS.
 3. THE POSITION OF ALL JOCK FRAMES SHALL BE 6" (UNLESS SHOWN OTHERWISE) FROM ADJACENT WALLS.

DESIGN:	WALP RESIDENCE
NO. 10,2001	FIRST FLOOR
SCALE:	PLAN
1/4" = 1'-0"	

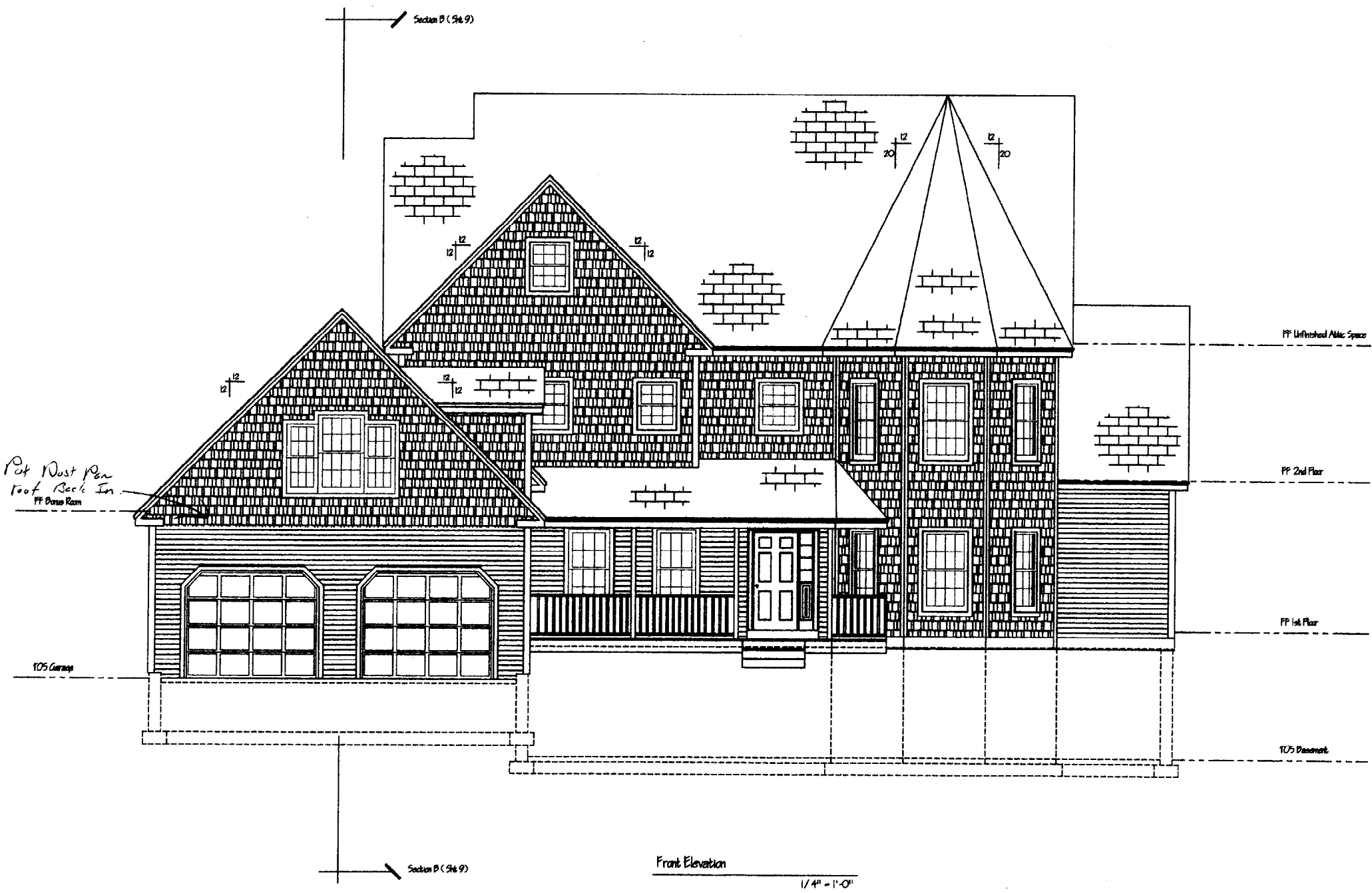
CATWALK - ajani (h'd)



WALTON RESIDENCE	
DATE 9. 20. 1.	FRONT ELEVATION
SCALE 1/4" = 1'-0"	

Disclaimer Notes:

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Front Elevation
1/4" = 1'-0"

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PROJECT FOR:
Michael & Ann Walp Residence
 38 Alice Court
 Portland, Maine 04103

REV.	DESCRIPTION	DATE
A	Revised per Engineers Comments issued for Engineers Stamp	02.28.02

DWG. TITLE: **Elevations**

STAMP:

For POCAL: **02/28/02**

DRAWN: M. Lane
 DATE: 02.28.02
 CHECKED:
 APPROVED:
 SCALE: 1/4" = 1'-0"
 JOB ORDER: 022502
 DRAWING NO.: **022502-1**
 SHEET 1 OF 14

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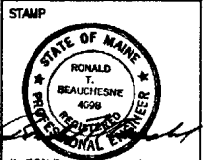
Rear Elevation
 1/4" = 1'-0"

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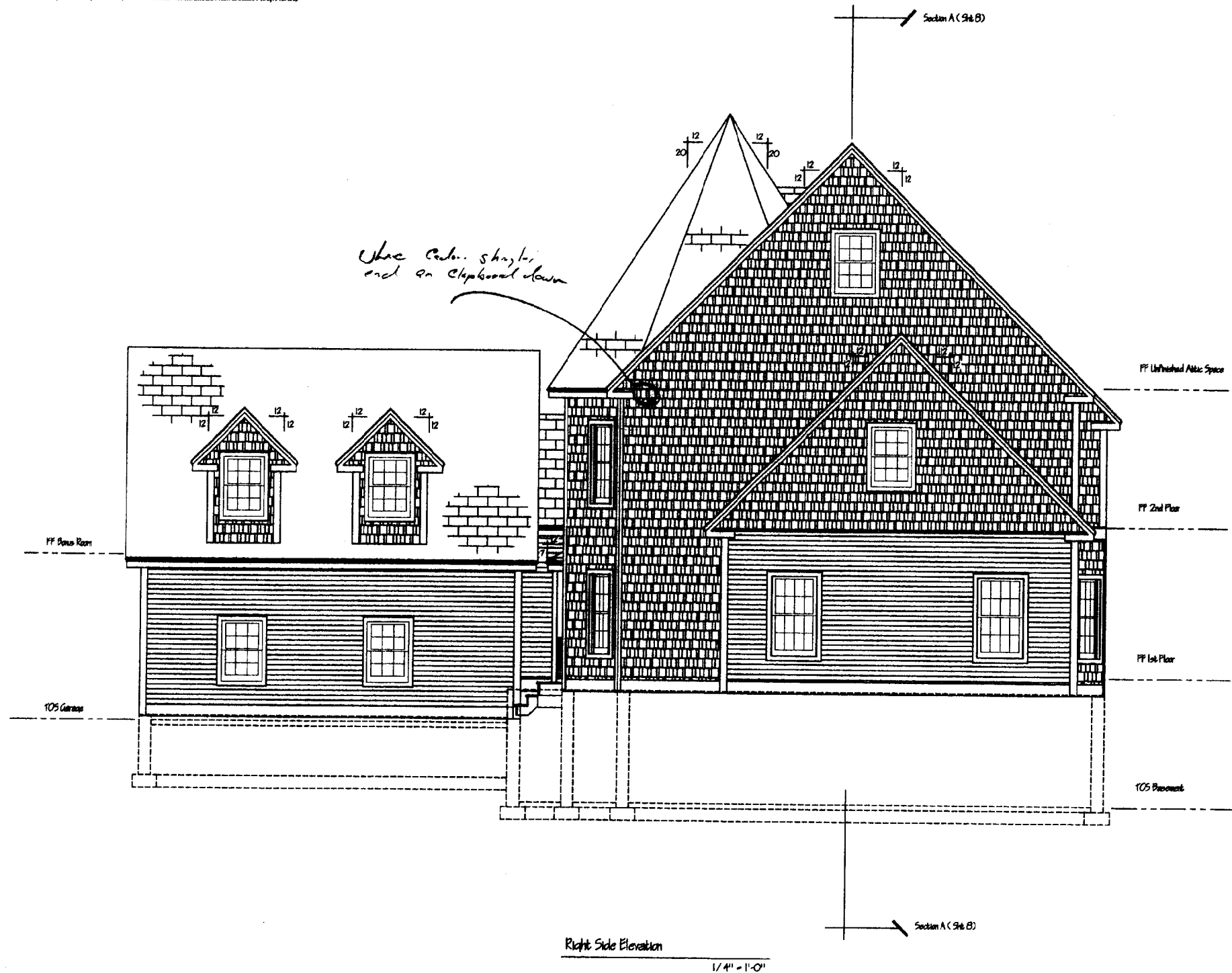
PROJECT FOR:
Michael & Ann Walp Residence
 38 Alice Court
 Portland, Maine 04103

DWG. TITLE: Elevations	M. Lane	02.28.02	DATE
	Revised per Engineers Comments Issued for Engineers Stamp		
REV.	A		



For BOCA Exam	02/28/02
DRAWN	M. Lane
DATE	02.25.02
CHECKED	
APPROVED	
SCALE	1/4" = 1'-0"
JOB ORDER	022502
DRAWING NO.	022502-2
SHEET	2 OF 14

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PROJECT FOR:
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 Portland, Maine 04103

REV.	DESCRIPTION	DATE
A	Revised per Engineers Comments issued for Engineers Stamp	02/28/02

DWG. TITLE: **Elevations**

STAMP:

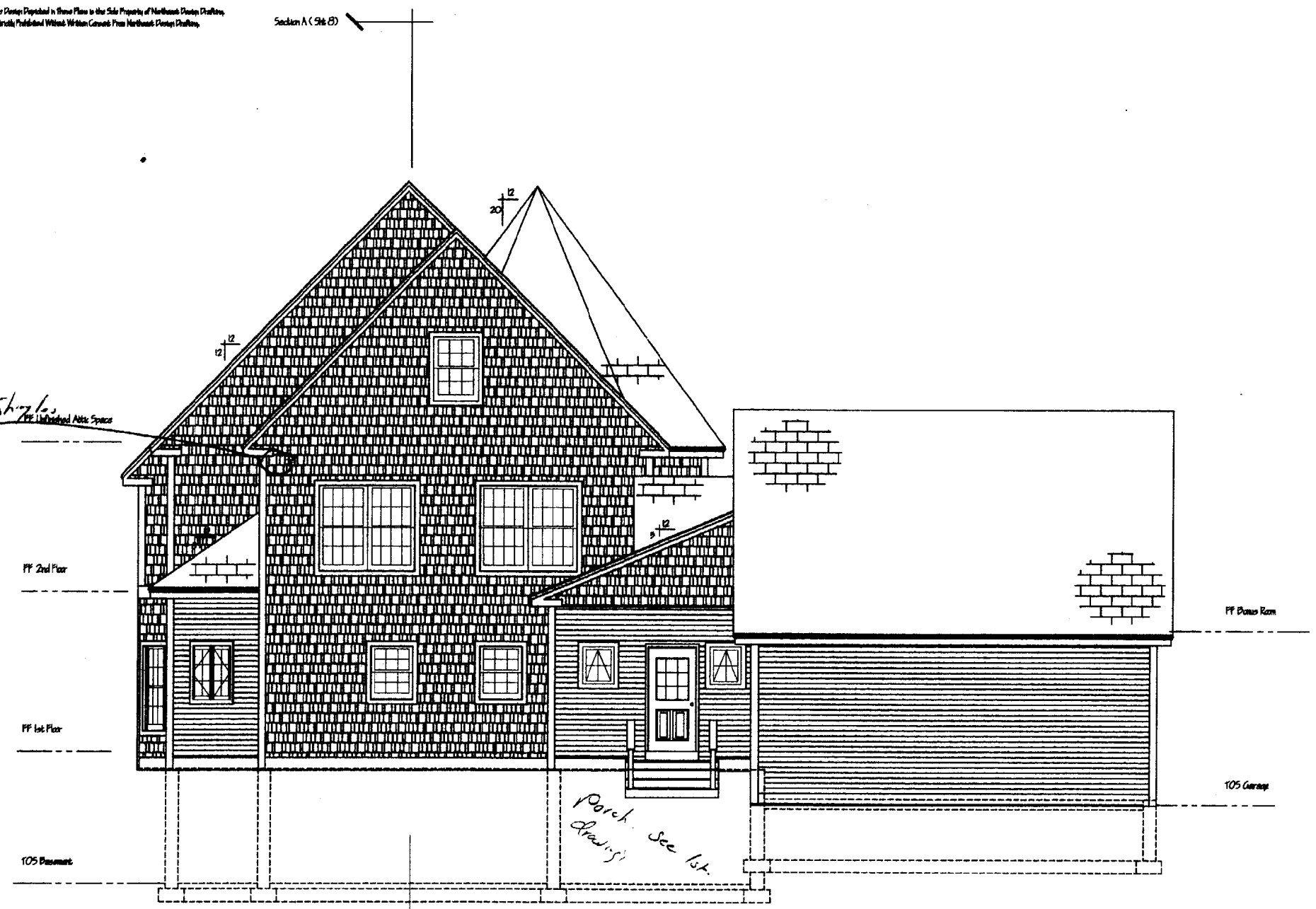
For POCA Use: 02/28/02

DRAWN: M Lane
 DATE: 02/28/02
 CHECKED:
 APPROVED:
 SCALE: 1/4" = 1'-0"
 JOB ORDER: 022502
 DRAWING NO.: **022502-3**
 SHEET 3 OF 14

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Left Side Elevation
 1/4" = 1'-0"

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PROJECT FOR:
Michael & Ann Walp Residence
 38 Alice Court
 Portland, Maine 04103

REV.	DESCRIPTION	DATE
A	Revised per Engineers Comments issued for Engineers Stamp	02.28.02

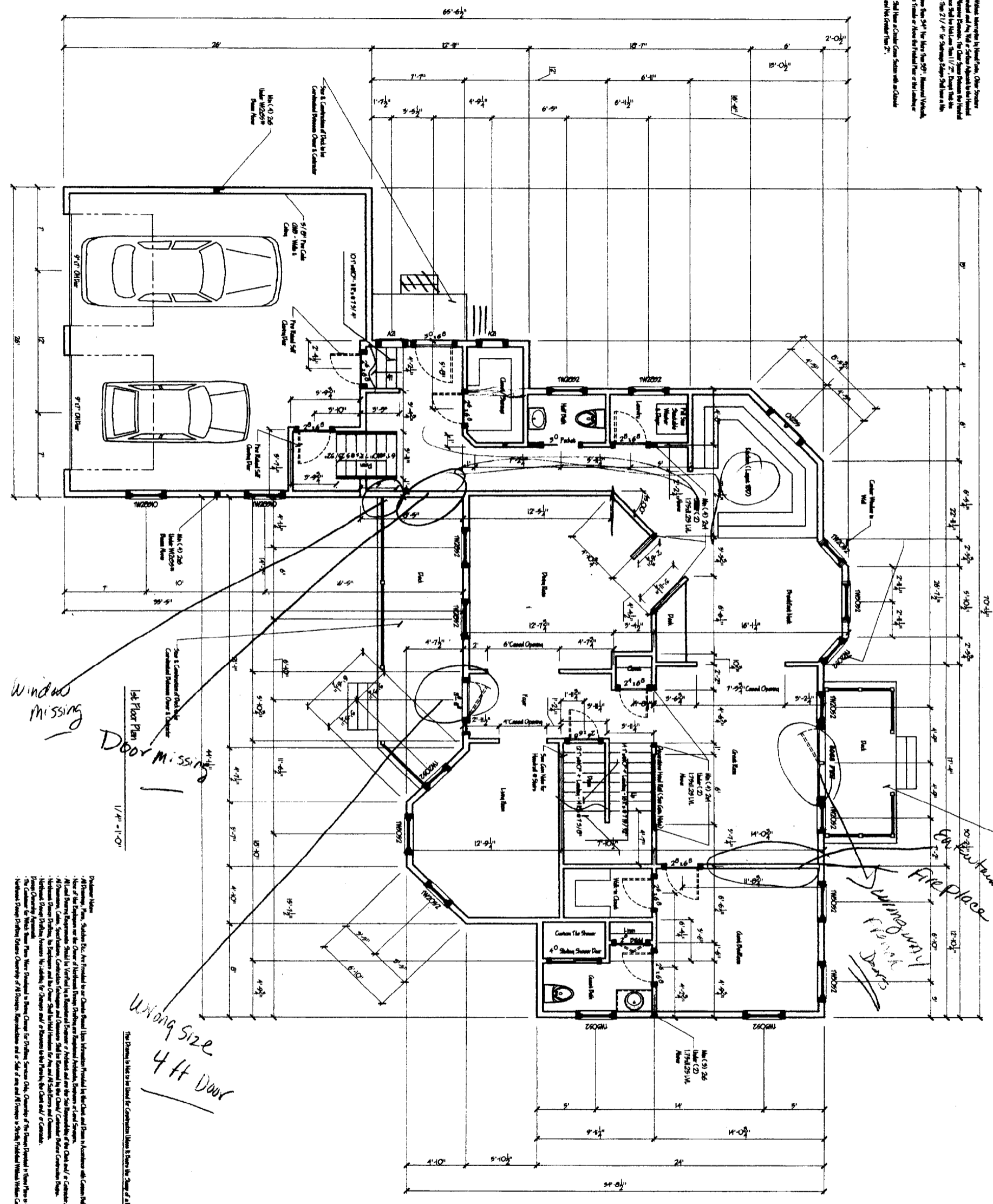
DWG. TITLE: **Elevations**

STAMP:

For P.O. No. **02/28/02**

DRAWN	M. Lane
DATE	02.25.02
CHECKED	
APPROVED	
SCALE	1/4" = 1'-0"
JOB ORDER	022502
DRAWING NO.	022502-4
SHEET	4 OF 14

- General Notes:
- 1) General
 - 2) General
 - 3) General
 - 4) General
 - 5) General
 - 6) General
 - 7) General
 - 8) General
 - 9) General
 - 10) General
 - 11) General
 - 12) General
 - 13) General
 - 14) General
 - 15) General



Professional Engineer Seal: STATE OF MAINE, NONALD T. BARRON, PROFESSIONAL ENGINEER, No. 12222.

DATE: 02.28.02

PROJECT: Michael & Ann Walp Residence

Handwritten notes:

- Window Missing
- Door Missing
- Wrong Size 4 ft Door
- Swimming Pool
- Fireplace

REV.	DESCRIPTION	DATE
A	Revised per Engineers Comments Issued for Engineers Stamp	M. Lane 02.28.02

PROJECT FOR:
Michael & Ann Walp Residence
 38 Alice Court
 Portland, Maine 04103

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DWG. TITLE:
1st Floor Plan

DATE: 02.28.02

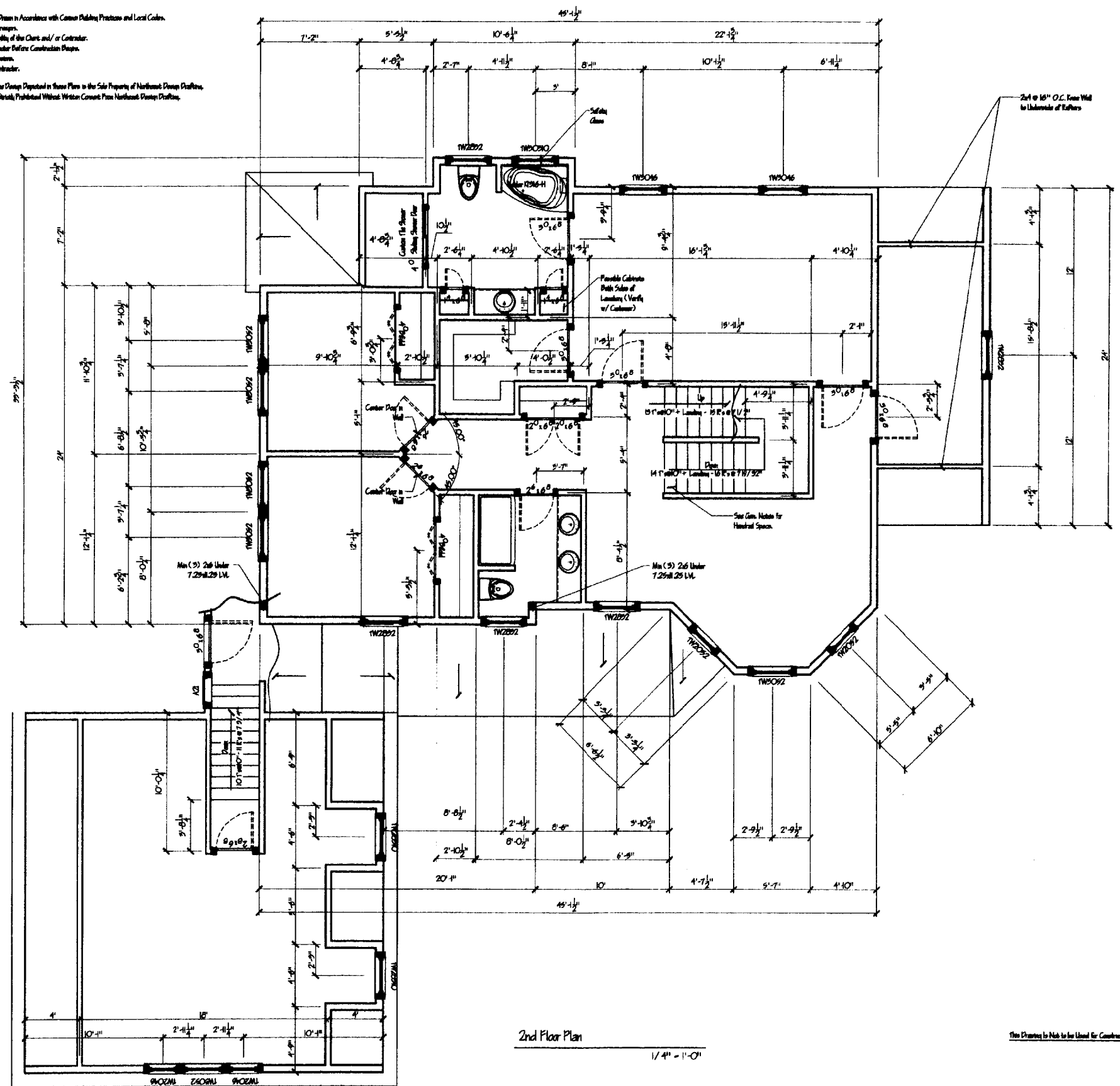
PROJECT: Michael & Ann Walp Residence

NO. 022502-5

SHEET 5 OF 14

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General:
 A) General Note to be 42" Min. Above FF
 B) Opening Shall be such that a Sphere with a 4" Dia. Cannot Pass Through Any Opening
 C) Cornice Shall Not Have an Ornamented Pattern that Would Interfere with Ladder Egress

Handrail:
 A) Handrail Shall be Continuous, Without Interruption by Hand Posts, Other Structure Elements or Obstructions. A Handrail and Any Wall or Surface Adjacent to the Handrail Shall be Free of Any Sharp or Abrasive Elements. The Clear Space Between the Handrail and the Adjacent Wall or Surface Shall be Not Less Than 1 1/2". Except that the Clear Space Shall be Not Less Than 2 1/4" for Stairways. Edges Shall have a Min. Radius of 1/8".
 B) Handrail Height Shall Not be Less Than 34" Nor More Than 38". Measured Vertically, Above the Leading Edge of the Treads or Above the Finished Floor at the Landings or Walkway Surfaces.
 C) All Stairways & Ramp Handrails Shall Have a Circular Cross Section with an Outside Diameter of at Least 1 1/4" and Not Greater Than 2".

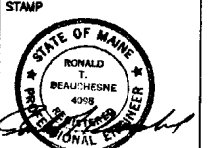
2nd Floor Plan
 1/4" = 1'-0"

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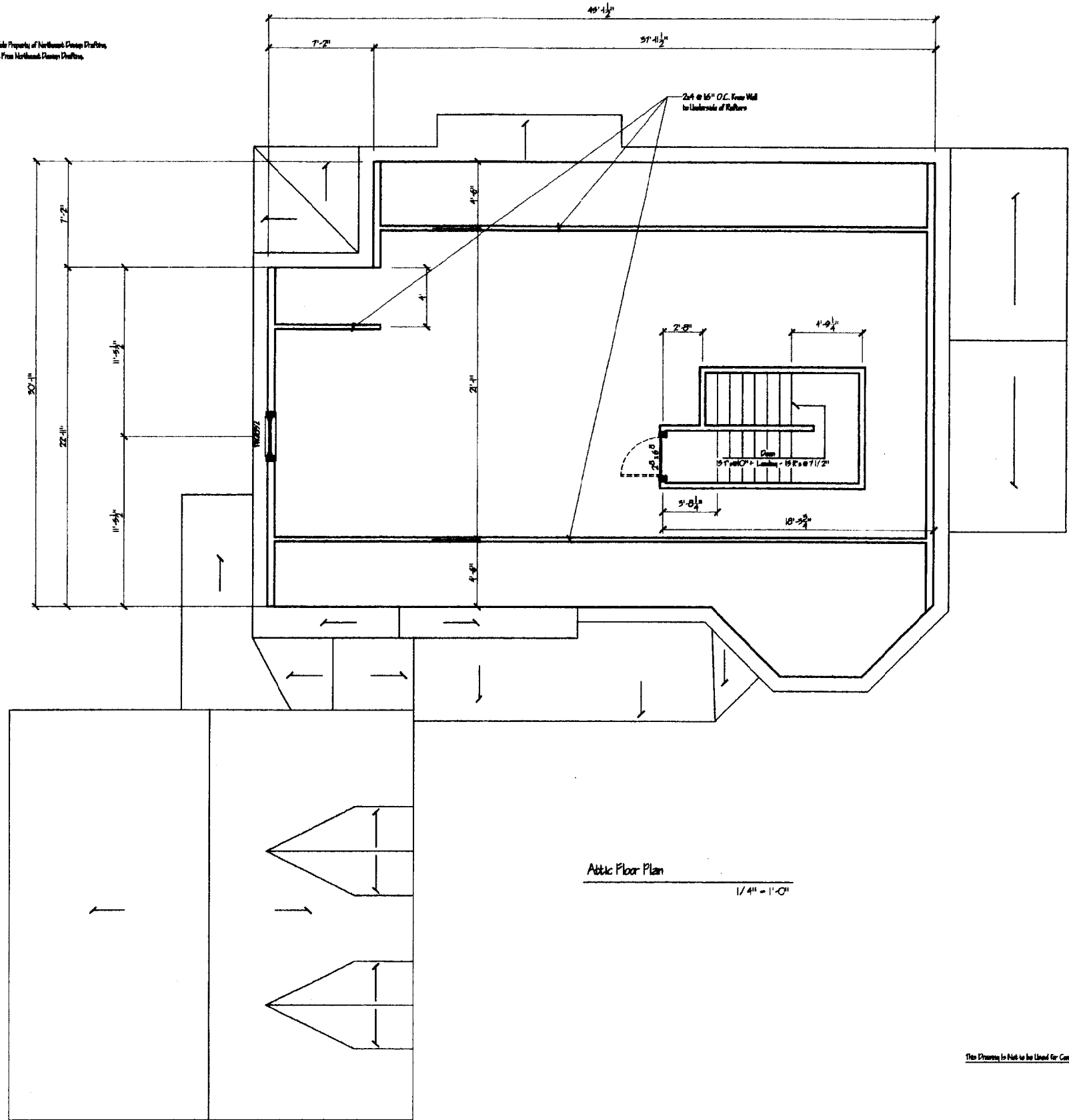
PROJECT FOR:
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 Portland, Maine 04103

DWG. TITLE:	REV.	DESCRIPTION	DATE
2nd Floor Plan		Revised per Engineers Comments	M. Lane
		Issued for Engineers Stamp	02.28.02
A			



For R.O.C.A. Review: 02/28/02
 DRAWN: M. Lane
 DATE: 02.28.02
 CHECKED:
 APPROVED:
 SCALE: 1/4" = 1'-0"
 JOB ORDER: 022502
 DRAWING NO.: 022502-6
 SHEET 6 OF 14

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Attic Floor Plan
 1/4" = 1'-0"

- General:**
- A) Guard Rail to be 42" Min. High
 - B) Openings Shall be such That a Sphere with a 4" Dia. Cannot Pass Through Any Opening
 - C) Guards Shall Not Have an Ornamental Pattern that Would Provide a Ladder Effect
- Handrails:**
- A) Handrails Shall be Continuous, Without Interruption by Novel Panels, Other Structural Elements or Obstructions. A Handrail and Any Wall or Surface Adjacent to the Handrail Shall be Free of Any Sharp or Abrasive Elements. The Clear Space Between the Handrail and the Adjacent Wall or Surface Shall be Not Less Than 1 1/2", Except that the Clear Space Shall be Not Less Than 2 1/4" for Stairways. Edges Shall Have a Min. Radius of 1/8".
 - B) Handrail Height Shall Not be Less Than 34" Nor More Than 38", Measured Vertically, Above the Landing Edge of the Treads or Above the Finished Floor or the Landing or Walking Surface.
 - C) All Stairway & Ramp Handrails Shall Have a Circular Cross Section with an Outside Diameter of at Least 1 1/4" and Not Greater Than 2".

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REV.	DESCRIPTION	DATE
A	Revised per Engineers Comments Issued for Engineers Stamp	02.28.02



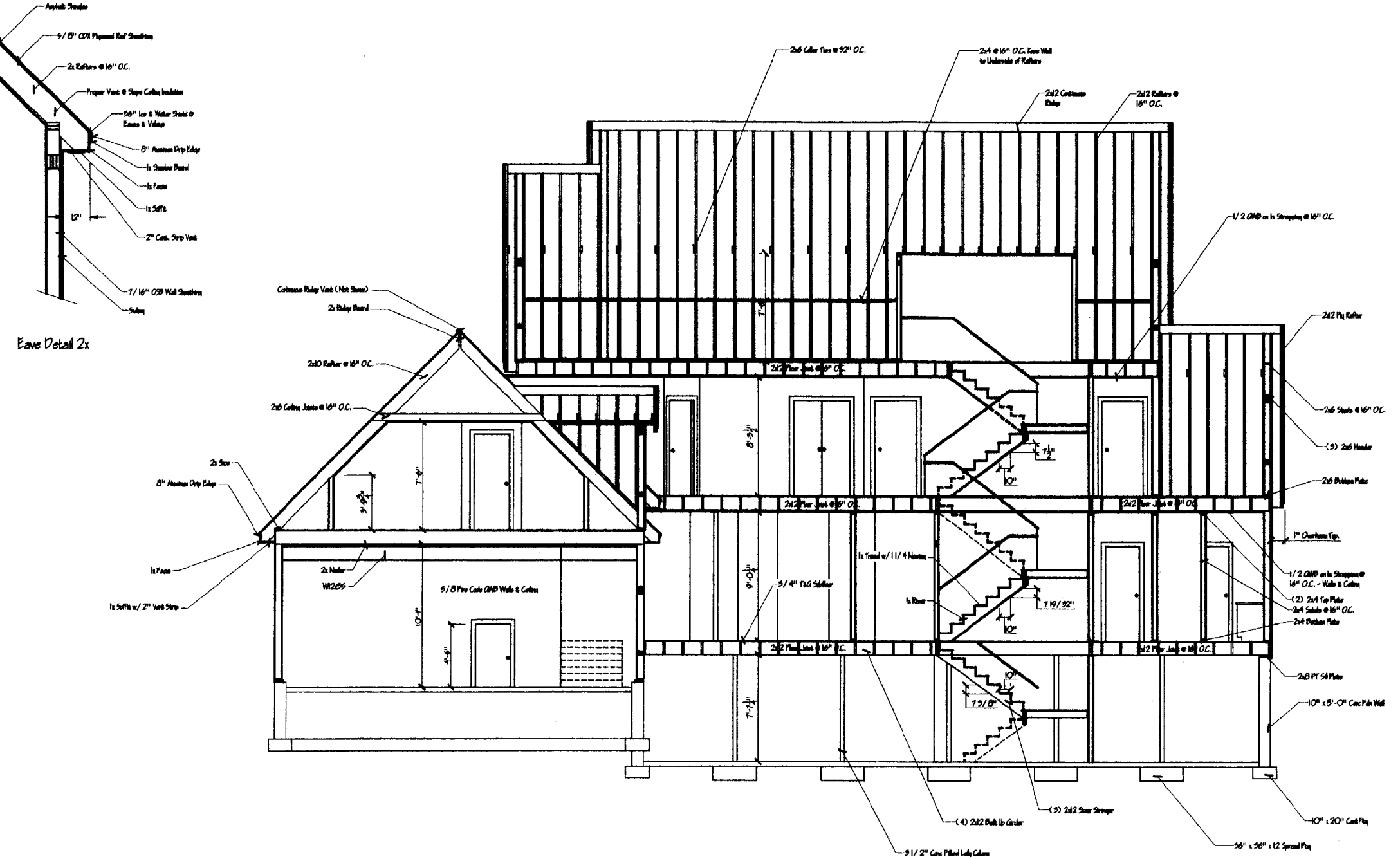
For R.O.C. Files: 02/28/02
 DRAWN: M. Lane
 DATE: 02.25.02
 CHECKED:
 APPROVED:
 SCALE: 1/4" = 1'-0"
 JOB ORDER: 022502
 DRAWING NO.: 022502-7
 SHEET 7 OF 14

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General Notes:
 Refer to Floor and Roof Framing Plans for Rafter, Header & Floor Joist Spans
 Roof Ridge Support Carries to Basement
 All Construction per BOCA Latest Edition

Framing Specifications:
Floor System:
 Joists as Indicated on Floor Framing Plan
 1x5 Cross Bridging at Center Span
 2x6 PT 54 Plank w/ 5/8" Seal
 Subfloor as Indicated
 Finish Floor per Customer Spec
Exterior Walls:
 2x6 Studs @ 16" OC
 (2) 2x6 Top Plate
 2x6 Bottom Plate
 7/16 OSB Wall Sheathing
 Taped Air Infiltration Barrier
 Fiberglass Insulation
 Siding & Finish Trim per Customer Spec
Interior Walls:
 2x4 Studs @ 16" OC
 (2) 2x4 Top Plate
 2x4 Bottom Plate
Roof System:
 Rafters per Roof Framing Plan
 5/8" CDX Roof Sheathing
 15# Felt
 25 Yr Asphalt Shingles
 Ice Shield @ Edge (Up 5' Min)
 8" Aluminum Drip Edge
Insulation:
 Exterior Walls R9
 Attic Cap R5.3
 Sills R9
Ventilation:
 Soffits 2" Strip Vent
 Ridges Comb Sucker Vent
 Lower Air Shown
 Circulation Vents between Rafters
Headers:
 See Chart Below
 Details as Indicated
 6" Min Bearing All Floors
Interior Finish:
 1/2" GWP Walls & Ceilings
 Wall Corners per Cust Spec
 Door Moldings per Cust Spec
 Floor Finish per Cust Spec
 Millwork per Cust Spec
 Paint/ Stain per Cust Spec



General Notes:
 1.) See Roof Framing Plan for Roof Framing Members
 2.) See Floor Framing Plan for Floor Framing Members
 3.) See Foundation Plan for Foundation Specs.
 4.) See Floor Plans for Guardrail & Handrail Specs.

Building Section "A"
 1/4" = 1'-0"

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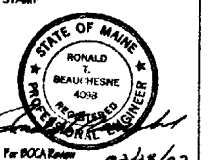
Size of Header	Headers in Bearing Walls			Headers in Non-Supporting Walls
	Supporting Roof Only	One Story Above	Two Stories Above	
(2) 2x4	4	-	-	-
(2) 2x6	6	4	-	-
(2) 2x8	8	6	-	10
(2) 2x10	10	8	6	12
(2) 2x12	12	10	8	16

For BOCA Revisions
 For CBO 1995 Edition W/ Amendments thru 1997

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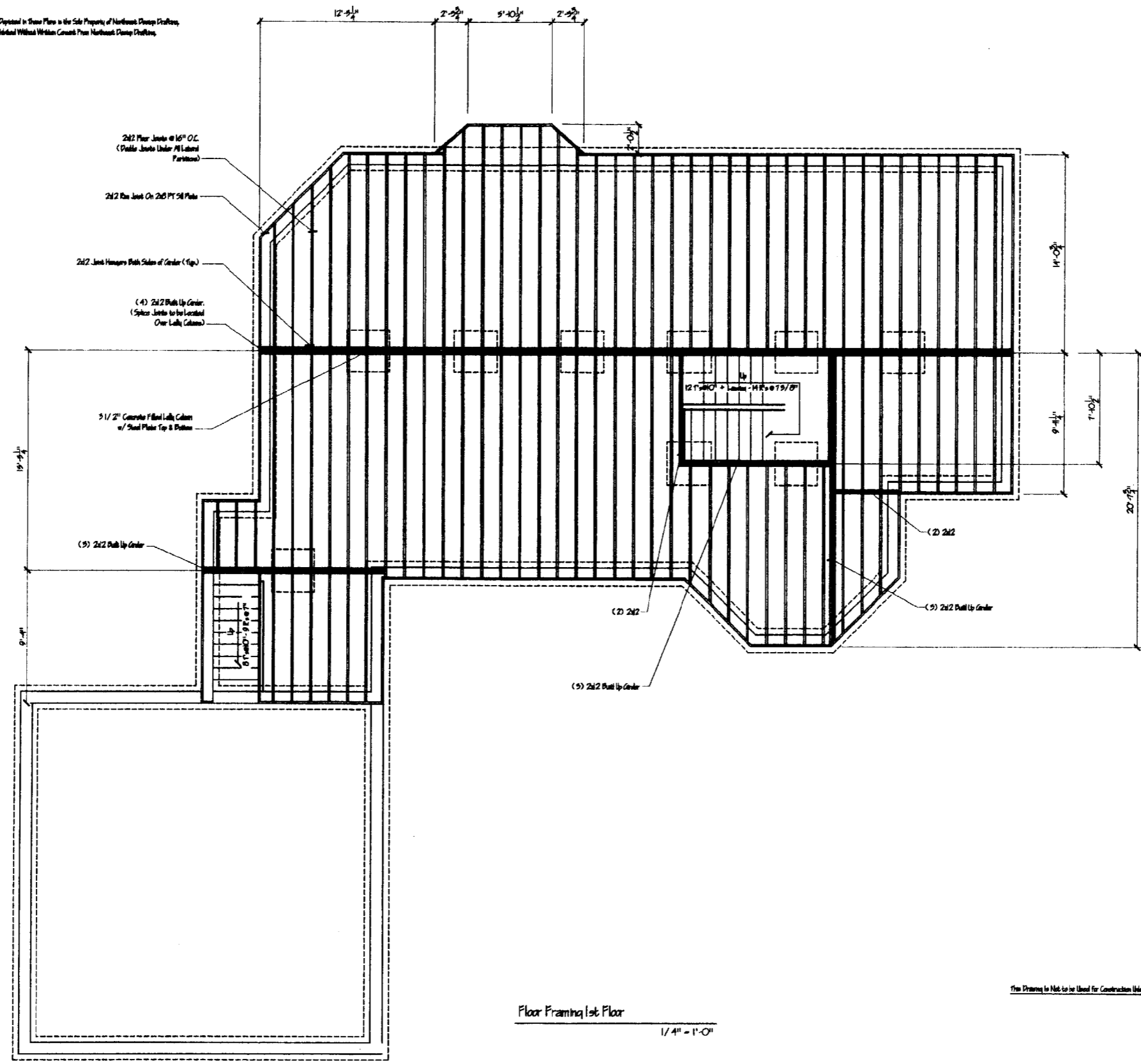
PROJECT FOR:
Michael & Ann Walp Residence
 38 Alice Court
 Portland, Maine 04103

DWG. TITLE:	REV.	DESCRIPTION	DATE
House Section	A	Revised per Engineers Comments issued for Engineers Stamp	02.28.02



STAMP
 DRAWN M. Lorne
 DATE 02.28.02
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 SCALE 1/4" = 1'-0"
 JOB ORDER 022502
 DRAWING NO. 022502-8
 SHEET 8 OF 14

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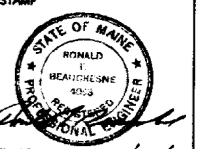
Floor Framing 1st Floor
 1/4" = 1'-0"

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PROJECT FOR:
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 Portland, Maine 04103

REV.	DESCRIPTION	DATE
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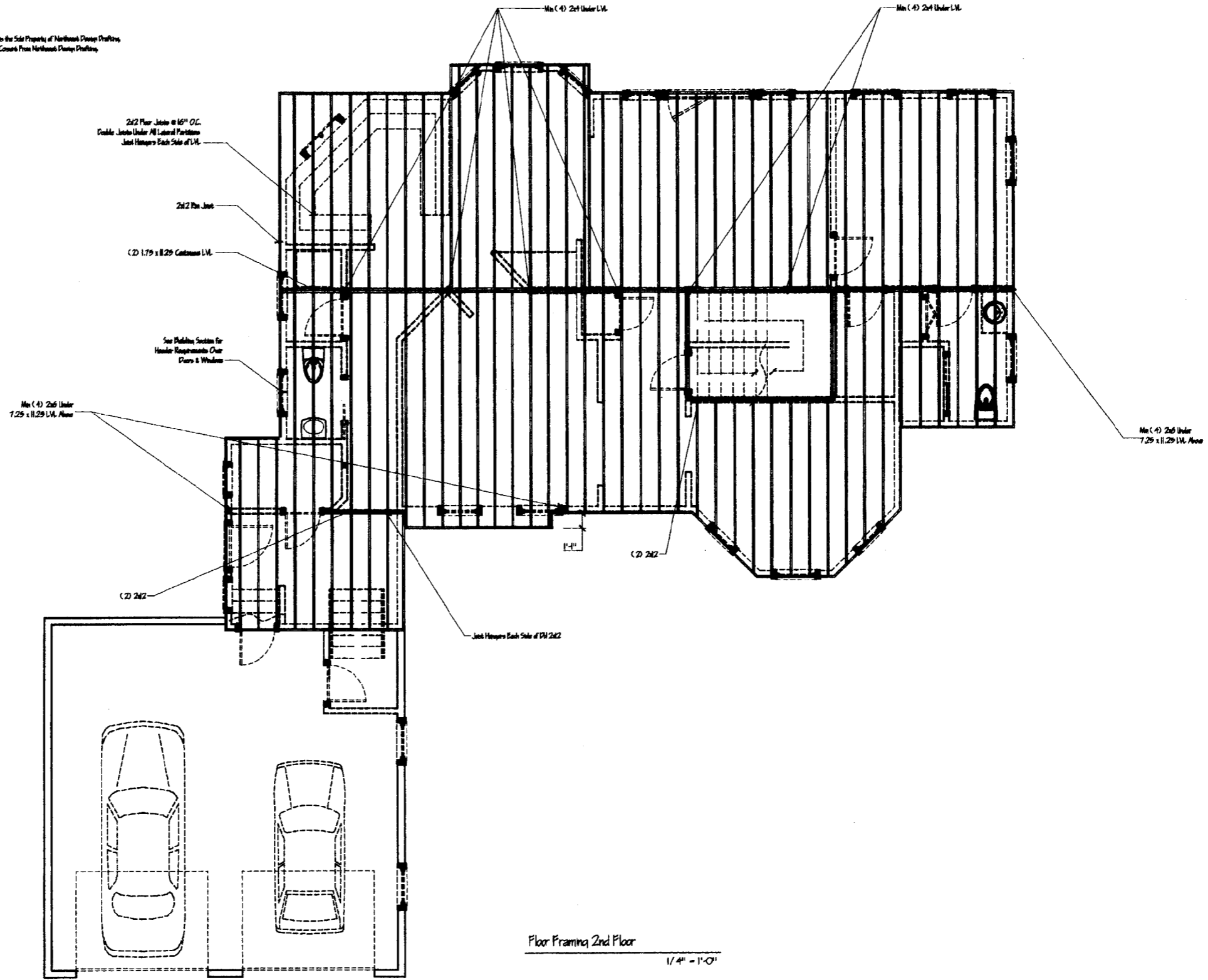


For BOCA Review 02/28/02
 DRAWN M Lane
 DATE 02.25.02
 CHECKED
 APPROVED
 SCALE 1/4" = 1'-0"
 JOB ORDER 022502
 DRAWING NO.
022502-11
 SHEET 11 OF 14

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Floor Framing 2nd Floor
 1/4" = 1'-0"

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Michael & Ann Walp Residence
 38 Alice Court
 Portland, Maine 04103

REV.	DESCRIPTION	DATE
A	Revised per Engineers Comments Issued for Engineers Stamp	02.28.02
M. Lane		

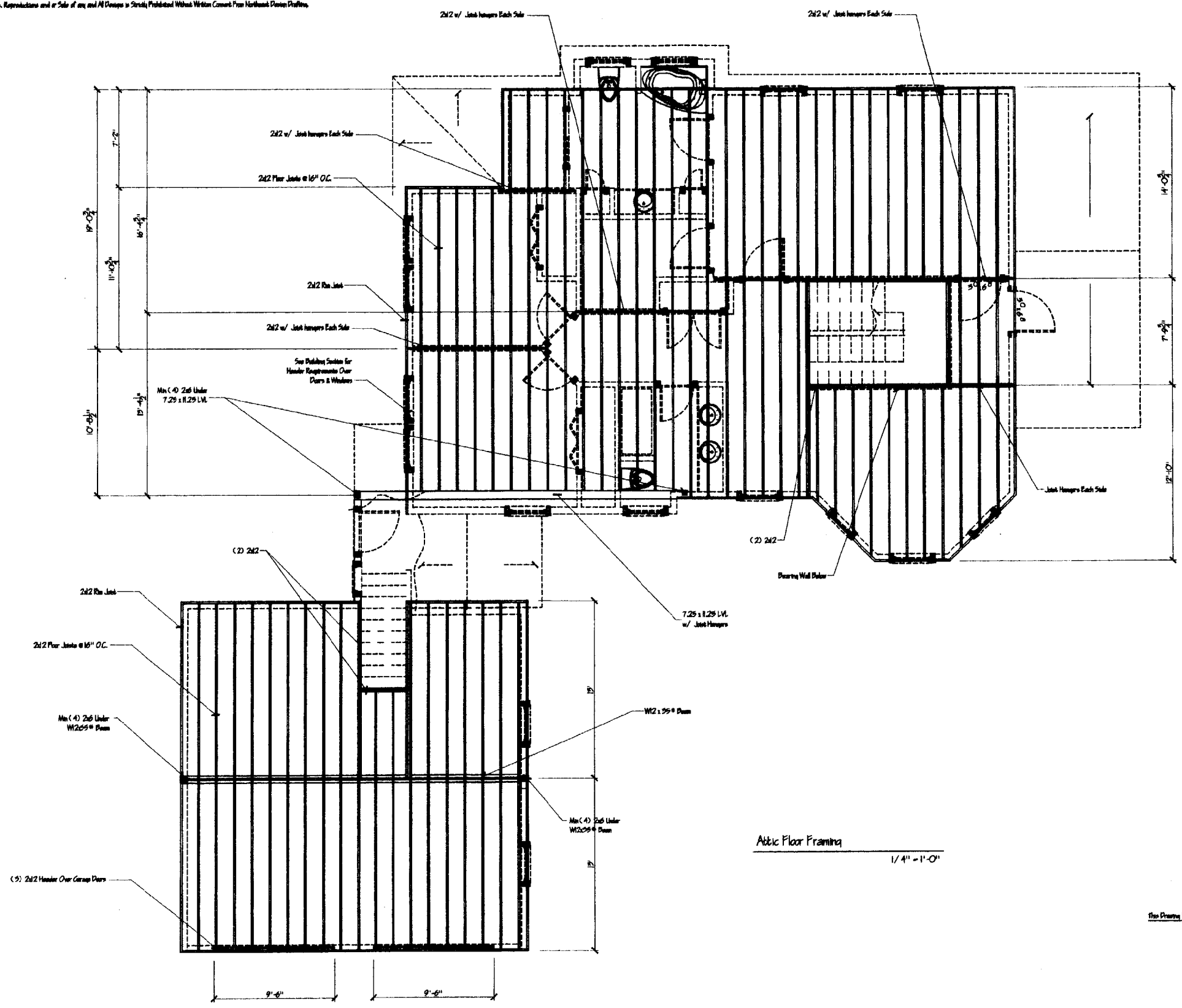
STAMP

For BOCA Edition 02/28/02

DRAWN M. Lane
 DATE 02.28.02
 CHECKED
 APPROVED
 SCALE 1/4" = 1'-0"
 JOB ORDER 022502
 DRAWING NO. 022502-12
 SHEET 12 OF 14

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 • Northeast Design Drafting Assumes No Liability for Changes and/or Revisions to the Plans by the Client and/or Contractor.
 • Plans Copyright Reserved.
 • The Customer for Which These Plans Were Developed is Purchasing Plans for Drafting Services Only. Ownership of the Design Depicted in These Plans is the Sole Property of Northeast Design Drafting.
 • Northeast Design Drafting Retains Ownership of All Designs, Reproductions and a Sale of any and All Designs is Strictly Prohibited Without Written Consent From Northeast Design Drafting.

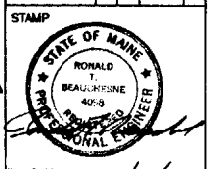


This Drawing is Not to be Used for Construction Unless it Bears the Stamp of a Registered Architect or Engineer

NORTHEAST DESIGN DRAFTING
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE
 55 Sumner Street Portland, ME 04105 Phone 207.797.1716 Fax 207.878.0069
 WWW.NORTHEASTDESIGNDRAFTING.COM

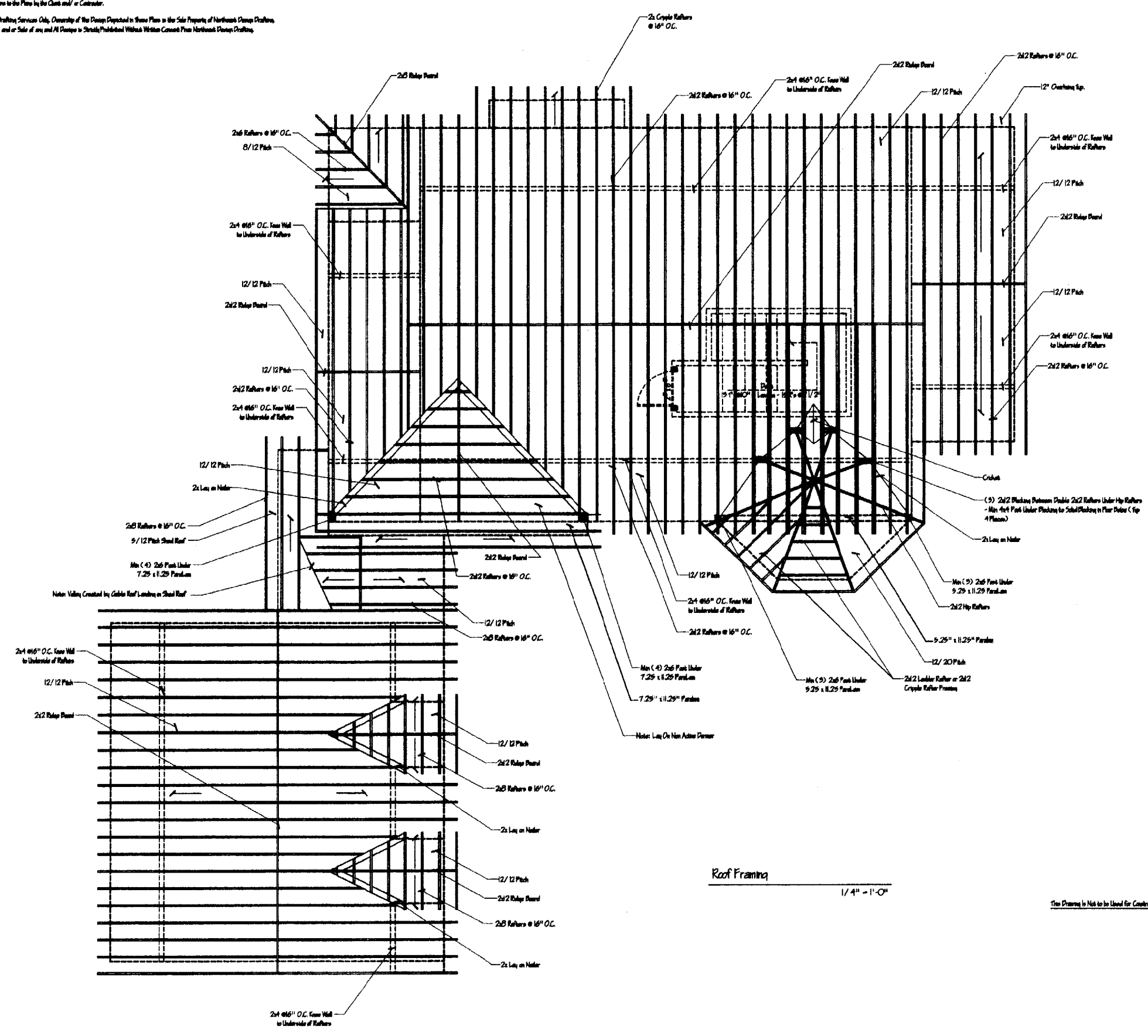
PROJECT FOR:
Michael & Ann Walp Residence
 38 Alice Court
 Portland, Maine 04103

REV.	DESCRIPTION	DATE
A	Revised per Engineers Comments issued for Engineers Stamp	02.28.02
M. Lane		



DWG. TITLE: **Floor Framing Attic**
 For BOCA Plans: 02/28/02
 DRAWN: M. Lane
 DATE: 02.25.02
 CHECKED:
 APPROVED:
 SCALE: 1/4" = 1'-0"
 JOB ORDER: 022502
 DRAWING NO.: **022502-13**
 SHEET 13 OF 14

Disclaimer Notes:
 All Drawings, Plans, Sketches Etc. Are Provided to our Clients Based Upon Information Provided by the Client and Drawn in Accordance with Common Building Practices and Local Codes.
 None of the Employees nor the Owner of Northeast Design Drafting are Registered Architects, Engineers or Land Surveyors.
 All Local Building Requirements Should be Verified by a Registered Engineer or Architect and are the Sole Responsibility of the Client and/or Contractor.
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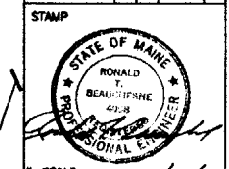
Roof Framing
 1/4" = 1'-0"

This Drawing is Not to be Used for Construction Unless it Bears the Stamp of a Registered Architect or Engineer

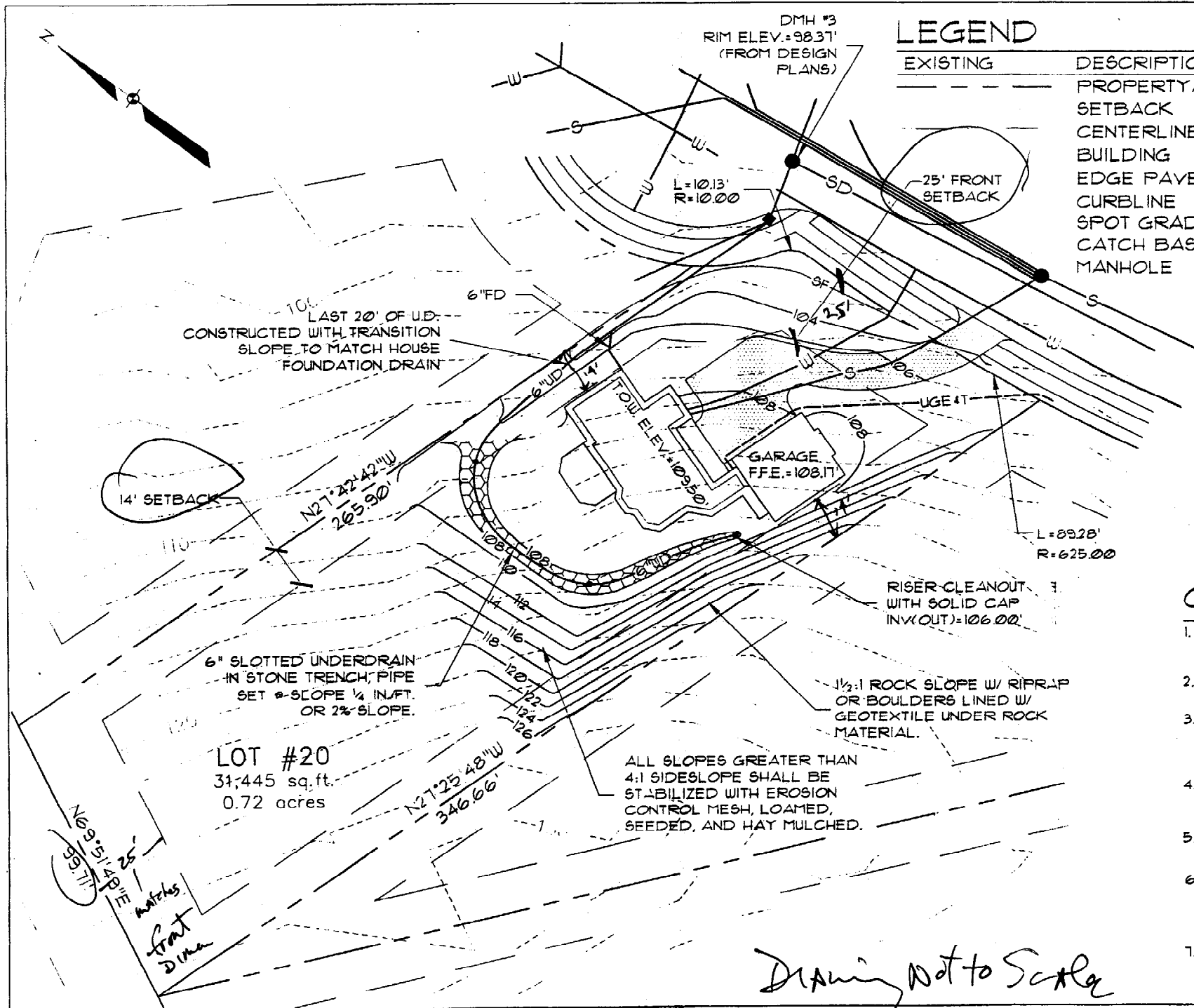
NORTHEAST DESIGN DRAFTING
 DRAFTING EXCELLENCE BACKED BY DESIGN EXPERIENCE
 55 Sumner Street Portland, ME 04105 Phone: 207-497-7776 Fax: 207-578-0065
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PROJECT FOR:
Michael & Ann Walp Residence
 38 Alice Court
 Portland, Maine 04103

REV.	DESCRIPTION	DATE
A	Revised per Engineers Comments Issued for Engineers Stamp	02.25.02

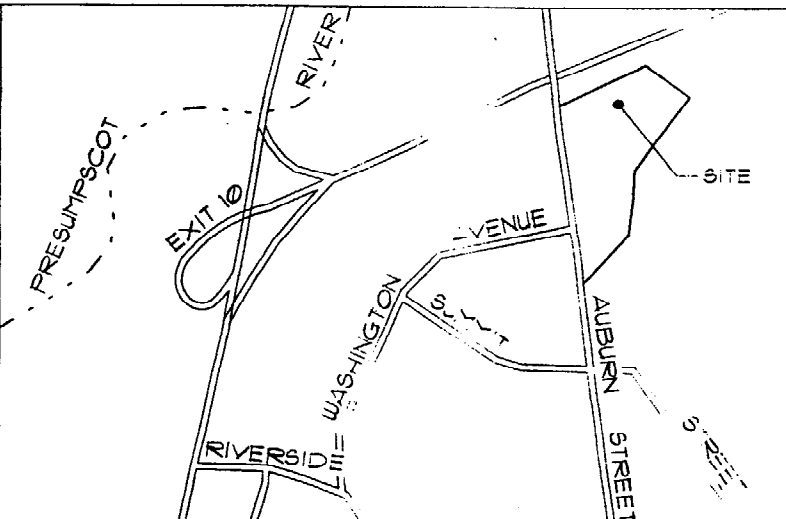


DRAWN	M. Lane
DATE	02.25.02
CHECKED	
APPROVED	
SCALE	1/4" = 1'-0"
JOB ORDER	022502
DRAWING NO.	022502-14
SHEET	14 OF 14



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	CENTERLINE	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	SPOT GRADE	---
---	CATCH BASIN	---
●	MANHOLE	---



LOCATION MAP

N.T.S.	
---	CONTOURS
---	124
---	8"W
---	8"S
---	12"SD
---	6"FD
---	SF
---	TOP OF FOUNDATION WALL ELEVATION
---	TOW
---	FINISHED FLOOR ELEVATION
---	FFE

GENERAL NOTES

1. APPLICANT: PETER BUSQUE
43 COTTAGE AVENUE
WINDHAM, MAINE 04062
2. THE LOT SHOWN HEREON IS PART OF A SUBDIVISION SITUATED WITHIN THE CITY OF PORTLAND'S R2 RESIDENTIAL ZONE SINGLE FAMILY HOMES.
3. PLAN REFERENCES:
A) SUBDIVISION PLAN OF AUBURN PINES SUBDIVISION DATED THROUGH JULY 7, 1992 BY PINKHAM & GREER ENGINEERS.
4. EXISTING TOPOGRAPHIC INFORMATION INFORMATION IS BASED UPON SAID PLAN WITH ELEVATIONS THAT ARE REFERENCED TO A STANDARD DISK AUBURN RM-1 ELEVATION 100.51 N.A.V.D. DATUM.
5. PROPOSED UTILITY LOCATION AND ELEVATION IS BASED UPON THE PLAN REFERENCED IN NOTE 3A.
6. DURING CONSTRUCTION THE OWNER & CONTRACTOR SHALL UTILIZE ME. D.E.P. "BEST MANAGEMENT PRACTICES (B.M.P.S.) FOR EROSION CONTROL & SEDIMENTATION CONTROL.
7. IF TWO TREES EXIST WHICH ARE LARGER THAN 2" DIA. TRUNK, THEY MAY BE SUBSTITUTED FOR THE PROPOSED STREET TREES AS LONG AS THE SPECIES IS ON THE CITY'S APPROVED LIST.

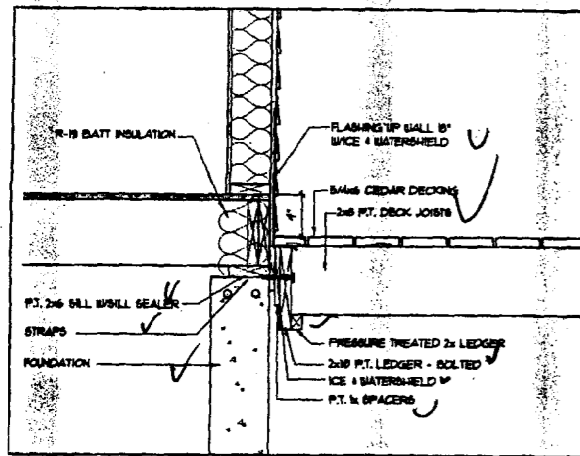
Drawing Not to Scale

Sebago Technics
Engineering & Planning for the Future
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

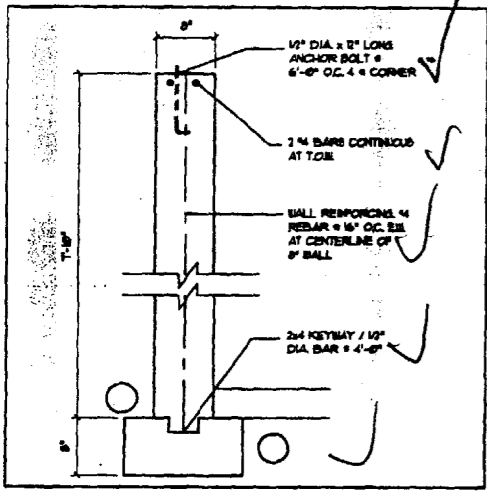
PLOT PLAN
OF:
LOT 20 AUBURN PINES SUBDIVISION
AUBURN PINES DRIVE
PORTLAND, ME
FOR:
ANNE WALP
20 WENDELL ST.
PORTLAND, MAINE 04103

DESIGN BY:	JRS
DRAWN BY:	TJW/MEJ
CHECKED BY:	JRS
DATE:	6-5-01
SCALE:	1" = 30'
FIELD BK:	
PROJ. NO:	01232
DRAWING:	01232LOT20
SHEET 1 OF 1	

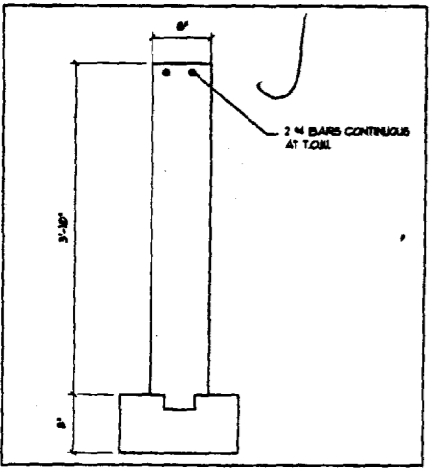
Not Accurate



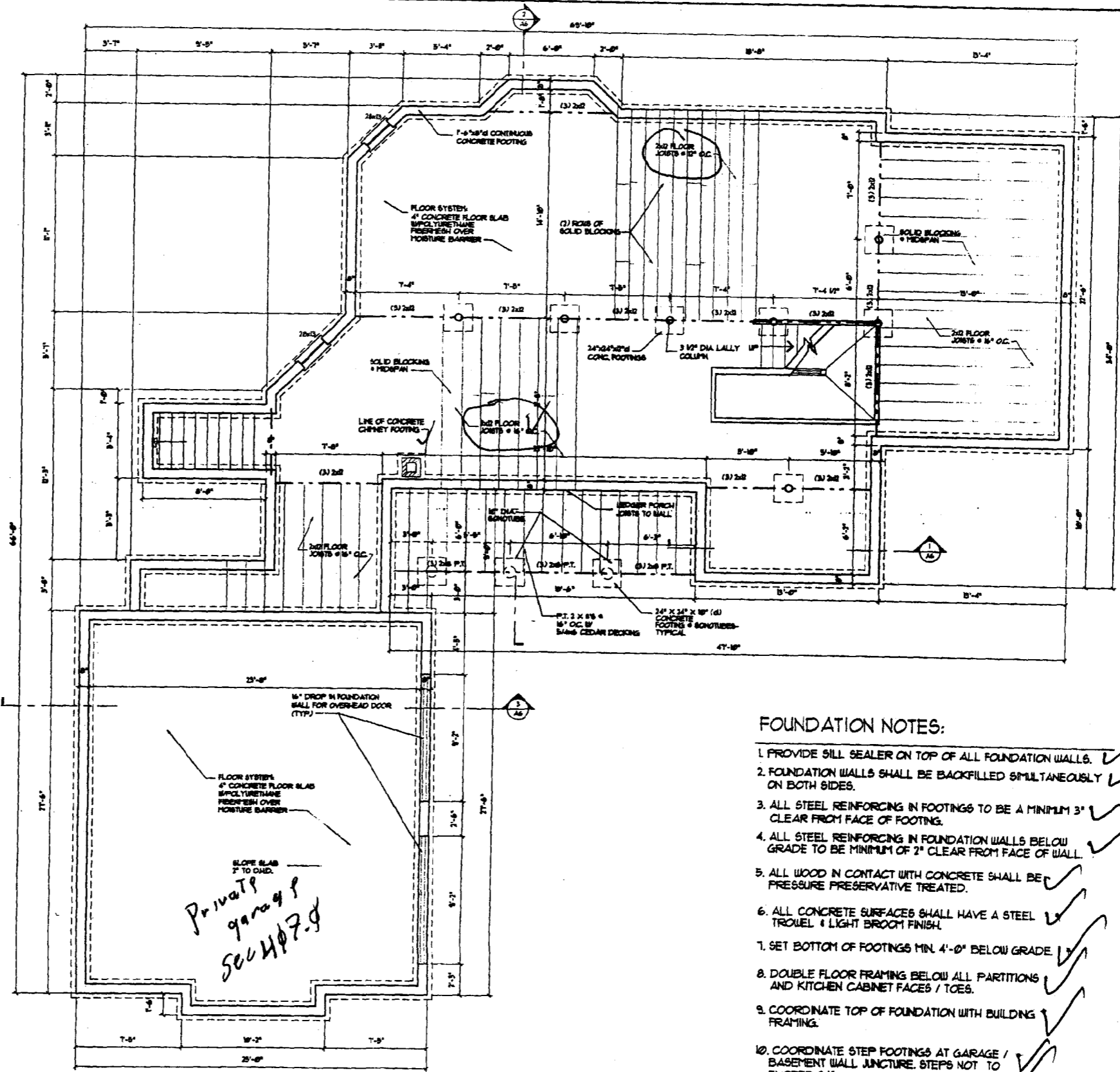
3 DECK / JOIST CONNECTION DETAIL SCALE: 1" = 1'-0"



2 TYPICAL TALL FOUNDATION WALL SCALE: 1" = 1'-0"



1 TYPICAL SHORT FOUNDATION WALL SCALE: 1" = 1'-0"

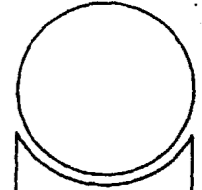


FOUNDATION PLAN SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

1. PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS. ✓
2. FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES. ✓
3. ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM FACE OF FOOTING. ✓
4. ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL. ✓
5. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED. ✓
6. ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BROOM FINISH. ✓
7. SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE. ✓
8. DOUBLE FLOOR FRAMING BELOW ALL PARTITIONS AND KITCHEN CABINET FACES / TOES. ✓
9. COORDINATE TOP OF FOUNDATION WITH BUILDING FRAMING. ✓
10. COORDINATE STEP FOOTINGS AT GARAGE / BASEMENT WALL JUNCTURE. STEPS NOT TO EXCEED 24". ✓
11. SET ALL FOOTINGS ON UNDISTURBED SOIL. ✓
12. GROUT ALL FOR TIE HOLES. ✓

THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER DISCREPANCY HAS BEEN RESOLVED.



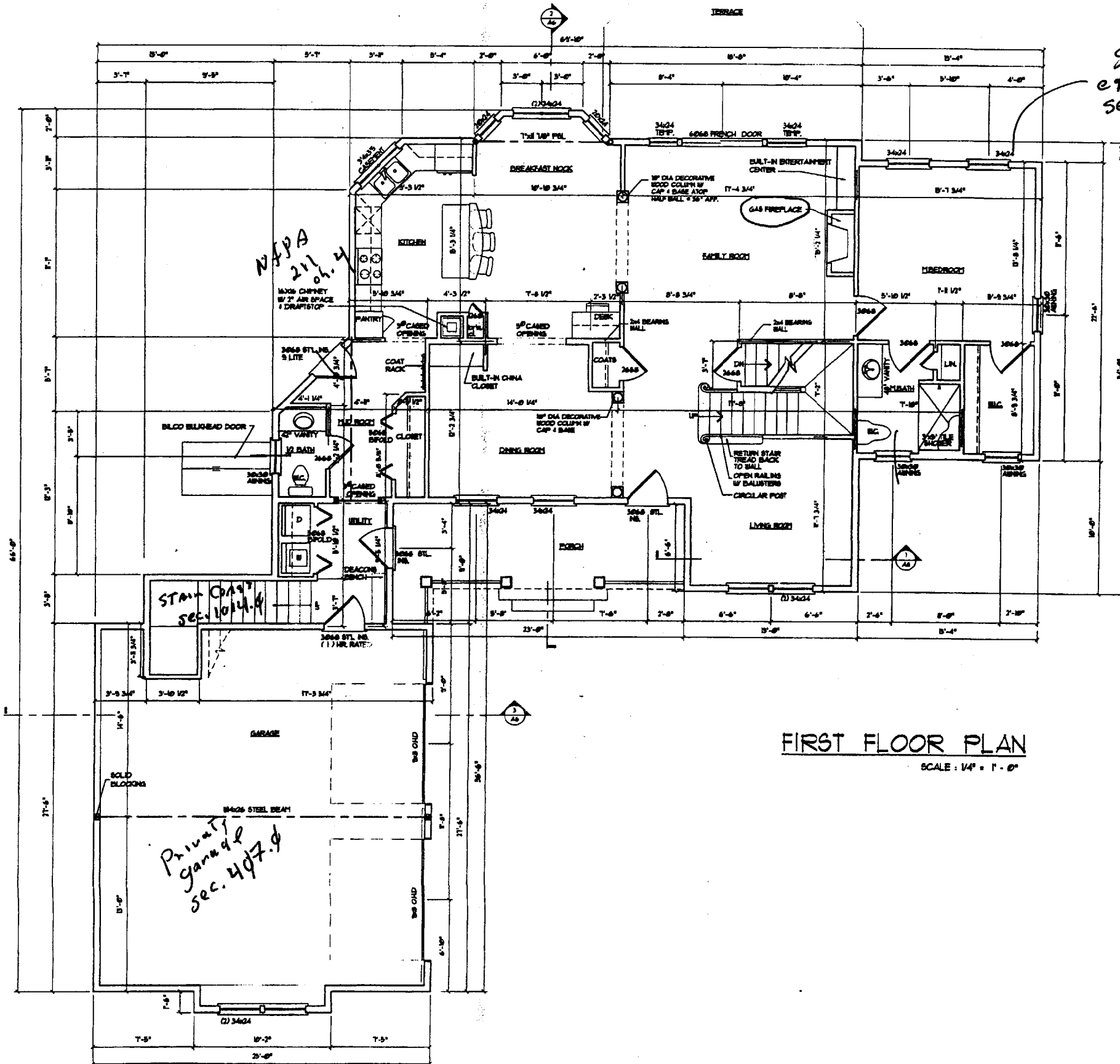
NO.	DATE	REVISIONS DESCRIPTION

NEW RESIDENCE FOR:
WALPE RESIDENCE
PORTLAND, MAINE

DRAWINGS THIS SHEET
FOUNDATION PLAN

NUMBER	DATE
WA	06/05/08
DLS	

AI

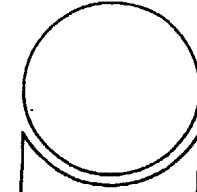


*Sleeping room
egress or rescue windows
SECTION 1010.4*

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. WINDOWS ARE TO BE ANDERSEN OR EQUIVALENT (UNLESS NOTED OTHERWISE)
2. ALL EXTERIOR WALLS TO BE 2X6 WOOD STUD WALLS • 16" O.C. W/ 1/2" G.I.B. AND VAPOR BARRIER • INSIDE FACE OF WALL, 6" BATT INSULATION (R-19), AND 1/2" PLYWOOD SHEATHING • EXTERIOR FACE OF WALL
3. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" G.I.B. EACH SIDE
4. INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
5. THE LOCATION OF ALL DOOR FRAMES SHALL BE 6" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.
6. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.



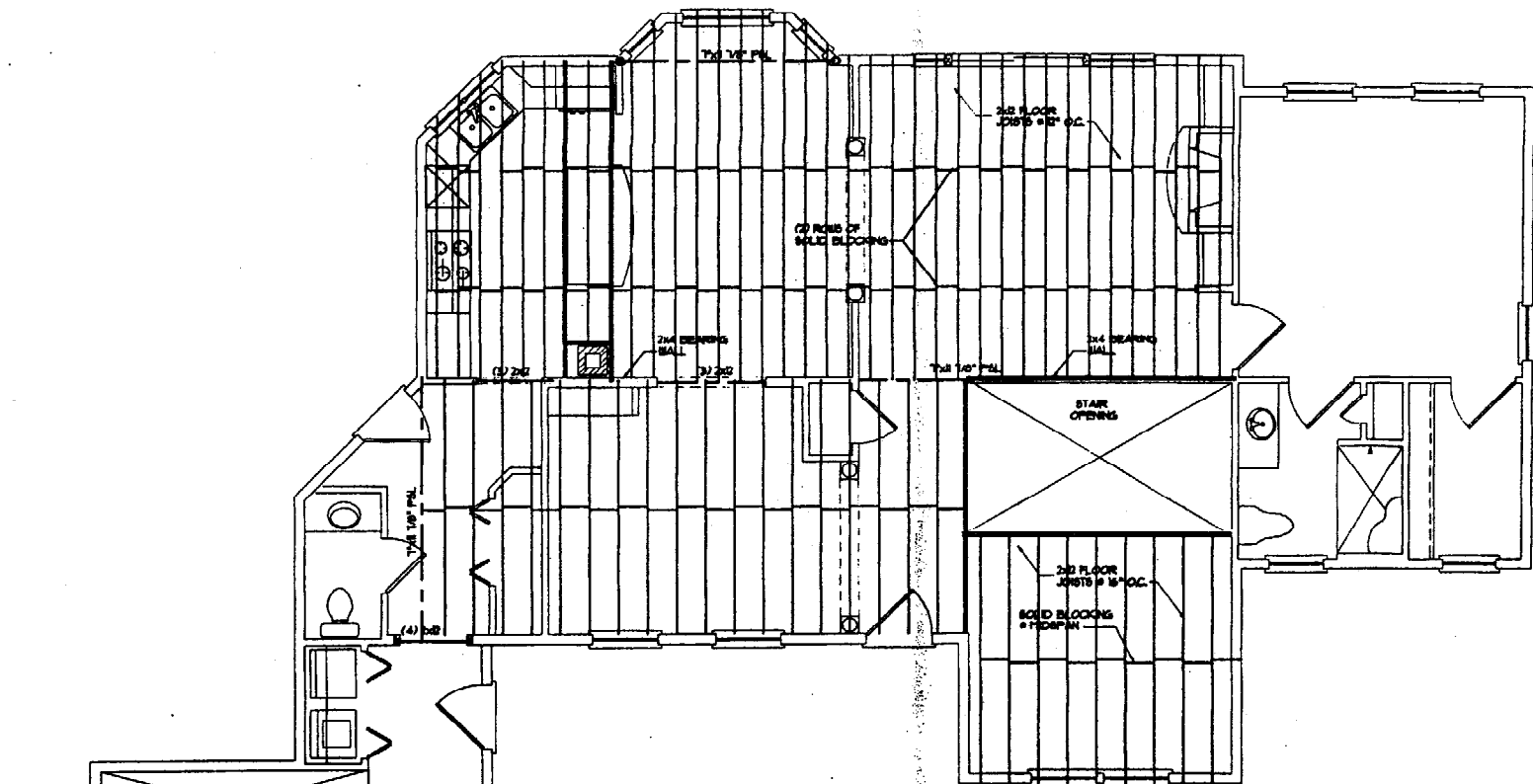
NO.	DATE	REVISIONS DESCRIPTION

NEW RESIDENCE FOR:
WALPE RESIDENCE
PORTLAND, MAINE

DRAWINGS THIS SHEET
FIRST FLOOR PLAN

NUMBER	DATE
N/A	04-20-01
DRAWN	CHECKED
DLS	DLS

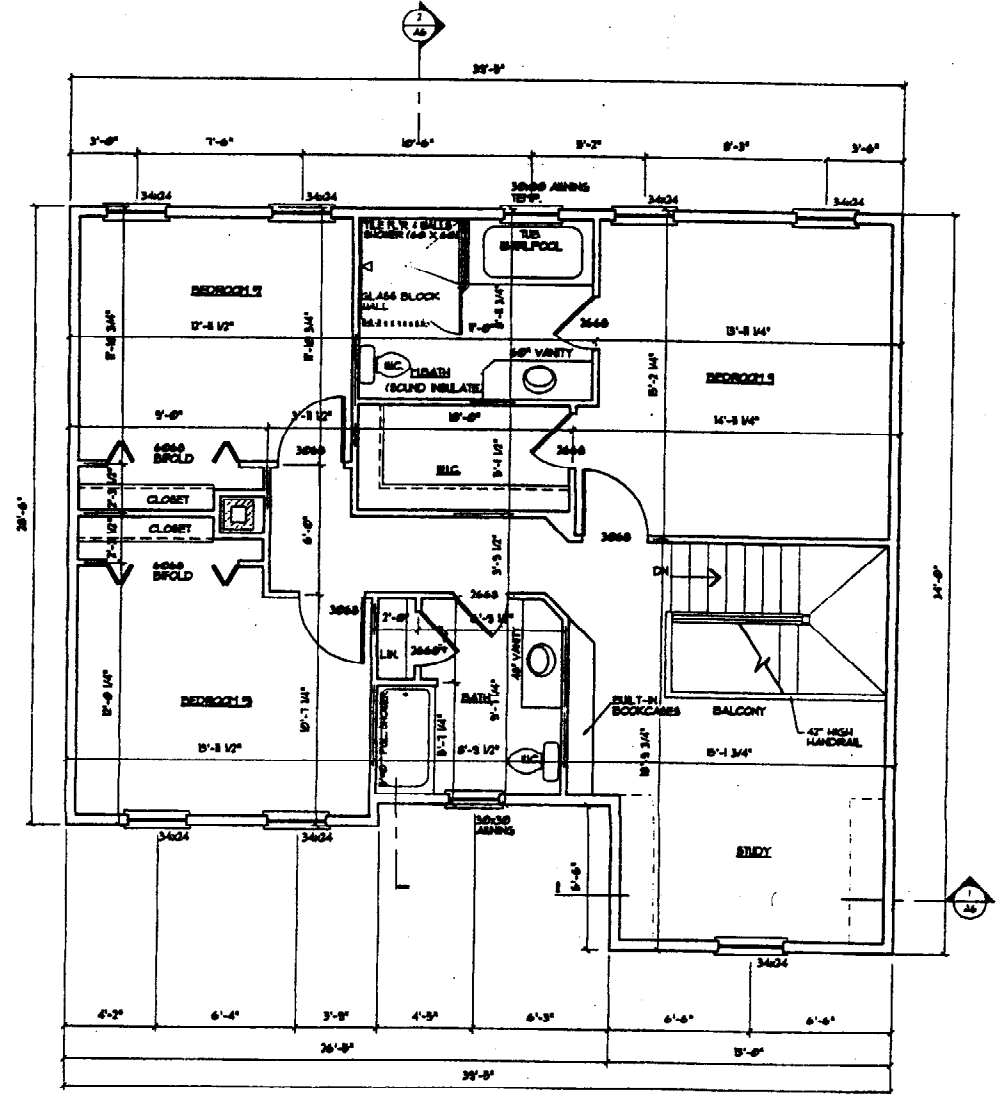
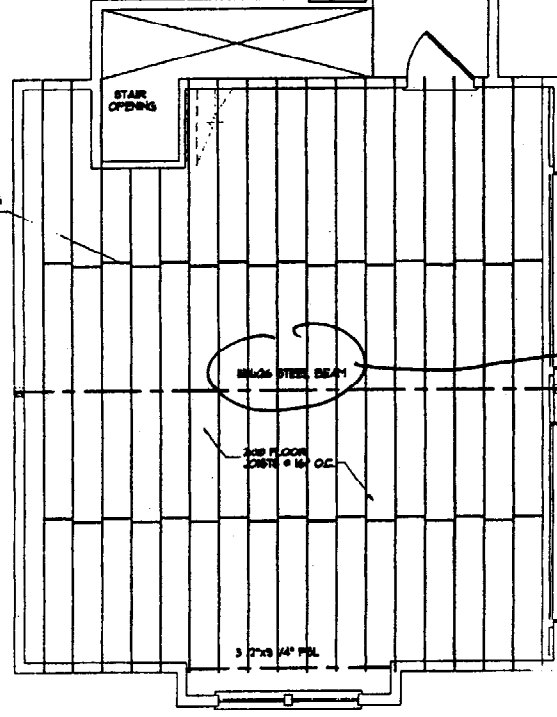
A2



SECOND FLOOR FRAMING PLAN

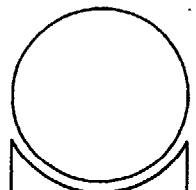
This will require a design statement from a professional engineer.

SOLID BLOCKING 1" HIGH



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



NO.	DATE	REVISIONS DESCRIPTION

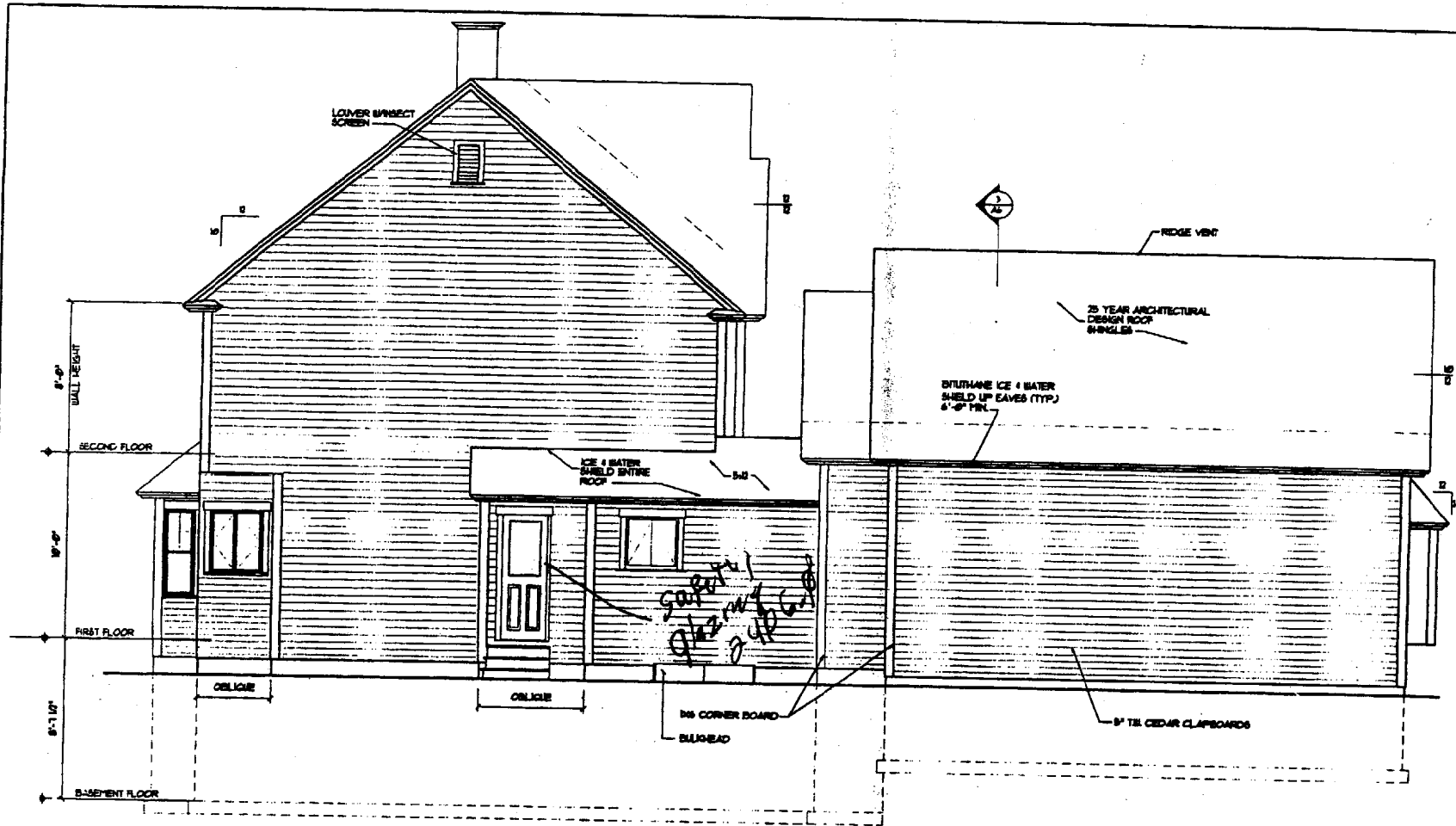
NEW RESIDENCE FOR:
WALPE RESIDENCE
 PORTLAND, MAINE

DRAWINGS THIS SHEET
SECOND FLOOR PLAN / FRAMING PLAN

NUMBER	DATE
MA	03/20/08
DRAWN	CHECKED
DLB	DLB

A3

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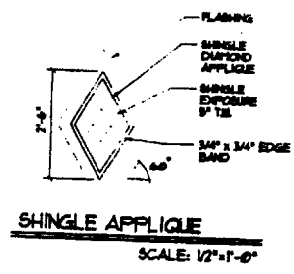


LEFT SIDE ELEVATION

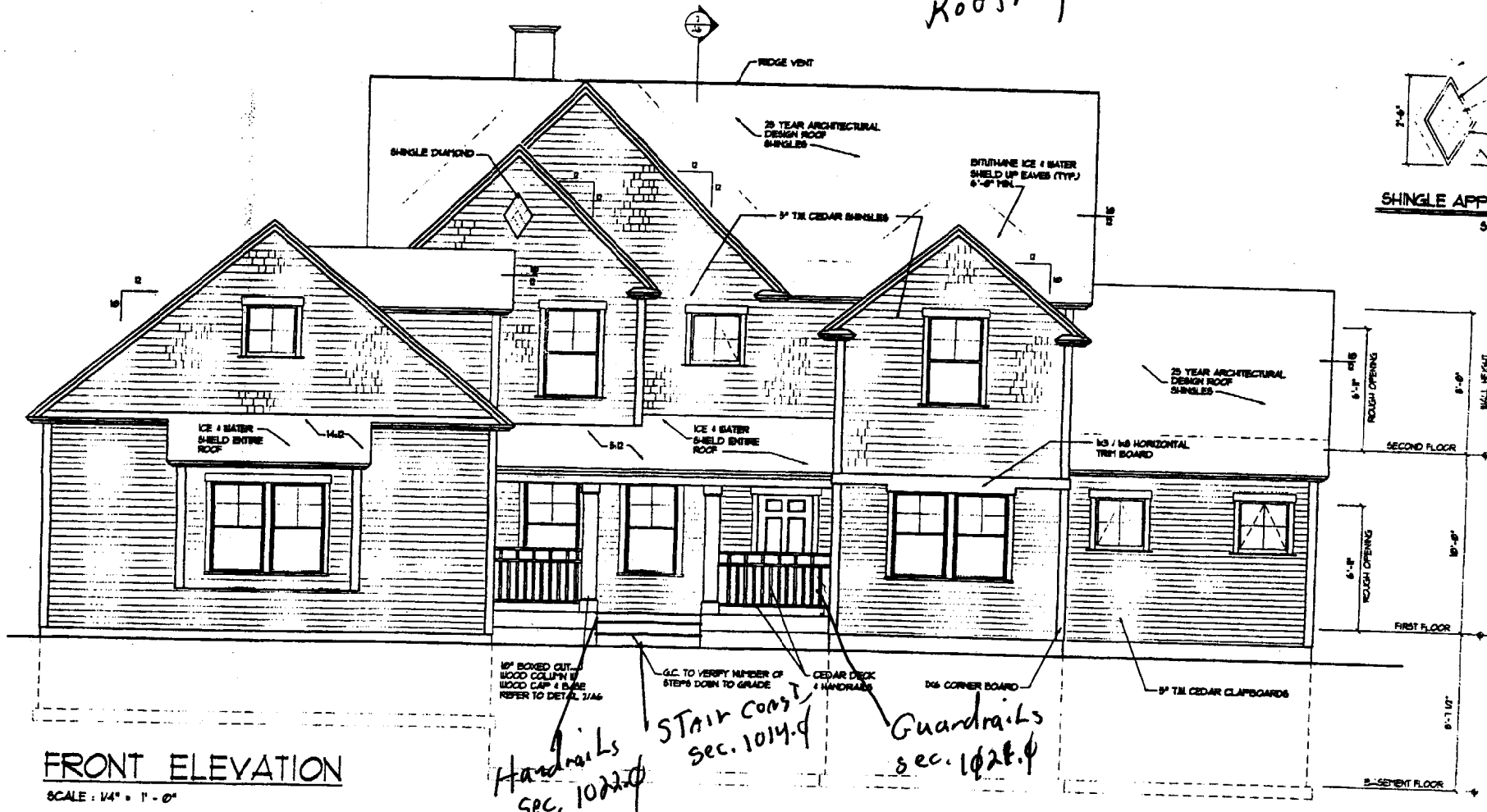
SCALE: 1/4" = 1'-0"

*Flashing sec. 1406.3.1φ
Roofing sec. 1505.9*

TYP. WINDOW TRIM DETAIL:
5/16" HEAD TRIM + HEAD FLASHING
(COVERING JAMB TRIM 1")
1/4" JAMB
3/2 SLOPING SILL
ICE & WATERFIELD FLASHING
OVER WINDOW FLANGES



SHINGLE APPLIQUE
SCALE: 1/2" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

*Handrails sec. 1022.0
Stair Const. sec. 1014.9
Guardrails sec. 1028.4*

NO.	DATE	REVISIONS DESCRIPTION

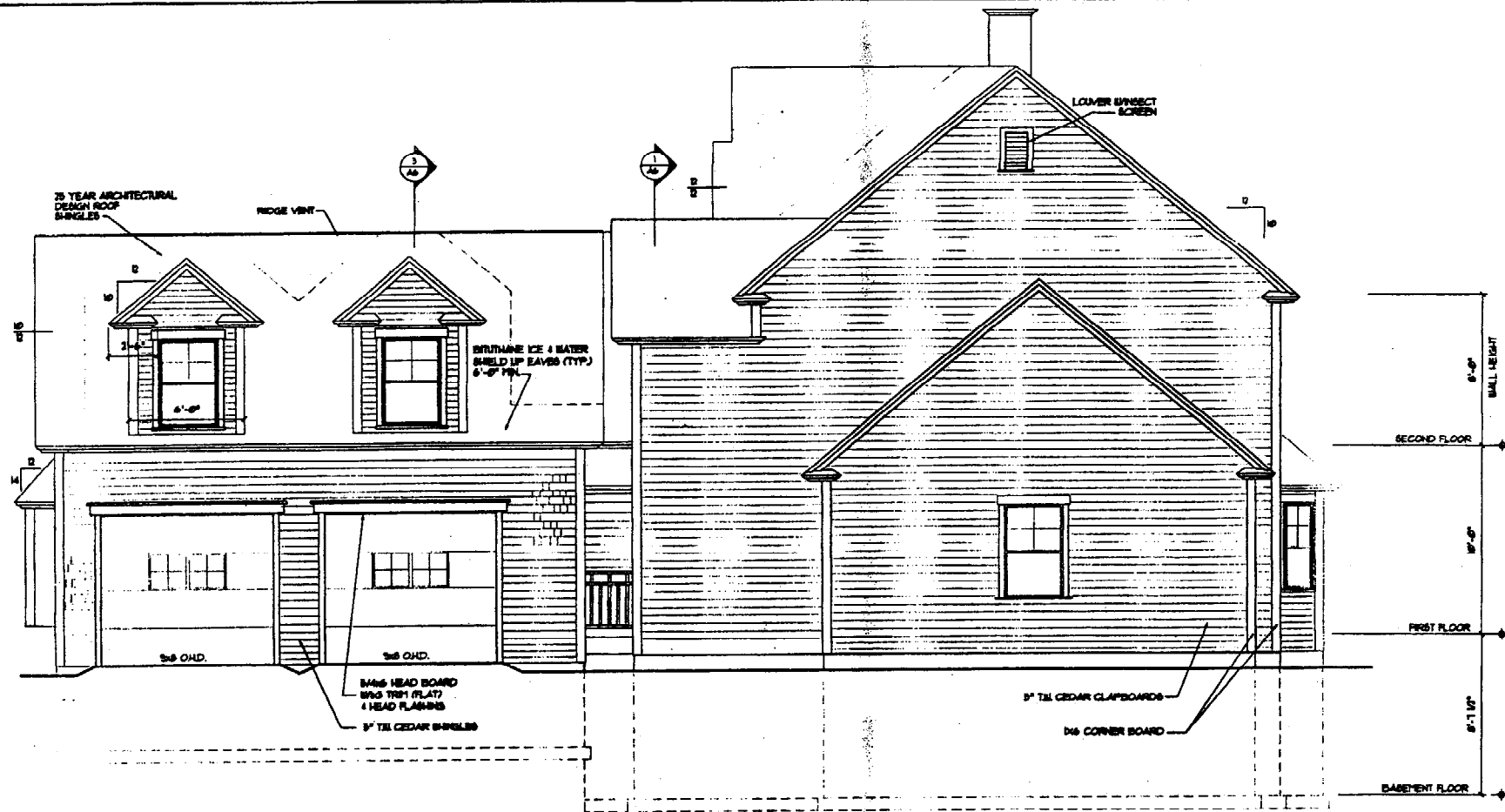
NEW RESIDENCE FOR:
WALPE RESIDENCE
PORTLAND, MAINE

DRAWINGS THIS SHEET
ELEVATIONS

NUMBER	DATE
N/A	06-09-01
DRAWN	CHECKED
DLB	DLB

A4

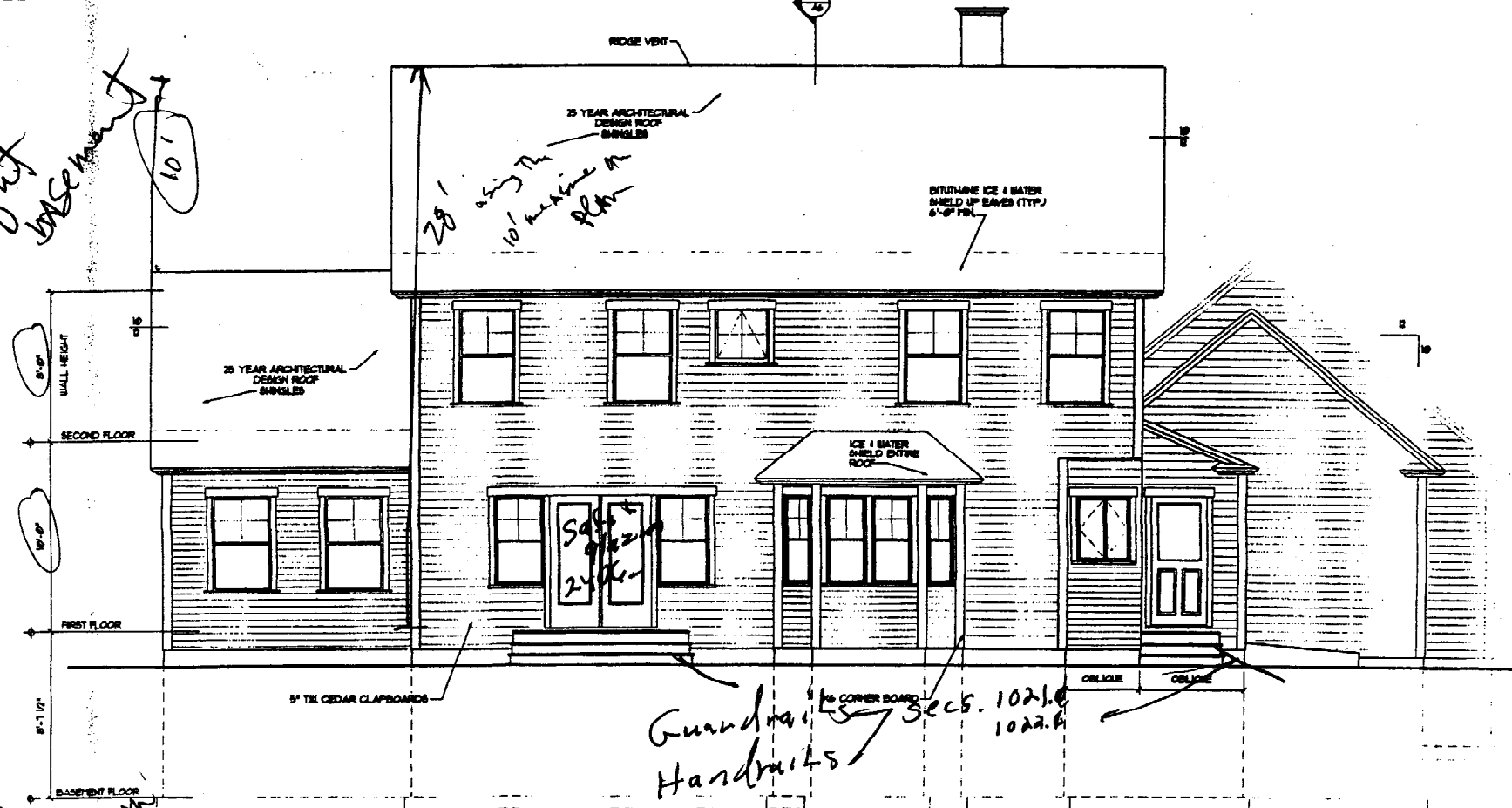
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RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

*No Drylight
basement*

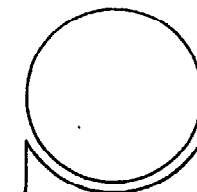


REAR ELEVATION

SCALE: 1/4" = 1'-0"

*Reduced
Plans
Scale
1/4" = 1'-0"*

*Guardrails
Handrails
Secs. 1021.0
1022.0*



NO.	DATE	DESCRIPTION

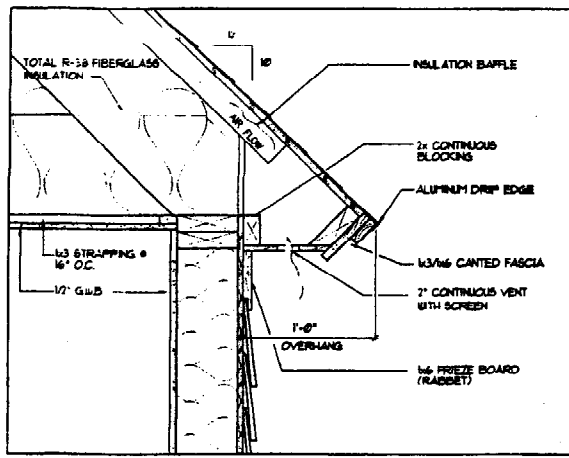
NEW RESIDENCE FOR:
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PORTLAND, MAINE

DRAWINGS THIS SHEET
ELEVATIONS

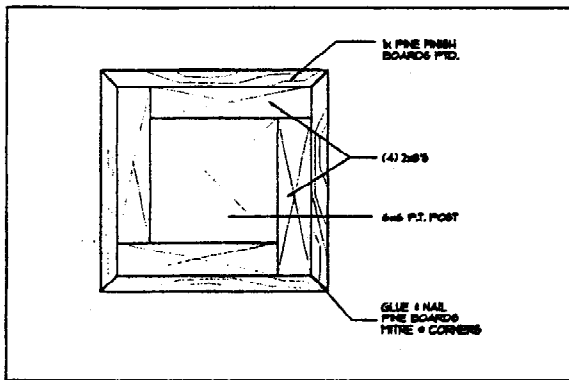
NUMBER	DATE
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A5

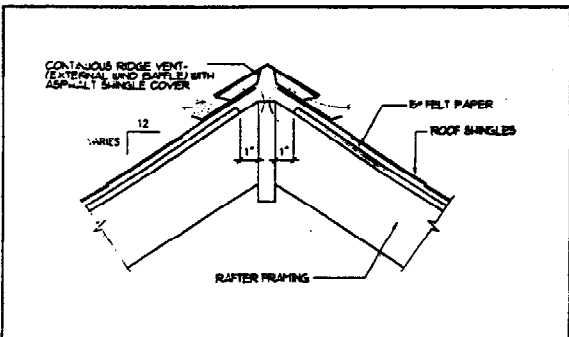
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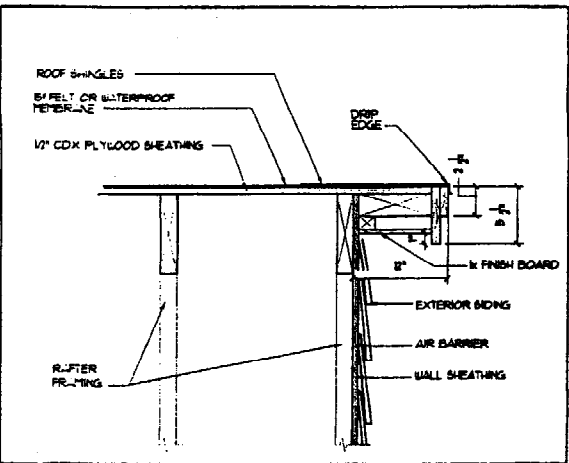
1 BOFFIT DETAIL SCALE: 1 1/2" = 1'-0"



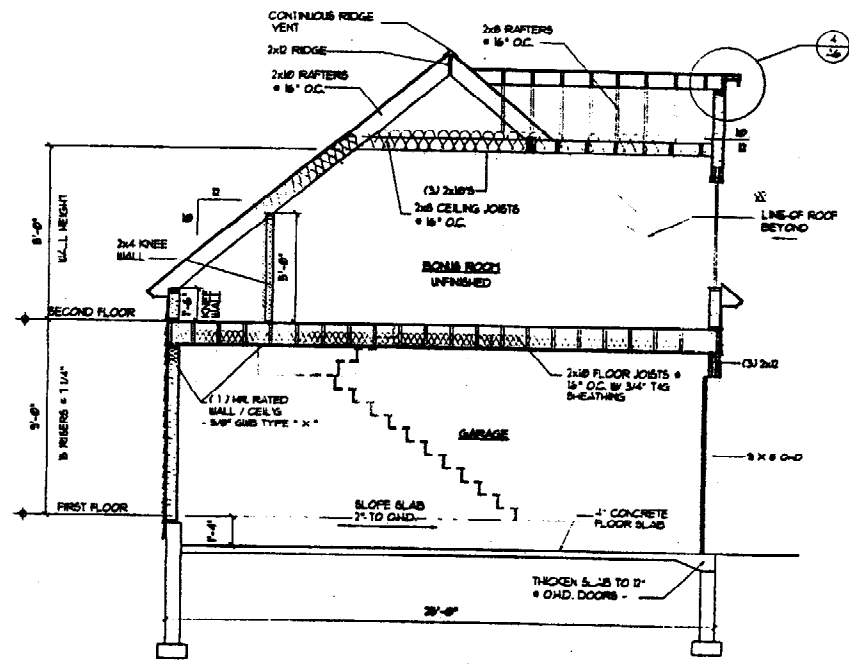
2 BOXED-OUT COLUMN DETAIL SCALE: 3" = 1'-0"



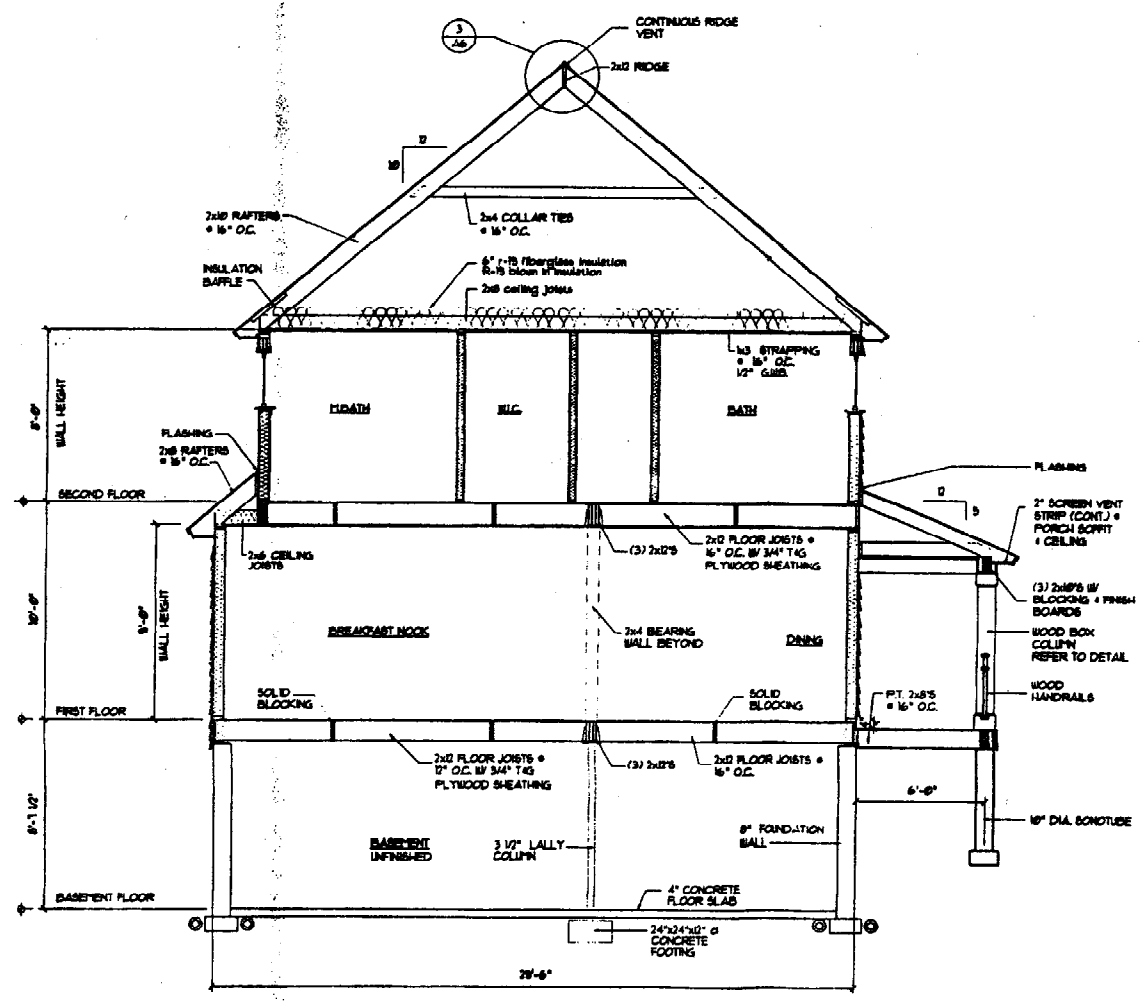
3 RIDGE VENT DETAIL SCALE: 1 1/2" = 1'-0"



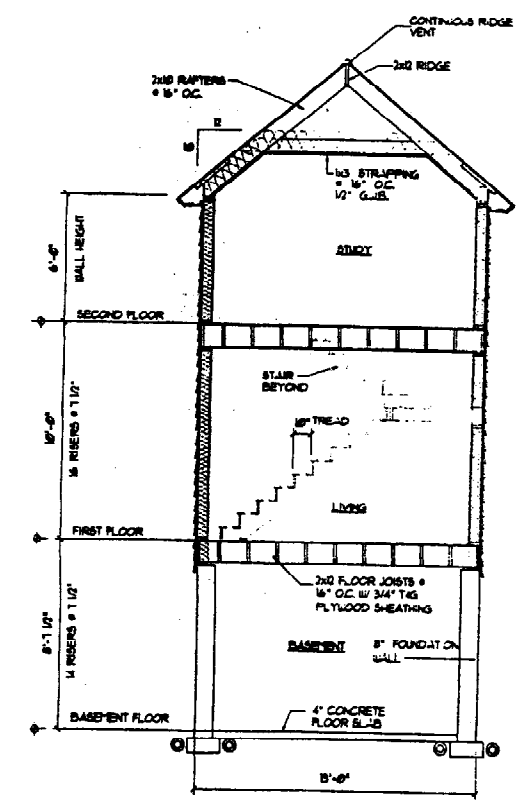
4 RAKE DETAIL SCALE: 1 1/2" = 1'-0"



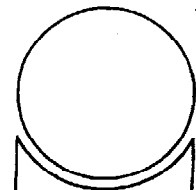
3 BUILDING SECTION THRU HOUSE SCALE: 1/4" = 1'-0"



2 BUILDING SECTION THRU HOUSE SCALE: 1/4" = 1'-0"



1 BUILDING SECTION THRU HOUSE SCALE: 1/4" = 1'-0"



NO.	DATE	REVISIONS	DESCRIPTION

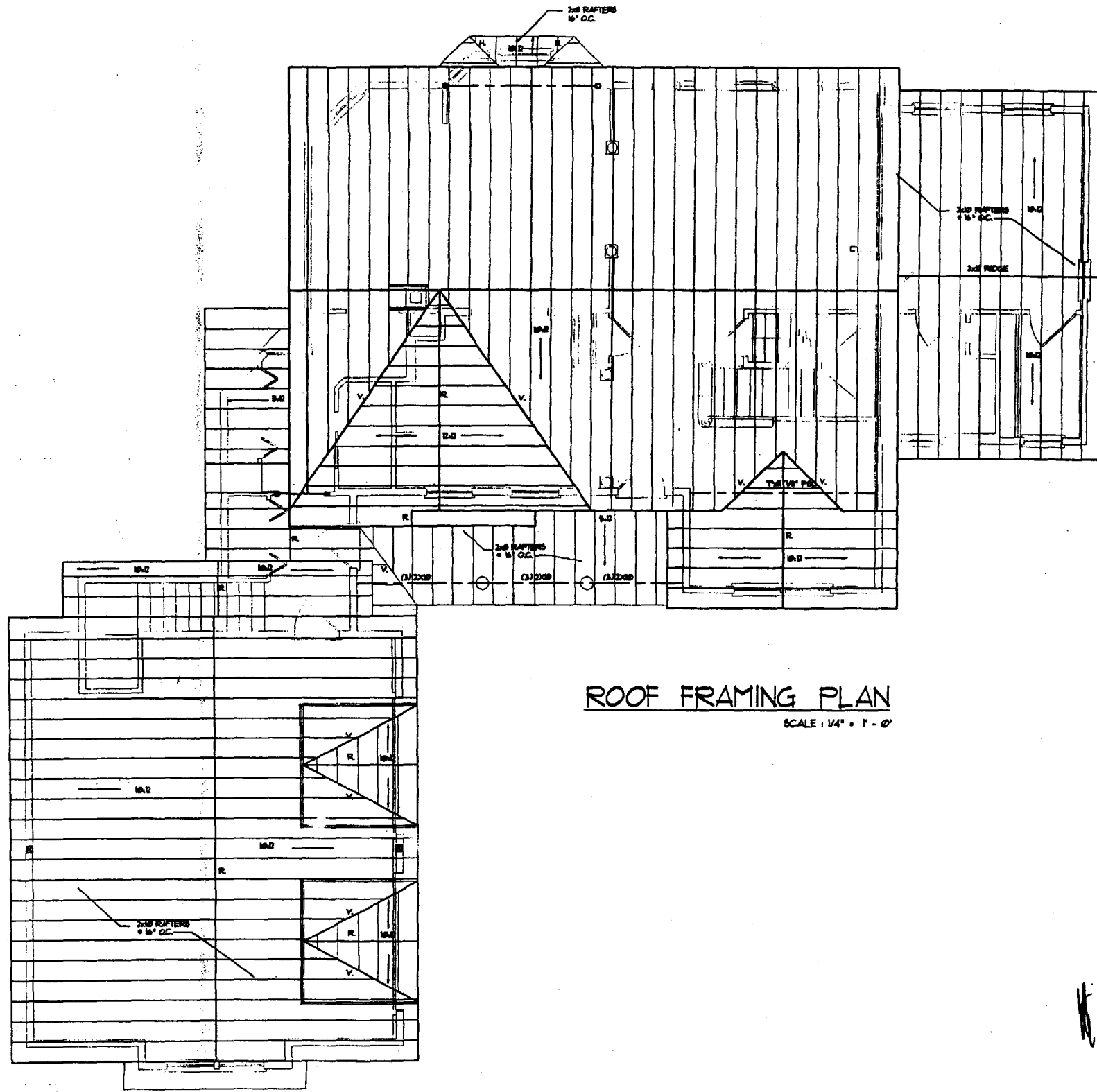
NEW RESIDENCE FOR:
WALPE RESIDENCE
 PORTLAND, MAINE

DRAWINGS THIS SHEET
SECTIONS / DETAILS

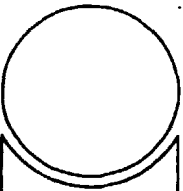
NUMBER	DATE
N/A	06/05/01
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DLS	DLS

A6

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ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



NO.	DATE	REVISIONS DESCRIPTION

NEW RESIDENCE FOR :
WALPE RESIDENCE
PORTLAND, MAINE

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ROOF FRAMING PLAN

NUMBER	DATE
N/A	06/05/01
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DLS	DLS

A7

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11/16/01 Foundation in place ~~water~~ damp
proofing & drainage OK require survey
of as built condition before continuing
work. Site setbacks not determined because
of elevation & site conditions (DC)

11/21/01 Stop work order delivered - revised
plans and R/S statement required (PC)

Stop work order lifted (R)

5/21/02 w/ J. Reed. (1) need tempered glass in b.r.h.
(2) need info on steel beams (3) specs on ^{gas} fire place
(4) fire rating on door from garage to cellar must
be 1 hr. (R/Rowe)

10/29/02 - Final inspection w/ Coley W. + Tom BLACKBURN. Building
not ready. Many corrections and items not finished. Contractor will
re-schedule when ready. (JR)

11/20/02 Final w/ A. Rowe. all issues have been
corrected. OK. For issuance of c/o (JR)



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 38 Alice Court CBL 386 AB020001

Issued to Walp, Michael & Ann/CPW Development Date of Issue 12/03/2002

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 01-0681, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES: Single Family Dwelling w/ 2 Car Garage
APPROVED OCCUPANCY: Use Group -3 Type 5b (Local 999)

SCANNED

Limiting Conditions:

This is a temporary Certificate of Occupancy and shall expire on May 31, 2003. All required site work outlined in memo dated 11/7/02 must be complete before that date.

This certificate supersedes certificate issued

Approved:

12/3/02
(Date)

Inspector

Inspector of Buildings

02/14/11

Cleared out

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspections

Jan 9 2001

Received from CPW Developments Inc.

Location of Work 38 Calice Ct

Cost of Construction - \$

Permit Fee \$ 30.00

Building (IL) Plumbing (IS) Electrical (I2) Site Plan (U2)

Other Amendment to permit # 010681

CBL: 386 AB020

Check #: 1868 Total Collected \$ 30.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

Gay



CITY OF PORTLAND, MAINE
Department of Building Inspection

Received from Alfred J. Wimp June 11 2001 a fee

of one thousand five hundred twenty four /100 Dollars \$ 1,524.00

for permit to install new 34' x 49' 1" columns
erect How
alter
move
demolish
at 37 Grace Court Est. Cost \$ 200.00

Check # 6616

CBL 376 AB 000 Per Hayb Inspector of buildings

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$5.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Auditors Copy

Building Fee 1,224.00
Site Fee 300.00

Total 1,524.00