

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-068 JUL - 5 2001	Issue Date: JUL - 5 2001	CBL: 386 AB020001
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Location of Construction: 38 Alice Court	Owner Name: Walp, Michael & Ann	Owner Address: 20 Wendell Street	Phone: 2077970470
Business Name: n/a	Contractor Name: CPW Development	Contractor Address: PO Box 4000 Windham	Phone: 2078923527
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	Zone: R-2

Past Use: Vacant	Proposed Use: Single Family/New 34' x 49'4" Colonial w/ 2 car 25' x 27'6" garage	Permit Fee:	Cost of Work: \$200,000.00	CEO District: 2
Proposed Project Description: Build 34' x 49'4" Colonial w/2 car 25' x 27'6" Garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: S-3 BOC WITH REQUIREMENTS	
		Signature: <i>[Signature]</i>		

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: <i>[Signature]</i> Date:

Permit Taken By: gg	Date Applied For: 06/11/2001	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 2 Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2001-01+2 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK with condyis</i> Date: <i>7/5/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$260,000.00 Plan Review # _____

Fee: \$1,524.00 Date: 14 June 2001

Building Location: _____ CBL: 386-AB-020

Building Description: Single Family dwelling/attached garage.

Reviewed By: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 5-B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued	111.0 118.9
2.	Before placing concrete for foundation you shall call this office for setback inspection.	111.0
3.	Foundation drains shall comply with section 1813.52	1813.52
4.	Water proofing & damp proofing shall comply with section 1813.0	1813.0
5.	Private garages shall comply with section 407.	407.0
6.	Chimneys and vents shall comply with NFPA section 211 Ch. 4 or manufactures req.	NFPA 211
7.	Guardrails and handrails shall comply with sections 1021.0 & 1022.0	1021.0 1022.0
8.	STAIR CONSTRUCTION shall comply with section 1014.0	1014.0
9.	Sleeproom egress or rescue windows shall comply with section 1010.4	1010.4
10.	Smoke detectors shall comply with section 920.3.2	920.3.2
11.	Ventilation and access to attic or crawl spaces shall comply with sections 1210.0 & 1211.0	1210.0 1211.0
12.	All bldg elements shall be fasten as per table 2305.2	2305.2
13.	Boring, cutting & notching shall comply with sections 2305.3 through 2305.16	2305.3 2305.16

REV: PSH 4-7-00

Foundations (Chapter 18)

Wood Foundation (1808)

~~NA~~ Design
~~NA~~ Installation

Footings (1807.0)

~~X~~ Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
~~NA~~ Insulated footing provided
~~X~~ Soil bearing value (table 1804.3)
~~X~~ Footing width
~~X~~ Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

~~X~~ Design (1812.1)
~~X~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
~~SA~~ Water proofing and damp proofing Section 1813
~~X~~ Sill plate (2305.17)
~~X~~ Anchorage bolting in concrete (2305.17)
~~X~~ Columns (1912)
~~SA~~ Crawl space (1210.2) Ventilation
~~SA~~ Crawl opening size (1210.2.1)
~~SA~~ Access to crawl and attic space (1211.0)
~~SA~~

Floors (Chapter 16-23)

~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)
~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)
~~X~~ Grade
~~X~~ Spacing
~~X~~ Span
~~X~~ Girder 4" bearing 2305

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~X~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SA~~ Fastening table (2305.2)
- ~~AM~~ Floor trusses (AFPANDS Chapter 35)
- ~~I~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~I~~ Wall framing (2305.4.1)
- ~~I~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~SA~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~I~~ Wall bracing required (2305.8.1)
- ~~I~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~AM~~ Metal construction
- ~~MA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~MA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- ~~X~~ Roof rafters - Design (2305.15) spans
- ~~A~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~1~~ Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- ~~51~~ Approved materials (1404.1)
- ~~1~~ Performance requirement (1505)
- ~~1~~ Fire classification (1506)
- ~~1~~ Material and installation requirements (1507)
- ~~1~~ Roof structures (1510.0)
- ~~1~~ Type of covering (1507)

**Chimneys and Fireplaces
 BOCA Mechanical/1993**

- ~~51~~ Masonry (1206.0)
- ~~MA~~ Factory - built (1205.0)
- ~~11~~ Masonry fireplaces (1404)
- ~~51~~ Factory - built fireplace (1403)
- ~~51~~ NFPA 211

**Mechanical
 1993 BOCA Mechanical Code**

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>40 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>1</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

<u>SA</u>	Labeling (2402.1)
_____	Louvered window or jalousies (2402.5)
_____	Human impact loads (2405.0)
_____	Specific hazardous locations (2405.2)
<u>SA</u>	Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

<u>SA</u>	General (407)
_____	Beneath rooms (407.3)
_____	Attached to rooms (407.4)
_____	Door sills (407.5)
_____	Means of egress (407.8)
_____	Floor surface (407.9)

Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~SA~~ EXIT DOOR (1017.3) ~~36~~ W 80" H
- ~~SA~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SA~~ Riser (1014.6) 7 3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

Dwelling Unit Separation

Table 602
~~NA~~

Applicant: CPW Dev

Date: 7/5/01

Address: 38 Alice Ct (lot 20)

C-B-L: 386A-B-020

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - construct new 34 x 49.33' single family with 25 x 27.5' garage

Sevage Disposal - City

Lot Street Frontage - 50' req - $\approx 100'$ shown

Front Yard - 25' req - 25' + shown

Rear Yard - 25' req - 25' + shown

→ close Side Yard - 14' req - just over 14' on both sides
2 story shown

Projections - rear deck

Width of Lot - 80' req $\approx 100'$ shown

Height - 35' max

Lot Area - 10,000^{sq} ft 31,445 shown \approx site plan

Lot Coverage/Impervious Surface - 20% of 6,289^{sq} ft max

Area per Family - 10,000^{sq} ft

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - minor/major
#2001-042

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

Previous permit for house is VOID (over 1 yr old)

34 x 49.55 = 1684.7

25 x 27.5 = 687.5

2372.2

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0142

Application I. D. Number

06/11/2001

Application Date

Alice Court (Lot #20)

Project Name/Description

Busque Construction

Applicant

14 Outlet Cove Rd , Windham , ME 04062

Applicant's Mailing Address

Blackburn, Thomas

Consultant/Agent

Agent Ph: (207) 232-8134

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

38 - 38 Alice Ct, Portland, Maine

Address of Proposed Site

386A B020001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 38 Alice Court, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.
- 10 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

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Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1,700 sf. 31,445 sf.

Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date _____

DRC Approval Status:

Reviewer Jay Reynolds

- Approved **Approved w/Conditions**
See Attached Denied

Approval Date 06/27/2001 Approval Expiration 06/27/2002 Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds 06/27/2001

signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|--|----------------|---|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input checked="" type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input checked="" type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input checked="" type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | _____ |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

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DEVELOPMENT REVIEW APPLICATION
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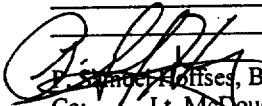
Approval Conditions of Insp

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pool, and/or garage.
- 3 This permits voids out any previous building permits issued on this lot.

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 38 Alice Court, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.
- 10 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

- *20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- * 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- * 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- * 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- * 29. All requirements must be met before a final Certificate of Occupancy is issued.
- * 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements. *All requirements and conditions on the attached site development review sheet shall be met*
- * 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- * 34. Bridging shall comply with Section 2305.16.
- * 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- * 36. All flashing shall comply with Section 1406.3.10.
- * 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- * 38. ~~Roofing shall comply with section 1505.0~~
- * 39. ~~The proposed steel beam shall have a design by a structural engineer. This design shall be submitted and approved by this office before work is started.~~


 James Hoffes, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

BUILDING PERMIT REPORT

DATE: 14 June 2011 ADDRESS: 38 Alice Court CBL: 386-AB-020

REASON FOR PERMIT: To Construct Single Family dwelling/attached garage.

BUILDING OWNER: Michael & Ann Walp

PERMIT APPLICANT: CONTRACTOR CPW Development

USE GROUP: R-3 CONSTRUCTION TYPE: 53 CONSTRUCTION COST: 200,000.00 PERMIT FEES: 1,524.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *5, *8, *9, *10, *13, *16, *20, *27, *28, *29, *30, *32, *33, *34, *35, *36, *38

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

6/11

01-0687

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

2001 0142

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 38 ALICE COURT

Total Square Footage of Proposed Structure 1700 Square Footage of Lot 31,445-

Tax Assessor's Chart, Block & Lot Number: Chart# 386A Block# B Lot# 20
Owner: MICHAEL & ANNE WALP 20 WENDELL STREET PORTLAND, ME 04103
Telephone#: H 797-0470 (C) 450-0470

Lessee/Buyer's Name (If Applicable):
Owner's/Purchaser/Lessee Address:
Cost Of Work: \$200,000 Fee: \$1,224.00

Current use: VACANT LOT
If the location is currently vacant, what was prior use: FOREST
Approximately how long has it been vacant:
Proposed use: SINGLE FAMILY RESIDENCE
Project description: 34 x 49.4" w/ COLONIAL WITH 2 CAR GARAGE 25 x 27' 8"
SITE Fee 300.00
Total 1,524.00

Contractor's Name, Address & Telephone: CP W DEVELOPMENT POB 4000, WINDHAM, ME 04062 892-3527 or 650-5624
Applicants Name, Address & Telephone: SAME

Who should we contact when the permit is ready: Call + THOMAS BLACKBURN 232-8134
Telephone:

If you would like the permit mailed, what mailing address should we use:

RECEIVED JUN 11 2001 Rec'd By: [Signature] 6/11/01

0029796

BK16252PG128

WARRANTY DEED

Know All Men By These Presents That Busque Construction Co., Inc.

of 43 Cottage Avenue, Windham,
County of Cumberland and State of Maine,

for consideration paid, grant to Michael R. Walp and Anne D. Walp

of 20 Wendell Street, Portland,
County of Cumberland and State of Maine
as Joint Tenants

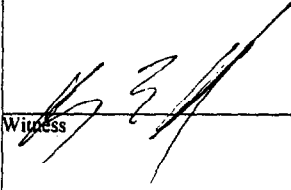
with **WARRANTY COVENANTS:**


A certain lot or parcel of land together with any buildings thereon situated in
Portland County of Cumberland
and State of Maine, more particularly described in Exhibit A attached hereto and
incorporated herein by reference.

In Witness Whereof, I/we have hereunto set my/our hand(s) this 30th day of
April, 2001.

Busque Construction Co., Inc.

MAINE REAL ESTATE TAX PAID

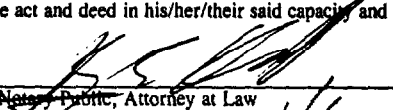

Witness 

By: 
Peter Busque,

State of Maine
County of Cumberland ss.

On this 30th day of April, 2001, personally appeared before me the
above named Peter Busque,, of Busque Construction Co., Inc.

and acknowledged the foregoing to be his/her/their free act and deed in his/her/their said capacity and the
free act and deed of said Corporation.


Notary Public, Attorney at Law


Return to: Michael R. Walp

File No: 01030653

Exhibit A - Deed

A certain tract or parcel of land with the buildings thereon, located in the City of Portland, County of Cumberland and State of Maine, described as follows:

Lot No. 20 as depicted on the Auburn Pine Subdivision Plan recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 393.

The property described herein is conveyed subject to the general Notes and Conditions set forth on said plan together with the Declaration of Restrictions and Covenants for Auburn Pines as set forth in an instrument dated August 16, 1999 and recorded in the Cumberland County Registry of Deeds in Book 14981, Page 172.

Also conveying and easement for access and installation and maintenance of utilities over and within the streets and ways shown on said Plan.

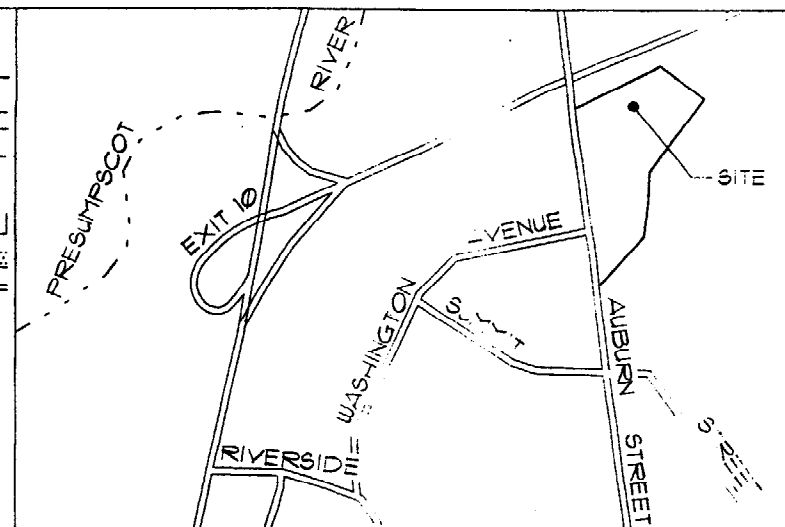
Meaning and intending to convey and hereby conveying the same premises described in a deed from dated June 21, 2000 to Busque Construction Co., Inc. and recorded in the Cumberland County Registry of Deeds in Book 15551, Page 297.

*PB
4/30/11*

RECEIVED
RECORDED REGISTRY OF DEEDS
2001 MAY -1 AM 11:56
CUMBERLAND COUNTY
John B. O'Brien

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	CENTERLINE	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	SPOT GRADE	30x20
---	CATCH BASIN	■
---	MANHOLE	●

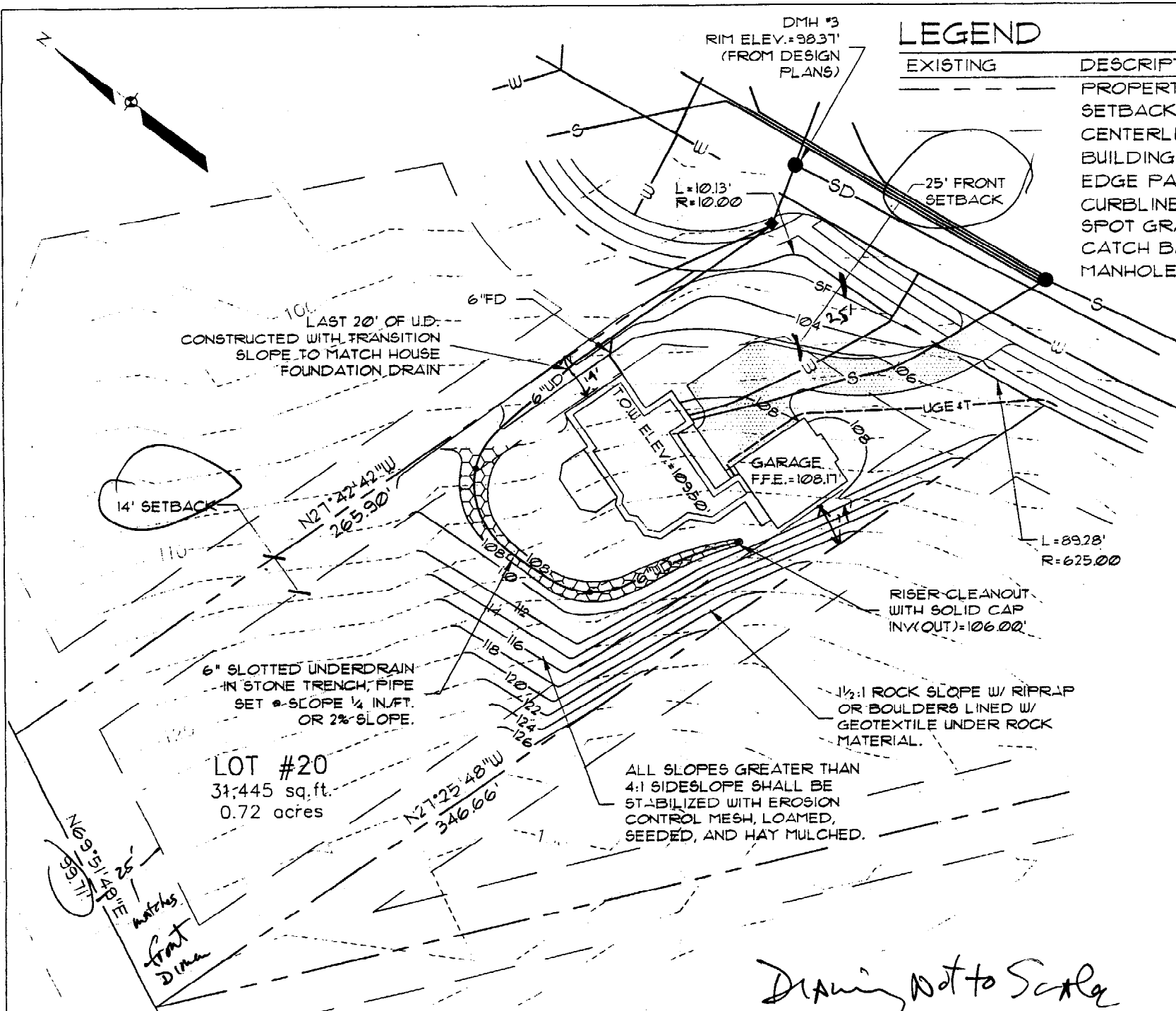


LOCATION MAP N.T.S.

---	CONTOURS	---	124
---	WATER	---	8"W
---	SEWER	---	8"S
---	STORM DRAIN	---	12"SD
---	FOUND. DRAIN	---	6"FD
---	SILT FENCE	---	SF
---	TOP OF FOUNDATION WALL ELEVATION	---	TOW
---	FINISHED FLOOR ELEVATION	---	FFE

GENERAL NOTES

1. APPLICANT: PETER BUSQUE
43 COTTAGE AVENUE
WINDHAM, MAINE 04062
2. THE LOT SHOWN HEREON IS PART OF A SUBDIVISION SITUATED WITHIN THE CITY OF PORTLAND'S R2 RESIDENTIAL ZONE SINGLE FAMILY HOMES.
3. PLAN REFERENCES:
A) SUBDIVISION PLAN OF AUBURN PINES SUBDIVISION DATED THROUGH JULY 7, 1993 BY PINKHAM & GREER ENGINEERS.
4. EXISTING TOPOGRAPHIC INFORMATION IS BASED UPON SAID PLAN WITH ELEVATIONS THAT ARE REFERENCED TO A STANDARD DISK AUBURN RM-1 ELEVATION 100.31 N.A.V.D. DATUM.
5. PROPOSED UTILITY LOCATION AND ELEVATION IS BASED UPON THE PLAN REFERENCED IN NOTE 3A.
6. DURING CONSTRUCTION THE OWNER & CONTRACTOR SHALL UTILIZE ME. D.E.P. "BEST MANAGEMENT PRACTICES (B.M.P.S.) FOR EROSION CONTROL & SEDIMENTATION CONTROL.
7. IF TWO TREES EXIST WHICH ARE LARGER THAN 2" DIA. TRUNK, THEY MAY BE SUBSTITUTED FOR THE PROPOSED STREET TREES AS LONG AS THE SPECIES IS ON THE CITY'S APPROVED LIST.



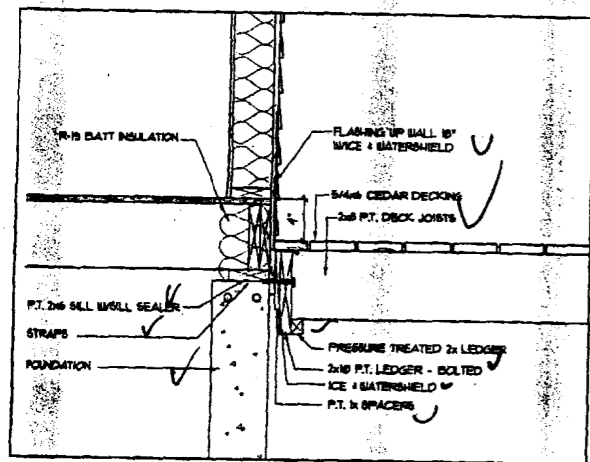
Drawing Not to Scale

Sebago Technics
Engineering & Planning for the Future
One Chobot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

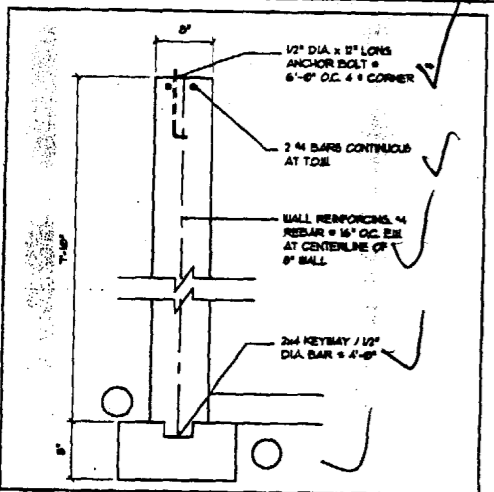
PLOT PLAN
OF:
LOT 20 AUBURN PINES SUBDIVISION
AUBURN PINES DRIVE
PORTLAND, ME.
FOR:
ANNE WALP
20 WENDELL ST.
PORTLAND, MAINE 04103

DESIGN BY:	JRS
DRAWN BY:	TJW/MEJ
CHECKED BY:	JRS
DATE:	6-5-01
SCALE:	1"=40'
FIELD BK:	
PROJ. NO:	01232
DRAWING:	01232LOT20
SHEET 1 OF 1	

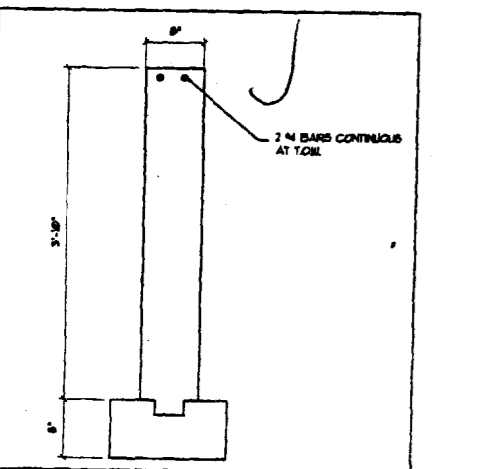
Not Accurate



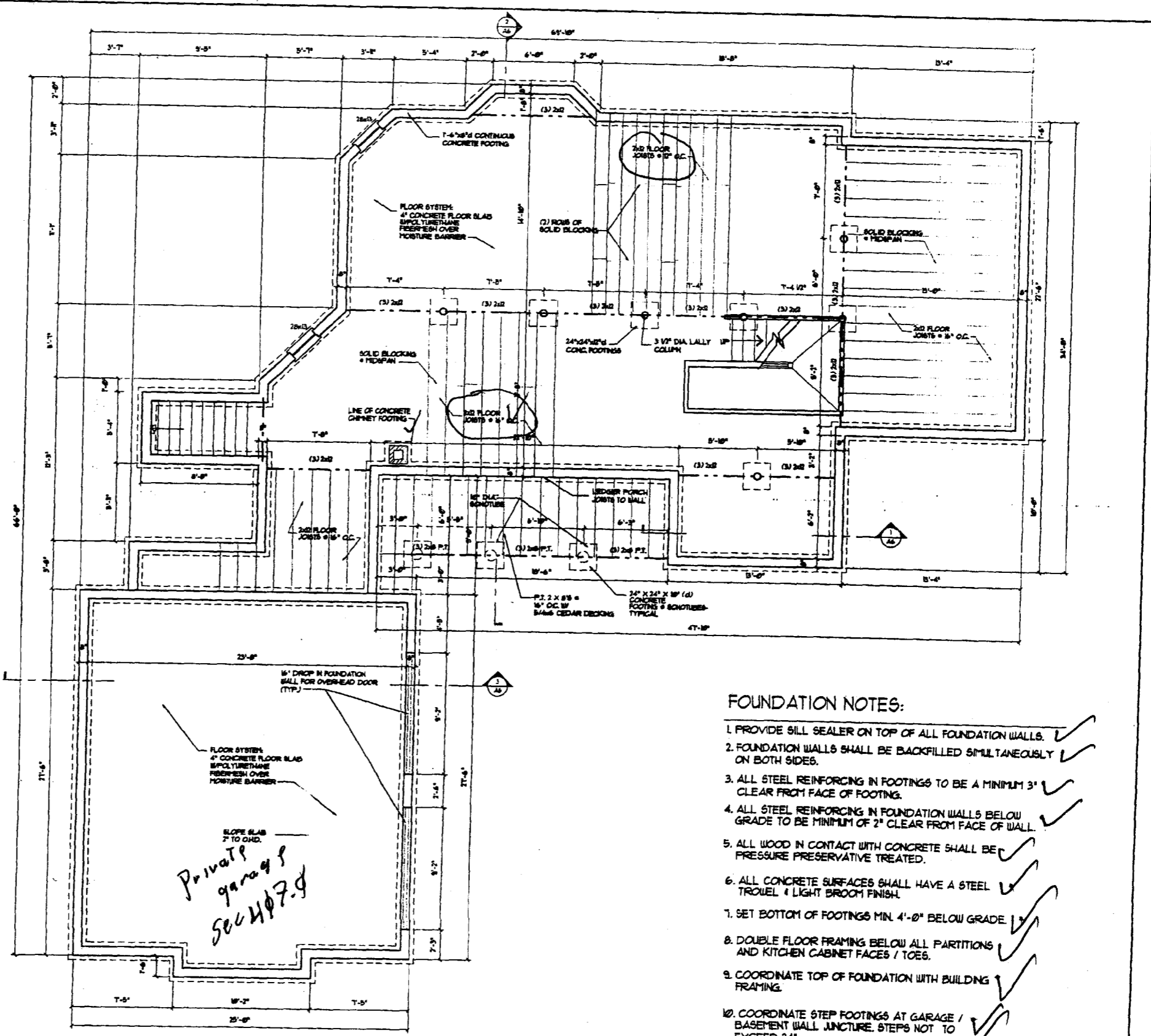
3 DECK / JOIST CONNECTION DETAIL SCALE: 1/4" = 1'-0"



2 TYPICAL TALL FOUNDATION WALL SCALE: 1/4" = 1'-0"



1 TYPICAL SHORT FOUNDATION WALL SCALE: 1/4" = 1'-0"



FOUNDATION PLAN SCALE: 1/4" = 1'-0"

- FOUNDATION NOTES:**
1. PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
 2. FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
 3. ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM FACE OF FOOTING.
 4. ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL.
 5. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.
 6. ALL CONCRETE SURFACES SHALL HAVE A STEEL TROUCEL & LIGHT BROOM FINISH.
 7. SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
 8. DOUBLE FLOOR FRAMING BELOW ALL PARTITIONS AND KITCHEN CABINET FACES / TOES.
 9. COORDINATE TOP OF FOUNDATION WITH BUILDING FRAMING.
 10. COORDINATE STEP FOOTINGS AT GARAGE / BASEMENT WALL JUNCTURE. STEPS NOT TO EXCEED 24".
 11. SET ALL FOOTINGS ON UNDISTURBED SOIL.
 12. GROUT ALL FOR TIE HOLES.

THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER DISCREPANCY HAS BEEN RESOLVED.

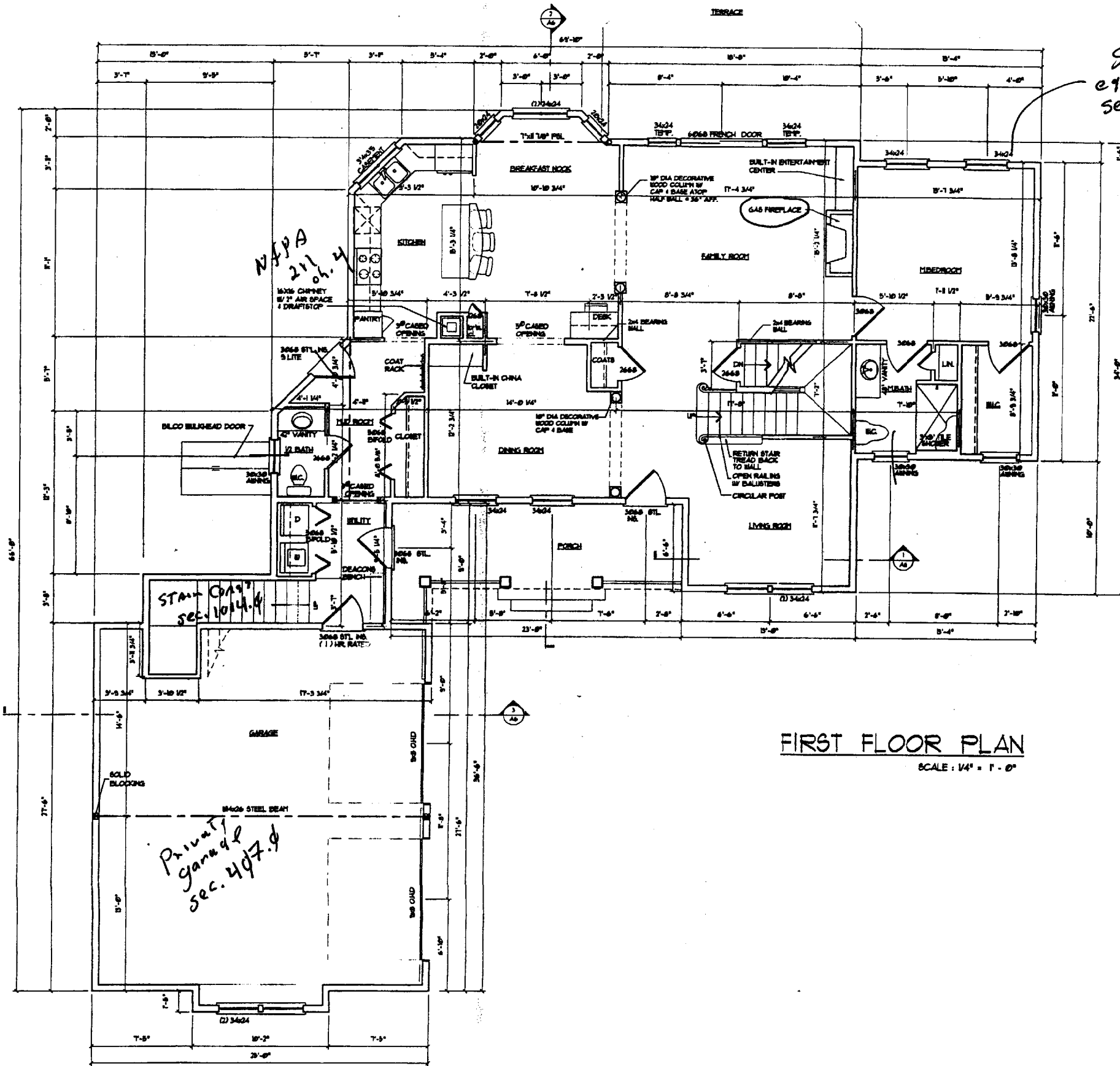
NEW RESIDENCE FOR:
WALPE RESIDENCE
PORTLAND, MAINE

NO.	DATE	REVISIONS	DESCRIPTION

DRAWING THIS SHEET
FOUNDATION PLAN

NUMBER	DATE
N/A	06/08/08
DRAWN	CHECKED
DLB	DLB

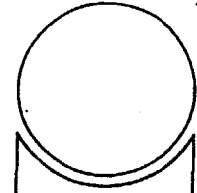
AI



Sleeping room egress or rescue windows section 1010.4

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
1. WINDOWS ARE TO BE ANDERSEN OR EQUIVALENT (UNLESS NOTED OTHERWISE)
 2. ALL EXTERIOR WALLS TO BE 2X6 WOOD STUD WALLS • 16" O.C. W/ 1/2" G.W.B. AND VAPOR BARRIER • INSIDE FACE OF WALL, 6" BATT INSULATION (R-19), AND 1/2" PLYWOOD SHEATHING • EXTERIOR FACE OF WALL.
 3. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" G.W.B. EACH SIDE.
 4. INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
 5. THE LOCATION OF ALL DOOR FRAMES SHALL BE 6" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.
 6. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.



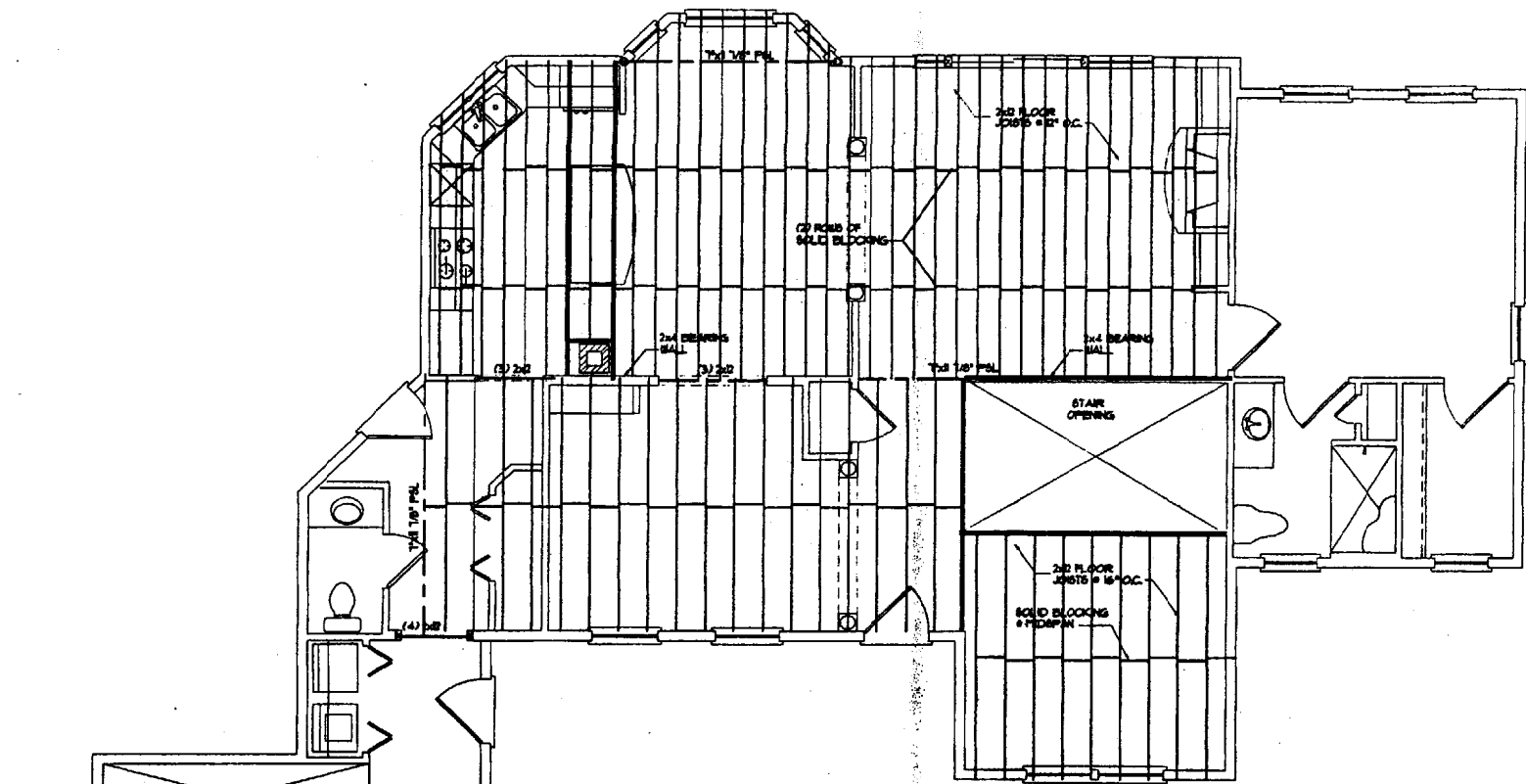
NO.	DATE	REVISIONS DESCRIPTION

NEW RESIDENCE FOR:
WALPE RESIDENCE
PORTLAND, MAINE

DRAWINGS THIS SHEET
FIRST FLOOR PLAN

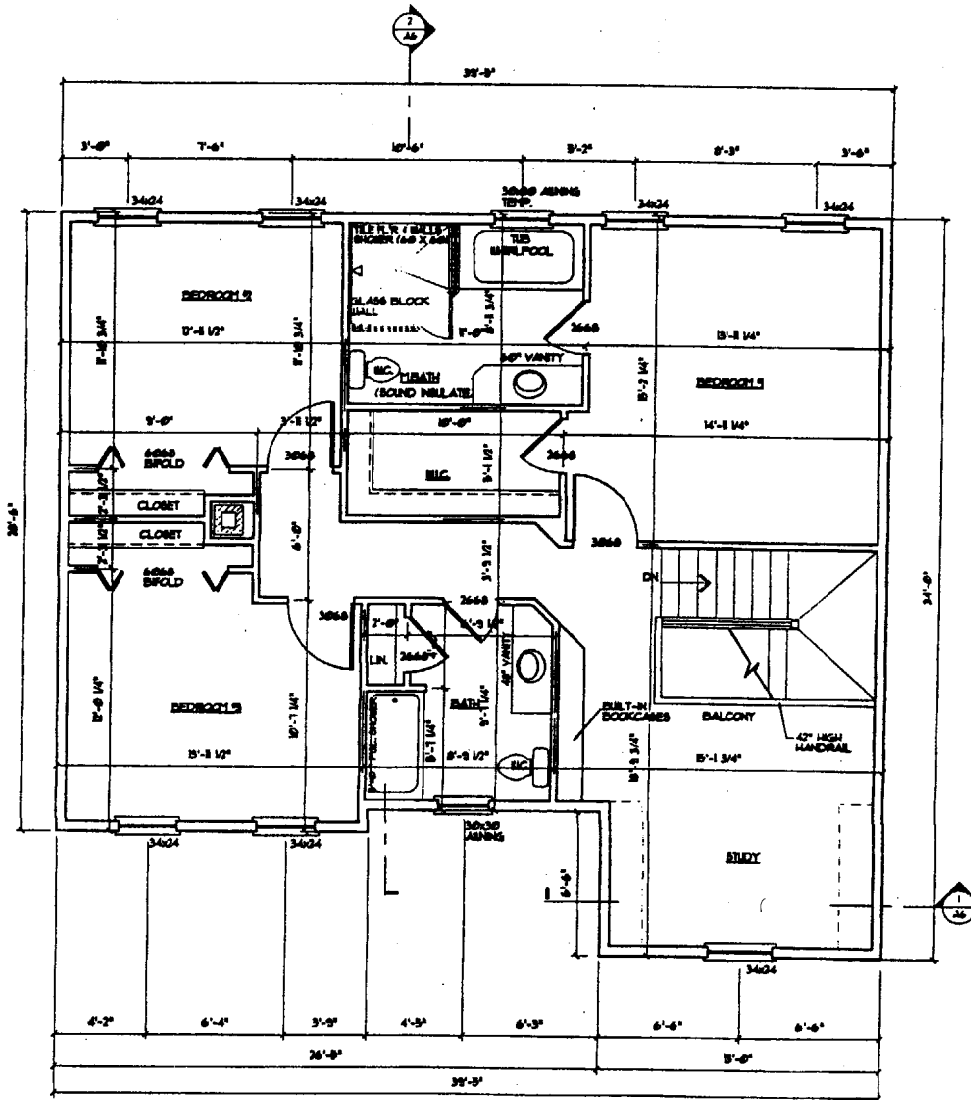
NUMBER	DATE
N/A	06/05/01
DRAWN	CHECKED
DLS	DLS

A2



SECOND FLOOR FRAMING PLAN

This will require a design statement from a professional engineer. SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NO.	DATE	REVISIONS	DESCRIPTION

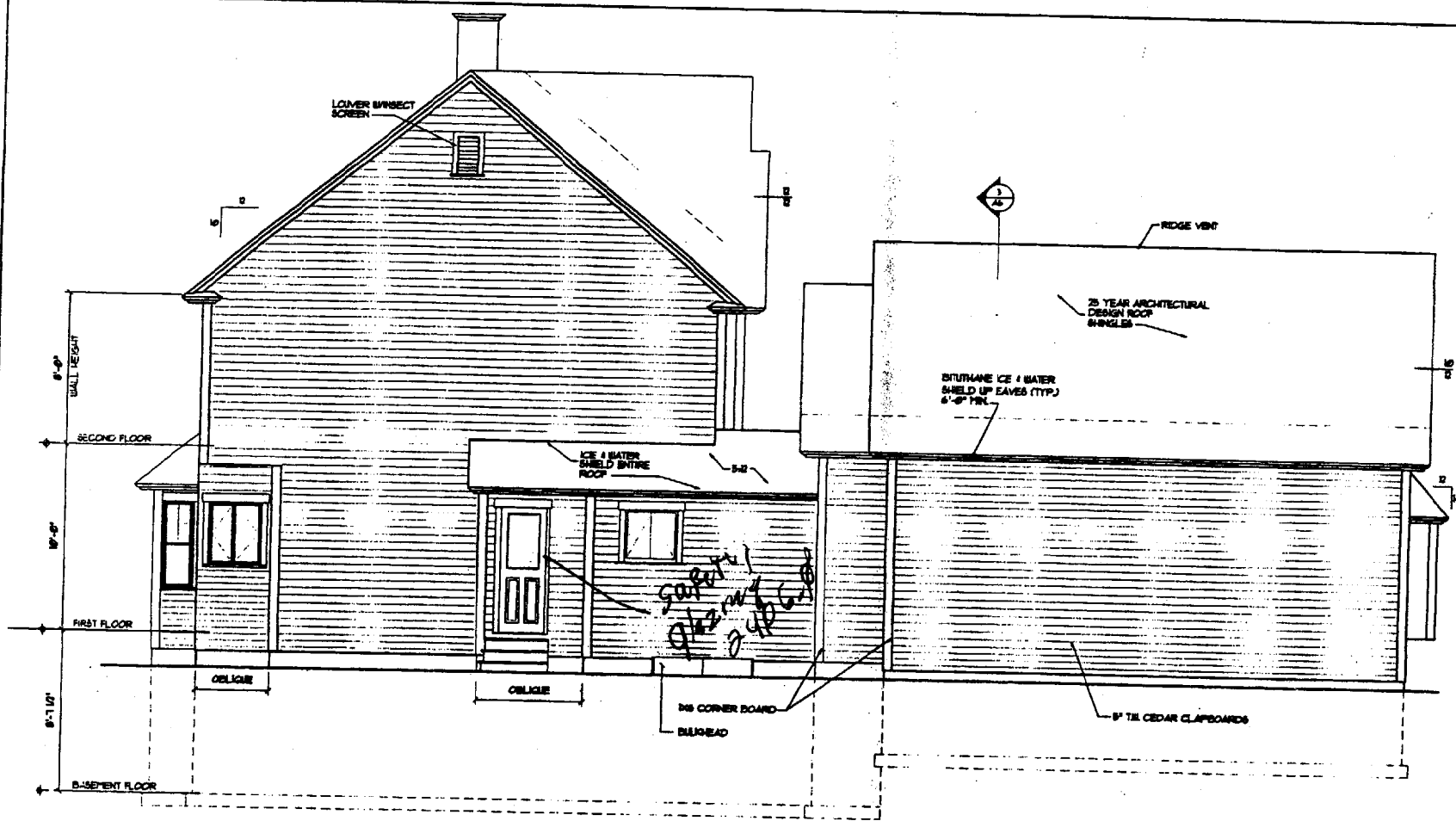
NEW RESIDENCE FOR:
WALPE RESIDENCE
 PORTLAND, MAINE

DRAWINGS THIS SHEET
**SECOND FLOOR PLAN /
 FRAMING PLAN**

NUMBER	DATE
N/A	08/20/20
DRAWN	CHECKED
DLB	DLB

A3

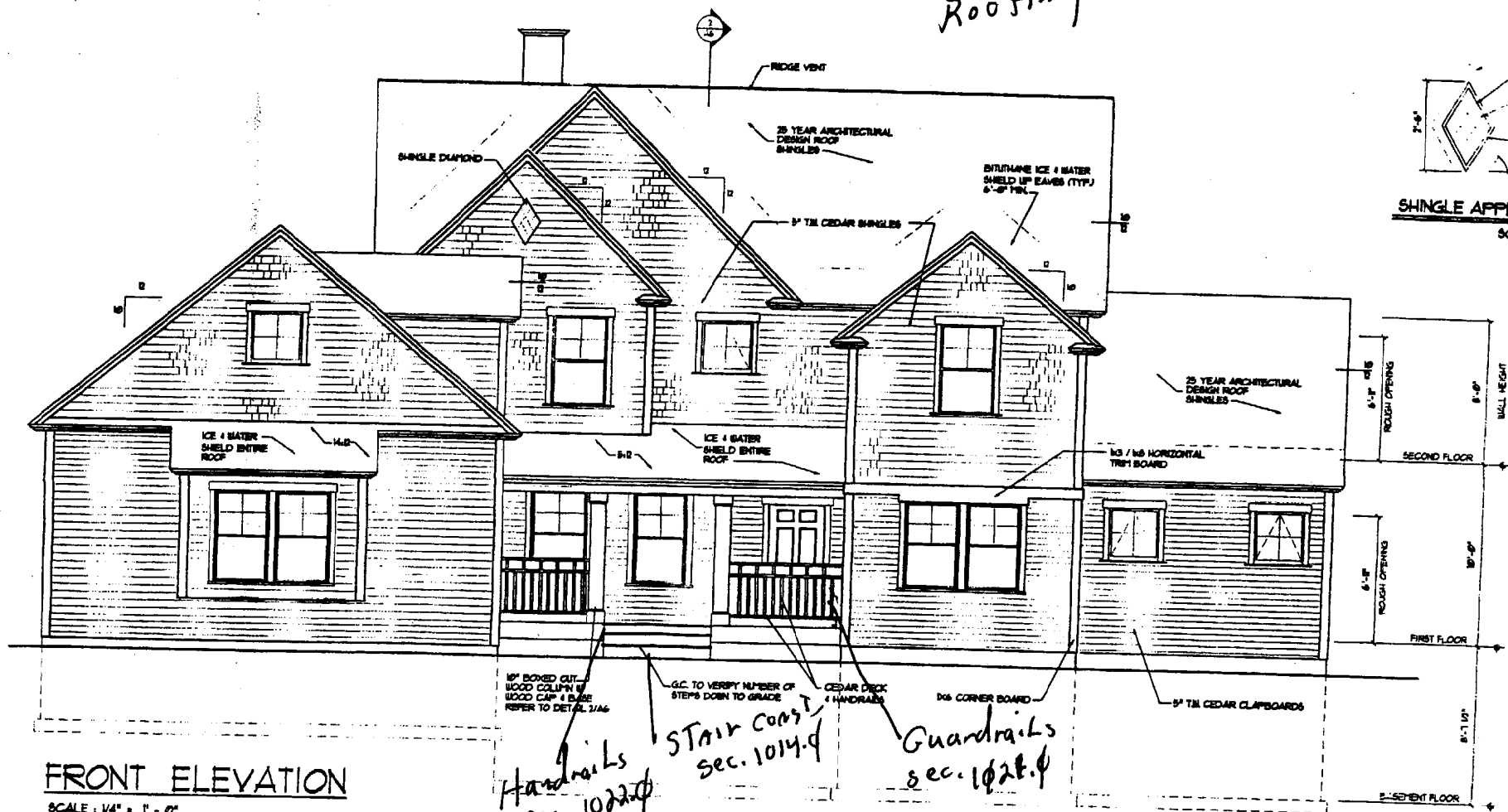
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LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

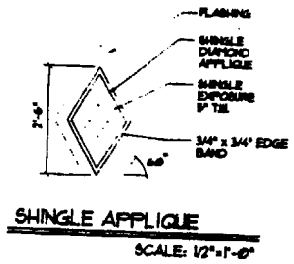
*Flashing sec. 1406.3.10
Roofing sec. 1505.4*

TYP. WINDOW TRIM DETAIL:
BASE HEAD TRIM & HEAD FLASHING
(OVERHANG JAMB TRIM)
1/4 JAMB
NO SLOPING SILL
ICE & WATER SHIELD FLASHING
OVER WINDOW FLANGES

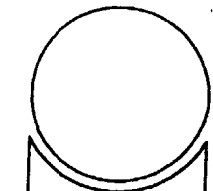


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

*Handrails sec. 1022.0
Stair case sec. 1014.4
Guadrails sec. 1028.0*



SHINGLE APPLIQUE
SCALE: 12" = 1'-0"



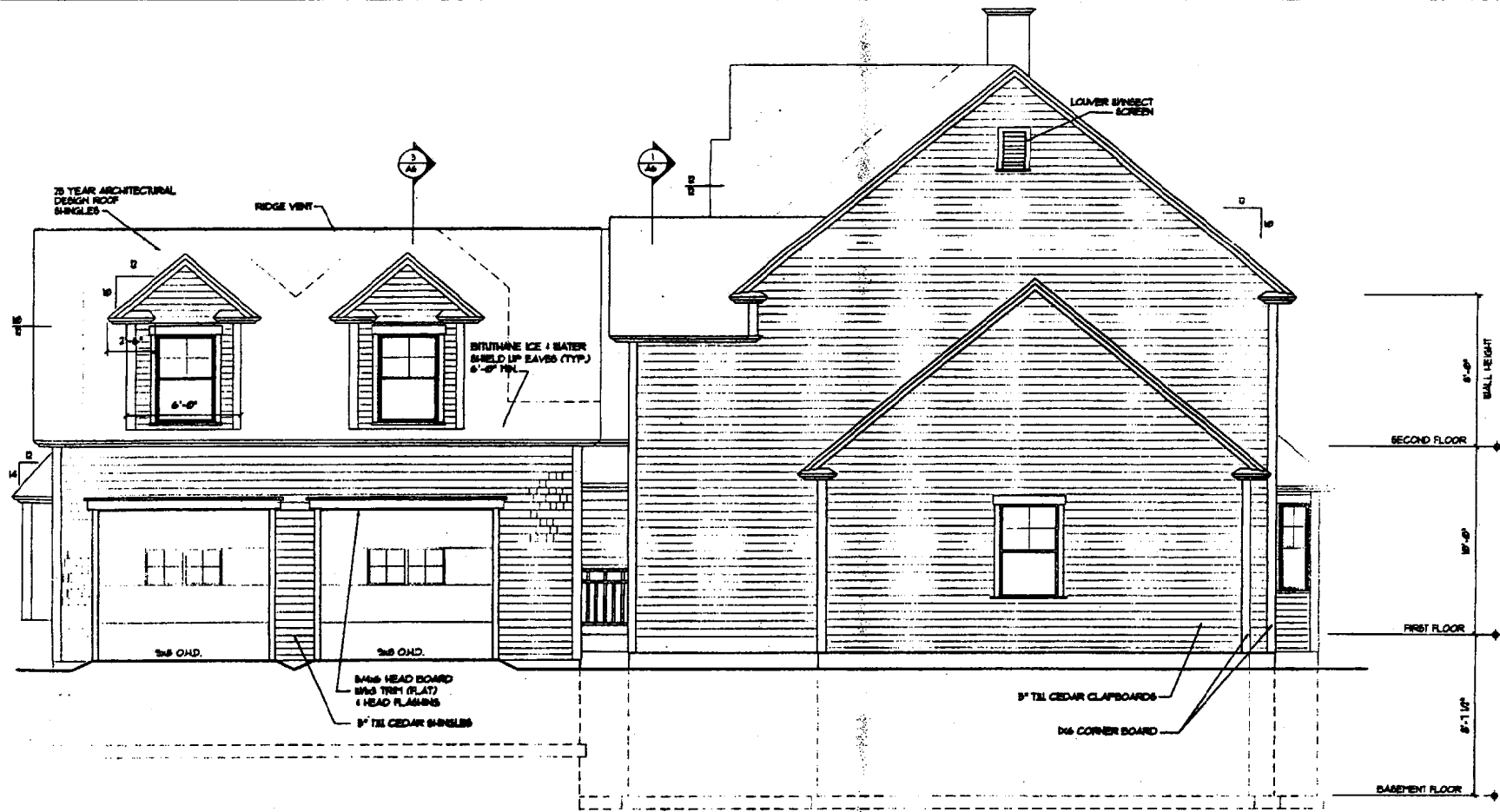
REVISIONS	DESCRIPTION
NO. 1	DATE

NEW RESIDENCE FOR:
WALPE RESIDENCE
PORTLAND, MAINE

DRAWINGS THIS SHEET
ELEVATIONS

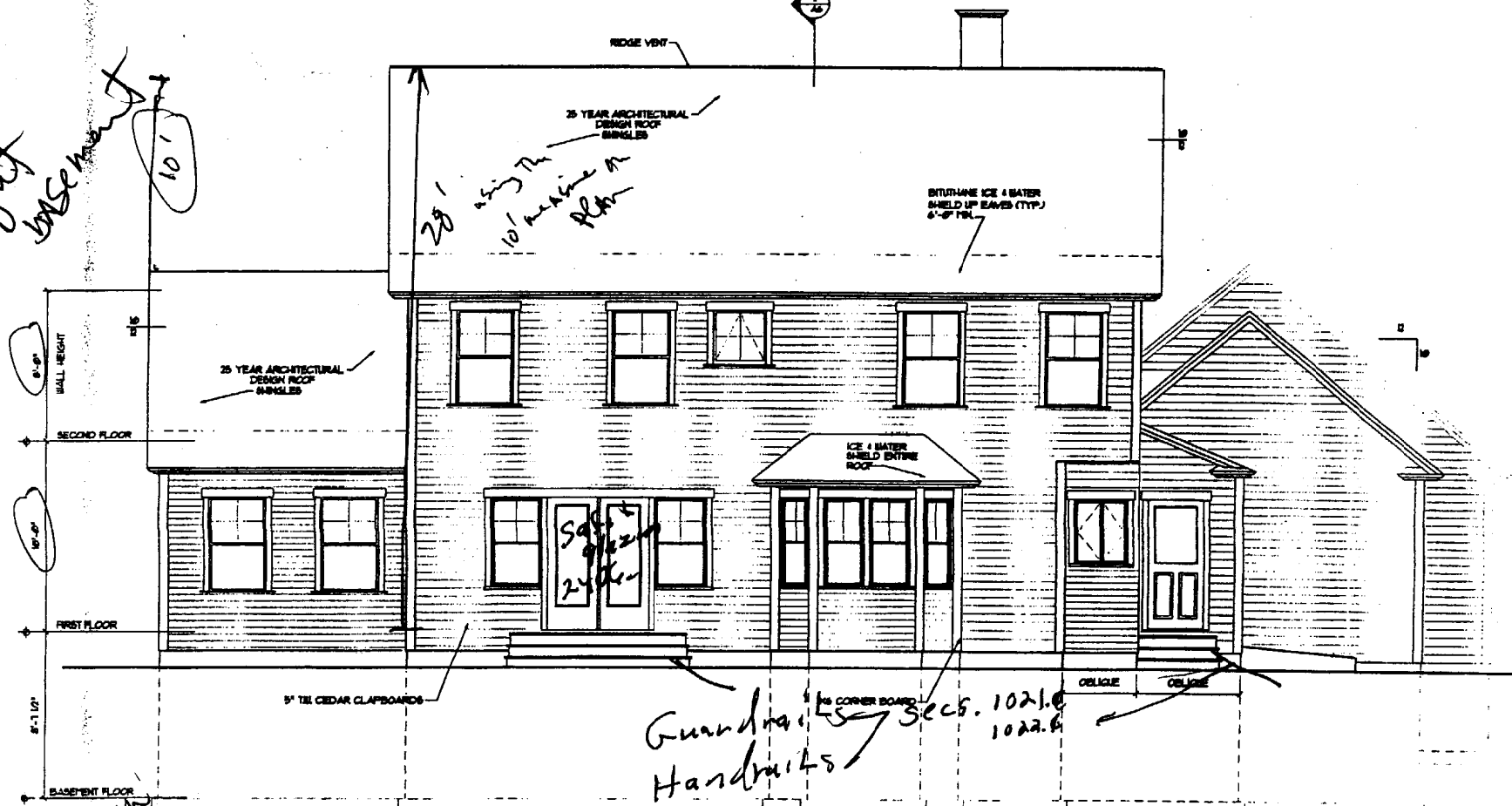
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DRAWN	CHECKED
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A4



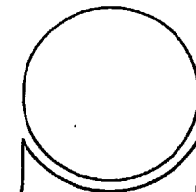
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"

*No Drylight
basement*



*Reduced
Plans
Scale
not
shown*
REAR ELEVATION
SCALE: 1/4" = 1' - 0"

*Guardrails
Handrails*



NO.	DATE	REVISIONS DESCRIPTION

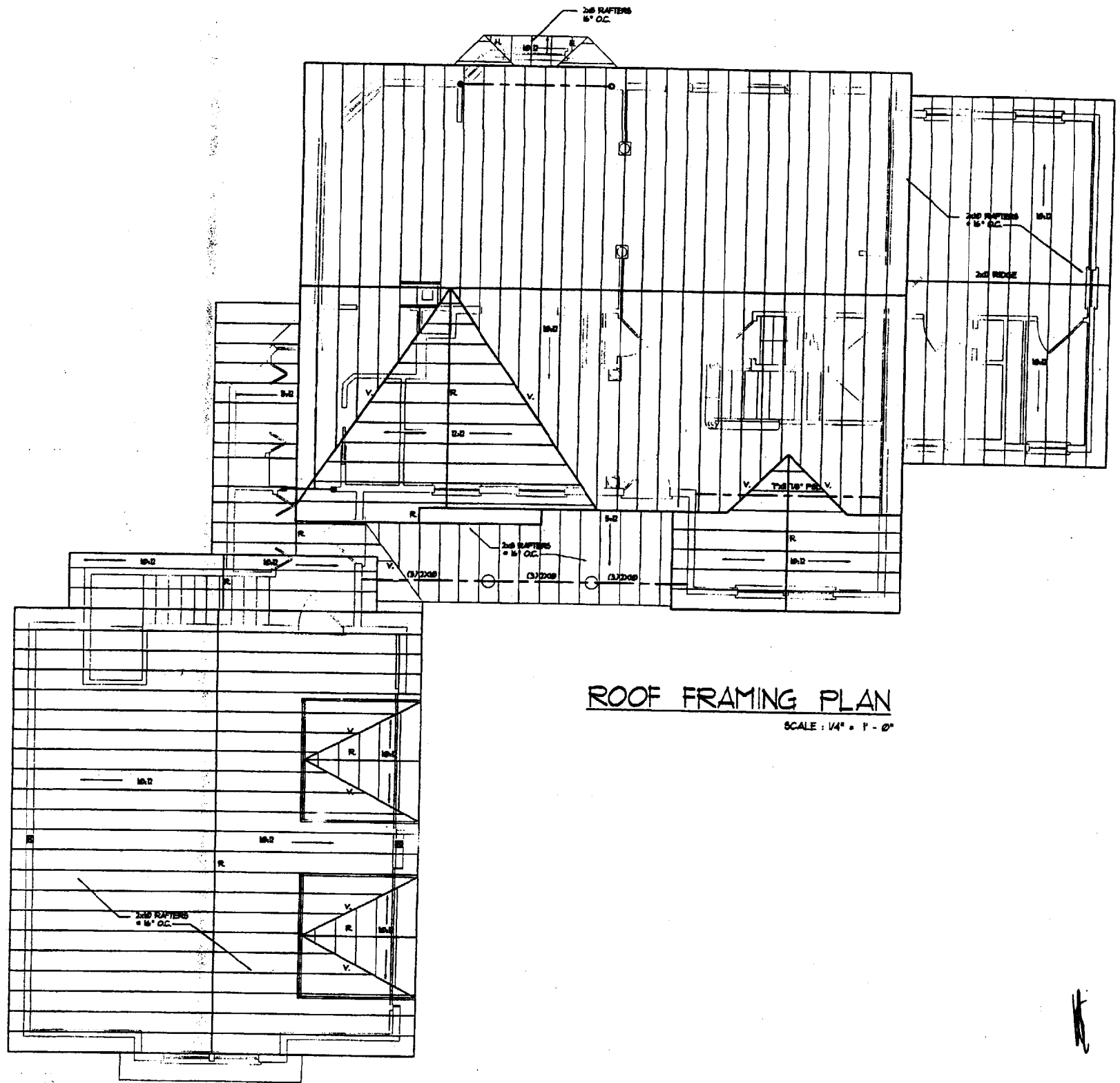
NEW RESIDENCE FOR:
WALPE RESIDENCE
PORTLAND, MAINE

DRAWINGS THIS SHEET
ELEVATIONS

NUMBER	DATE
N/A	06-05-09
DRAWN	CHECKED
DLB	DLB

A5
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ROOF FRAMING PLAN
 SCALE: 1/4" = 1' - 0"



NO.	DATE	REVISIONS DESCRIPTION

NEW RESIDENCE FOR:
WALPE RESIDENCE
 PORTLAND, MAINE

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ROOF FRAMING PLAN

NUMBER	DATE
N/A	06/03/01
DRAWN	CHECKED
DLS	DLS

AT

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