

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0810	Issue Date: JUL 19 2001	CBL: 386 AB018001
-----------------------	----------------------------	----------------------

Location of Construction: 47 Alice Court (lot #17)	Owner Name: Nelson, Donata R.	Owner Address: 37 Morse St	Phone: 207-773-8256
Business Name: n/a	Contractor Name: CBRN Inc.	Contractor Address: 37 Morse Street Portland	Phone: 2078388256
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Single Family	Zone:

Past Use: Foundation / Prior Vacant Land	Proposed Use: New Single Family 28' x 34' Colonial. Site Plan # 2001-0140	Permit Fee: \$924.00	Cost of Work: \$150,000.00	CEO District: 2
---	---	-------------------------	-------------------------------	--------------------

Proposed Project Description:
 New Single Family 28' x 34' Colonial

FIRE DEPT: Approved Denied

INSPECTION:
 Use Group: **A-3** Type: **SB**

300 PERMIT ISSUED WITH REQUIREMENTS

Signature: _____

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 07/06/2001	Zoning Approval	
------------------------	---------------------------------	------------------------	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/18/01	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
--	--	---	--

9/July/01 Called design prof. regarding stairs. Will make correction to plans

18/July/01 Received new plans

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$150,000.00 Plan Review # 851/01

Fee: \$24.00 Date: 9 July 2001

Building Location: 47 Alice ST. Lot #12 CBL: 386A-10-017

Building Description: Single Family dwelling/private garage

Reviewed By: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 5B

Numerals indicated in parenthesis are applicable code sections of the 1999 Edition of the BOCA National Building Code. The plan review accomplished as indicated in this record is limited to those code sections specifically identified herein. This record references commonly applicable code sections with due regard for the amount and type of detailed information which is typically found on construction documents for one and two family dwellings. It does not reference all code provisions, which may be applicable to specific buildings. This record is designed to be used only by those who are knowledgeable and capable of exercising competent judgment in evaluating construction documents for code compliance.

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0 118.0
2	Before placing concrete for foundation you shall call this office for a setback inspection	111.0
3	Waterproofing and damp proofing shall comply with section 1813.0	1813.0
4.	Guardrail & handrails shall comply with sections 1021 & 1022.0	1021.0 1022.0
5.	STAIR CONSTRUCTION shall comply with Sec. 1014.0	1014.0
6.	Sleeping room egress or rescue windows shall comply with section 1010.4	1010.4
7.	Smoke detectors shall comply with Sec. 920.22	920.22
8.	All Fastening shall comply with section table 2305.2	2305.2
9.	Safety glazing shall comply with Sec. 2406.0	2406.0
10.	Flashing shall comply with section 1406.3.10	1406.3.10
11.	Bridging shall comply with section 2305.16	2305.16
12.	Paraling cutting and notching shall comply with section 2305.0	2305.0
13.		

BUILDING PERMIT REPORT

DATE: 9 July 2001 ADDRESS: 47 Alice Court (Lot 17) CBL: 386A-B-017

REASON FOR PERMIT: To Construct a 28'x34' Single Family dwelling/garage

BUILDING OWNER: Donata R. Nelson

PERMIT APPLICANT: CONTRACTOR CBRN INC.

USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 150,000. PERMIT FEES: 924.60

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *5, *13, *16, *20, *28, *30, 35, *26, *11, # 32 corrected

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- 3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- 5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- 6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- 9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- 11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7) **R-3 (ONE & TWO FAMILY DWELLINGS) GUARD HEIGHT IS 36" MINIMUM.**
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- 13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0) Received New Plans - B
- 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- 15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
- 16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

7/11

- A20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 29. All requirements must be met before a final Certificate of Occupancy is issued.
- X 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements. *All previous requirements and conditions are still in force!*
- 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- 34. Bridging shall comply with Section 2305.16.
- X 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- X 36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

[Signature]
 P. Schmidt, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval**

...THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

Foundations (Chapter 18)

Wood Foundation (1808)

NO Design
NA Installation

Footings (1807.0)

- Depth below (outside) grade 4' minimum; but below frost line except for insulated footings.
- NA Insulated footing provided
- Soil bearing value (table 1804.3)
- Footing width
- Concrete footing (1810.0) .3.1, 3.2
- _____
- _____
- _____
- _____
- _____

Foundation Walls

- Design (1812.1)
- Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- Water proofing and damp proofing Section 1813
- Sill plate (2305.17)
- Anchorage bolting in concrete (2305.17)
- Columns (1912)
- Crawl space (1210.2) Ventilation
- Crawl opening size (1210.2.1)
- Access to crawl and attic space (1211.0)
- _____

Floors (Chapter 16-23)

- Joists - Non sleeping area LL40PSF (Table - 1606)
- Joists - Sleeping area LL30PSF (Table - 1606)
- Grade
- Spacing
- Span
- Girder 4" bearing 2305.6.1

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~SA~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SA~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANCS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- ~~_____~~ Roof rafters - Design (2305.15) spans
- ~~_____~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- _____ Roof trusses (2313.3.1)
- _____
- _____
- _____
- _____
- _____

Roof Coverings (Chapter 15)

- ~~_____~~ Approved materials (1404.1)
- ~~_____~~ Performance requirement (1505)
- ~~_____~~ Fire classification (1506)
- ~~_____~~ Material and installation requirements (1507)
- ~~_____~~ Roof structures (1510.0)
- ~~_____~~ Type of covering (1507)

**Chimneys and Fireplaces
BOCA Mechanical/1993**

- ~~59~~ Masonry (1206.0)
- ~~12~~ Factory - built (1205.0)
- ~~59~~ Masonry fireplaces (1404)
- ~~12~~ Factory - built fireplace (1403)
- ~~59~~ NFPA 211

**Mechanical
1993 BOCA Mechanical Code**

- _____
- _____
- _____
- _____
- _____
- _____
- _____

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	X
Floor live load non sleeping	<u>40 PSE</u>	X
Roof live load	<u>42 PSF</u>	X
Seismic Zone	<u>C</u>	X
Weathering area	<u>S</u>	X
Frost line depth	<u>4' MIN</u>	X
Exterior balconies	<u>60 PSF</u>	X
Decks	<u>42 PSF</u>	X
Guardrails & Handrails	<u>200 Live Load</u>	X

Glazing (Chapter 24)

- ~~SA~~ Labeling (2403.1)
- ~~SA~~ Louvered window or jalousies (2403.5)
- ~~SA~~ Human impact loads (2406.0)
- ~~SA~~ Specific hazardous locations (2406.2)
- ~~SA~~ Sloped glazing and skylights (2405)
- ~~SA~~ Safety glazing (2406.0)

Private Garages (Chapter 4)

- ~~SA~~ General (407)
- ~~SA~~ Beneath rooms (407.3)
- ~~SA~~ Attached to rooms (407.4)
- ~~SA~~ Door sills (407.5)
- ~~SA~~ Means of egress (407.8)
- ~~SA~~ Floor surface (407.9)

Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- Treads (1014.6) 10" min.
- Riser (1014.6) 7 3/4" max.
- Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~NA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

**Dwelling Unit Separation
Table 602**

~~NA~~

Electrical
NFPA # ~~7~~

GRANT HAYS ASSOCIATES

ARCHITECTURE ♦ INTERIOR DESIGN

MEMO

DATE: July 9, 2001
TO: Sam Hofses, City of Portland Code Enforcement
FROM: Mike Hays
RE: Nelson Residence, 17 Alice Court, Portland, Maine
CC: file

Per our telephone discussion today, the drawings for the above referenced project shall be revised to show 7.75" maximum risers and 10" minimum treads at all stairs for all levels including the basement.

We shall submit update drawings for your records by July 13, 2001.

Thank you for your assistance.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 47 Alice Court (Lot #17)

Total Square Footage of Proposed Structure <u>3500 +/-</u>	Square Footage of Lot <u>24735</u>
---	---------------------------------------

Tax Assessor's Chart, Block & Lot Chart# <u>386A</u> Block# <u>B</u> Lot# <u>17</u>	Owner: <u>Donata R. Nelson</u> <u>37 Morse St.</u> <u>Portland, Me 04103</u>	Telephone: <u>773-8256</u>
--	--	-------------------------------

Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone:	Cost Of Work: <u>\$150,000.00</u> Fee: <u>\$954.00</u>
-------------------------------------	--------------------------------------	---

Current use: Land Site plan 2001-0140

If the location is currently vacant, what was prior use: Foundation

Approximately how long has it been vacant: _____

Proposed use: new SIF 28' x 34' Colonial

Project description:
01-0677 is also pending for foundation

Contractor's name, address & telephone: <u>CBRN Inc.</u> <u>37 Morse St.</u> <u>Portland, Me 04103</u>	<u>207 838-8256</u>
Who should we contact when the permit is ready: <u>Bob Nelson + call</u>	
Mailing address: <u>CBRN Inc</u> <u>37 Morse St</u> <u>Portland, Me 04103</u>	Phone: _____

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>7-6-01</u>
--	---------------------

This is not a permit, you may not commence ANY work until the permit is issued

To: Sam Hoffses

From: Dmata Nelson
CBRN Inc

Attached are the corrected plans for
Nelson- 47 Alice Ct, LOT 17
Auburn Pines Subdivision.

The stairs needed to be corrected

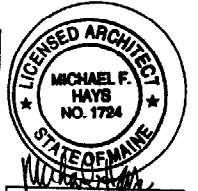
Thanks

Dmata Nelson

~~18/July/01~~
OK

\$

REPRODUCTION OR MISUSE OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM GRANT HAYS ASSOCIATES IS PROHIBITED.



REVISIONS

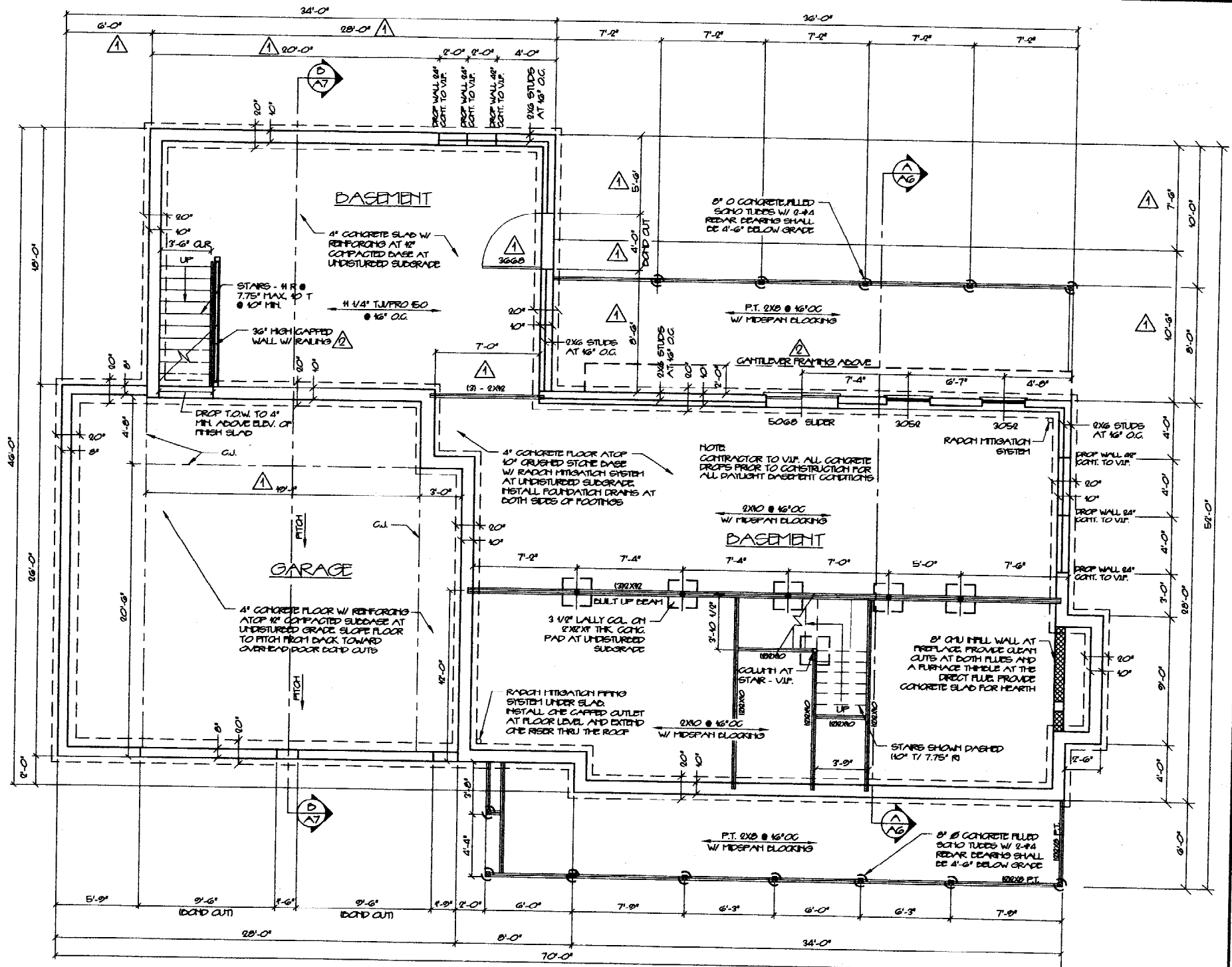
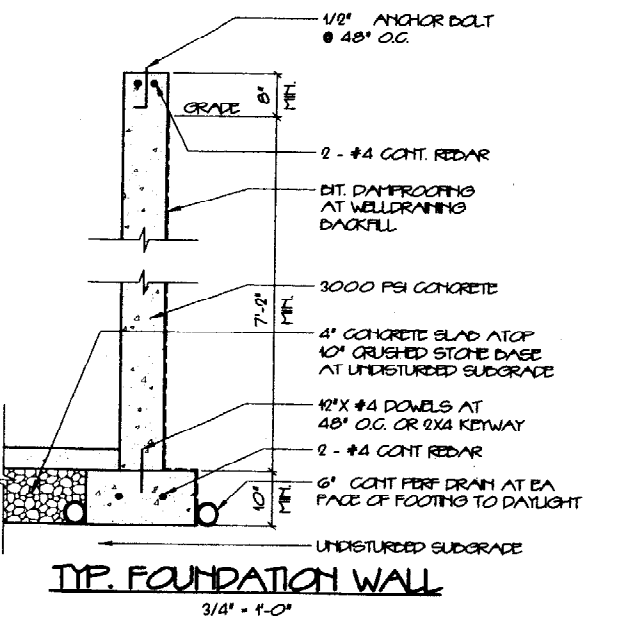
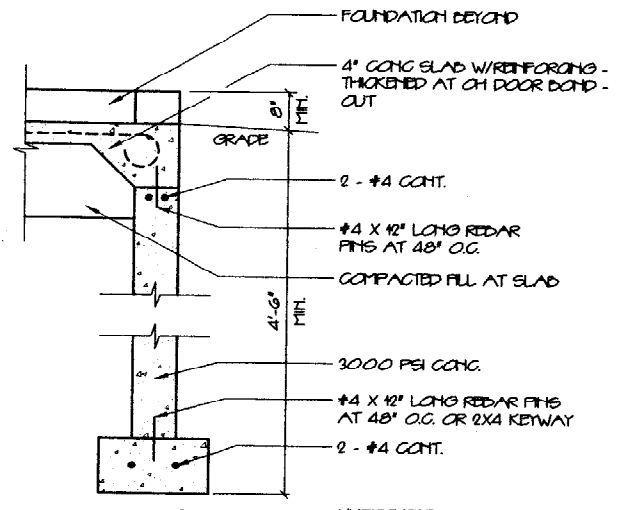
1	6-5-01
2	6-5-01

NELSON RESIDENCE
 LOT #17 ALICE COURT
 PORTLAND, MAINE

GRANT HAYS ASSOCIATES
 ARCHITECTURE
 INTERIOR DESIGN
 P.O. BOX 8179 FALMOUTH, MAINE 04105
 (207) 871-5900 (207) 871-9308

FOUNDATION PLAN,
 NOTES AND DETAILS

SCALE AS NOTED
 DATE 12 JULY 01
 DRAWN BY MFH/SAM
 JOB NO. 053001
 DRAWING NO. **A-1**



- GENERAL NOTES**
- ALL WORK SHALL COMPLY TO LOCAL AND STATE LAWS, ORDINANCES, AND PREVALENT EDITIONS OF ADOPTED BUILDING CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS FOR THE WORK.
 - THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER THE ARCHITECT HAS RESOLVED THE DISCREPANCY. CONTRACTOR SHALL REVIEW AND VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK IN ANY GIVEN AREA.
 - WORK WITH GIVEN DIMENSIONS AND LARGE SCALE DRAWINGS. DO NOT SCALE THE DRAWINGS AS THE REPRODUCTIVE PROCESS TENDS TO CAUSE SLIGHT DISCREPANCIES IN SCALE ACCURACY.
 - THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION ACTIVITIES, WHICH SHALL BE CARRIED OUT IN A NEAT, CLEAN, AND SAFE MANNER. ALL CONSTRUCTION WASTE SHALL BE REMOVED FROM THE SITE DURING SO NOT ALLOWED LEAVE WORK AREA IN A CLEAN, SAFE CONDITION AT THE END OF EACH DAYS ACTIVITIES.

- FOUNDATION NOTES**
- ALL CONCRETE SHALL BE 3000 PSI AT VERTICAL WALLS AND INTERIOR SLABS. EXTERIOR SLABS EXPOSED TO WEATHER SHALL BE 3500 PSI.
 - DO NOT PLACE CONCRETE IN WET CONDITIONS OR ON FROZEN SUBSTRATE.
 - SOIL BEARING CAPACITY IS ASSUMED TO BE 2000 PSF. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF UNSATISFACTORY SOIL CONDITIONS PRIOR TO FORMING FOUNDATION.
 - FOOTINGS, WALLS, AND STRUCTURES SHALL HAVE CONTINUOUS STEEL REBAR REINFORCING AS INDICATED ON THE DRAWINGS.
 - FOUNDATION WALLS SHALL BE KEPT INTO CONTINUOUS FOOTINGS WITH DEVELOPED 2X4 PROFILE OR WITH 2" #4 DOWELS AT 48" O.C.
 - FULL FOUNDATION WALLS SHALL HAVE CONTINUOUS ASPHALTIC EMULSION MOISTURE PROOF COMPOUND APPLIED TO ALL SURFACES BELOW FINISH GRADE.
 - FULL FOUNDATION WALLS SHALL HAVE CONTINUOUS SILT PROOF DRAINAGE PIPE AT EACH SIDE OF FOOTING AND SHALL DRAIN TO DAYLIGHT AT LOWER ELEVATION THAN THE BOTTOM OF FOOTING. MINIMUM DRAINAGE PIPE SHALL SLOPE 1/8" PER LINEAR FOOT.

- FRAMING NOTES**
- THE LOCATION OF ALL DOOR FRAMES NOT DIMENSIONED SHALL BE 6" FROM PERPENDICULAR WALL.
 - ALL FRAMING UNDER SHALL BE KILN DRIED, NUMBER 1 GRADE SPT OR BETTER. MOISTURE CONTENT SHALL NOT EXCEED 8%. ALL EXTERIOR AND INTERIOR TRIM SHALL BE PRIMED PRIOR TO FINISH PAINTING.
 - ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESERVE PRESERVATIVE TREATED.
 - HEADERS AND BEAMS SHALL BE COMPOSED OF ALTERNATE 2X AND 1 1/2" OX FLYWOOD IN THE SIZES INDICATED ON THE DRAWINGS. HEADERS SHALL HAVE A MINIMUM BEARING OF 3" AT EACH END.

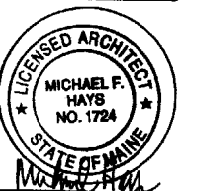
SPANS UP TO 3'-6"	3 - 2X6'S
SPANS 3'-6" TO 5'-6"	3 - 2X6'S
SPANS 5'-6" TO 8'-6"	3 - 2X6'S
SPANS OVER 8'-6"	AS NOTED
 - GANTLEVERED FRAMING SHALL NOT EXTEND BEYOND THE OUTSIDE BEARING LINE BY MORE THAN ONE THIRD THE TOTAL FRAMING DISTANCE.
 - ALL TRUSSES AND LAPHTATED TYPE BEAMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.
 - ALL EXTERIOR WALLS SHALL BE FRAMED WITH 2X6 STUDS AT 16" O.C. ALL LOAD BEARING INTERIOR WALLS SHALL BE FRAMED WITH 2X4 STUDS AT 16" O.C. EXCEPT AT PLUMBING STACK WALLS WHICH MAY BE 2X6 FRAMING AS REQUIRED.
 - ALL SPANNALED WOOD COLUMNS SHALL BE SIZED AS INDICATED ON THE DRAWINGS.
 - STEEL BEAMS SHALL HAVE A MINIMUM BEARING OF 3" AT EACH SUPPORT POINT, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

CONSTRUCTION SET No.

New Plans 15/11/01

CONSTRUCTION
SET No.

COPYRIGHT
REPRODUCTION OR MISUSE OF
THIS DOCUMENT WITHOUT
WRITTEN PERMISSION FROM
DRAFT HAYS ASSOCIATES IS
PROHIBITED.



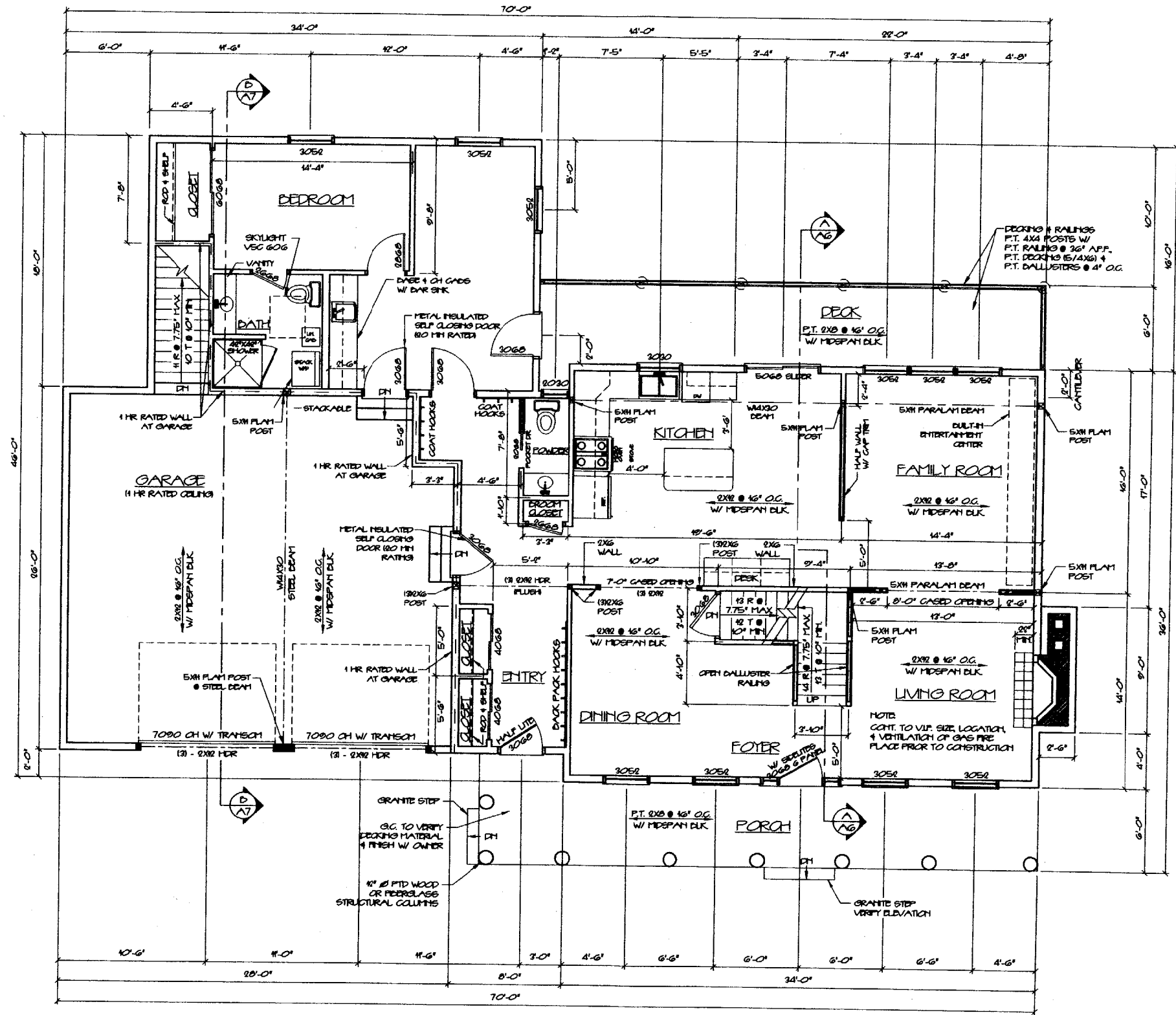
REVISIONS

NELSON RESIDENCE
LOT #17 ALICE COURT
PORTLAND, MAINE

HAYS
ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH, MAINE 04105
(207) 871-5900
(207) 871-9300

FIRST FLOOR PLAN
DRAWING TITLE

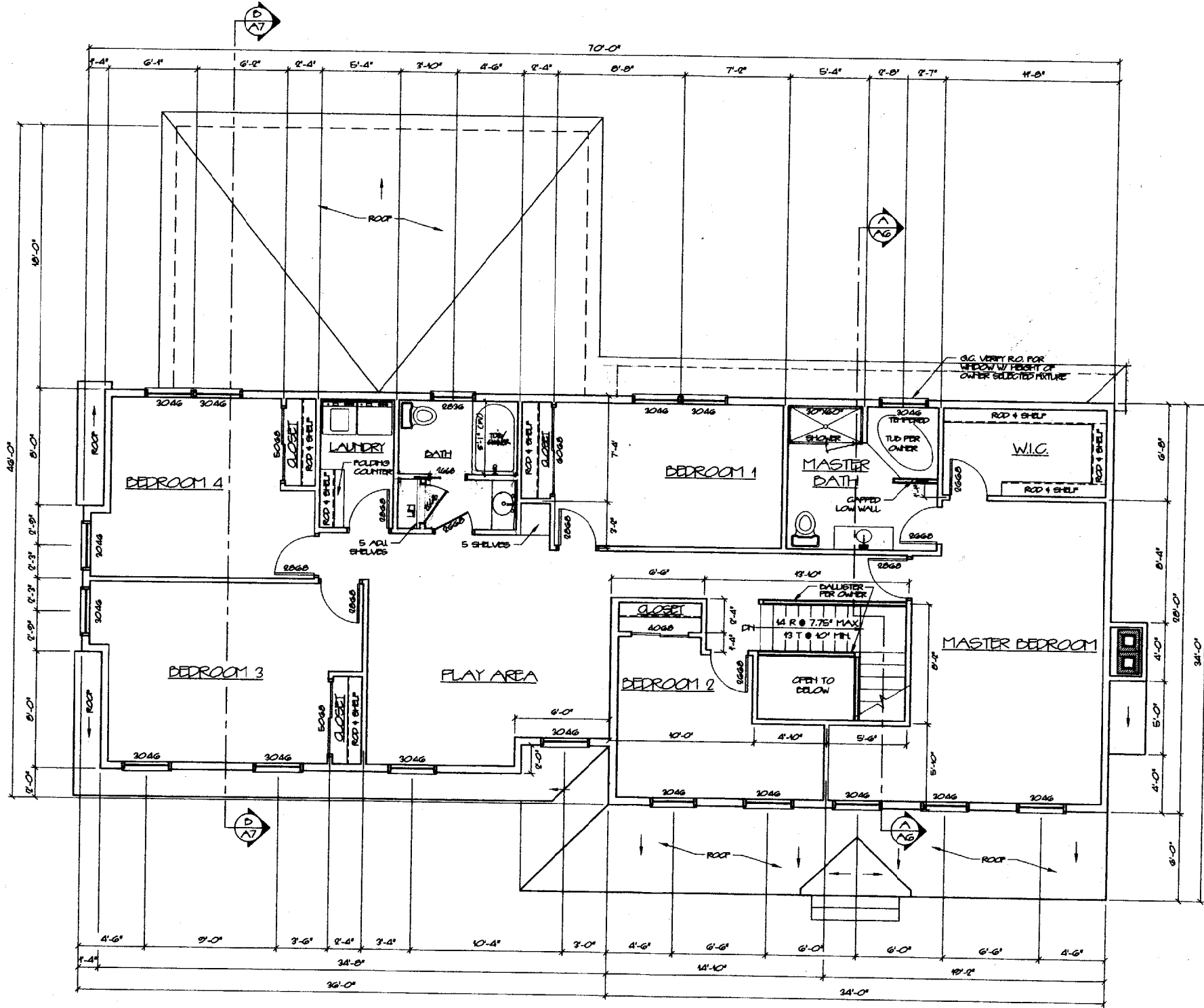
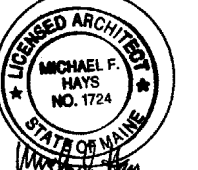
SCALE AS NOTED
DATE 12 JULY 01
DRAWN BY MFM/SAM
JOB NO. 053001
DRAWING NO.
A-2



FIRST FLOOR PLAN
1/4" = 1'-0"

CONSTRUCTION
SET No.

COPYRIGHT
REPRODUCTION OR USE OF
THIS DOCUMENT WITHOUT
WRITTEN PERMISSION FROM
GRAFF HAYS ASSOCIATES IS
PROHIBITED



SECOND FLOOR PLAN
1/4" = 1'-0"

GRAFF HAYS ASSOCIATES ARCHITECTS

NELSON RESIDENCE
LOT #17 ALICE COURT
PORTLAND, MAINE

ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 6178 FALMOUTH, MAINE 04106
(207) 871-5000
(207) 871-9308

SECOND FLOOR PLAN
DRAWING TITLE

SCALE AS NOTED
DATE 12 JULY 01
DRAWN BY MFM/SAM
JOB NO. 053001
DRAWING NO.

A-3

COPYRIGHT
REPRODUCTION OR MISUSE OF
THIS DOCUMENT WITHOUT
WRITTEN PERMISSION FROM
GRANT HAYS ASSOCIATES IS
PROHIBITED.



REVISIONS

NELSON RESIDENCE
LOT #17 ALICE COURT
PORTLAND, MAINE

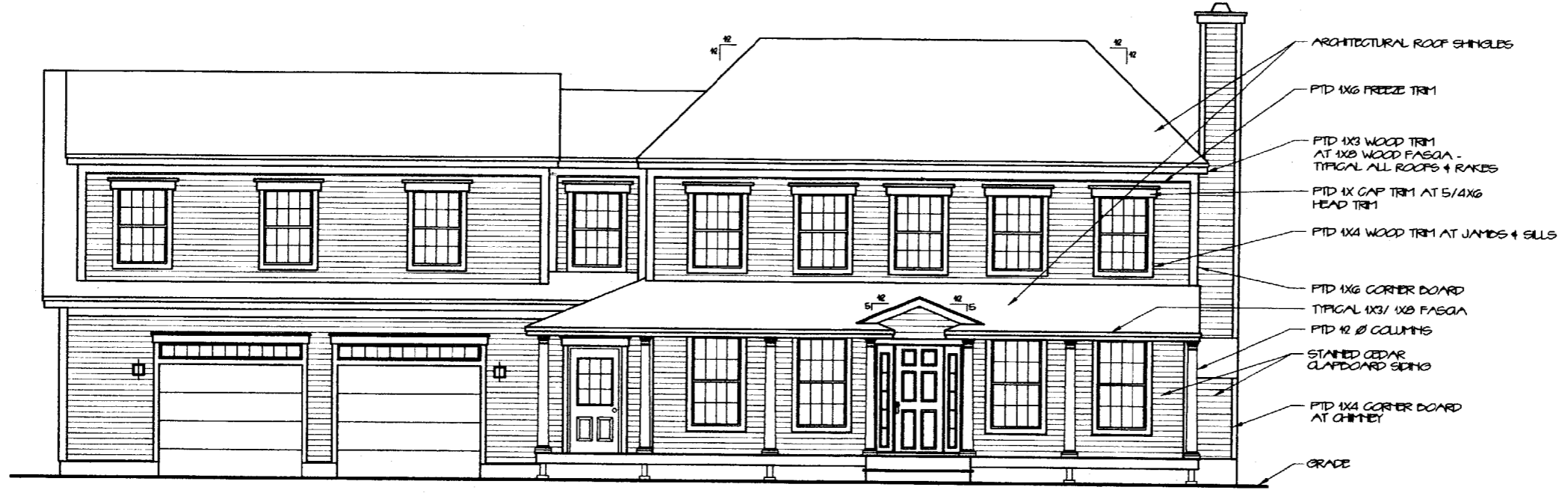
**ARCHITECTURE
INTERIOR DESIGN**
P.O. BOX 6179 FALMOUTH, MAINE 04105
(207) 871-5600 (207) 871-8308

ELEVATIONS
DRAWING TITLE

SCALE AS NOTED
DATE 12 JULY 01
DRAWN BY MFM/SAM
JOB NO. 053001
DRAWING NO. **A-4**

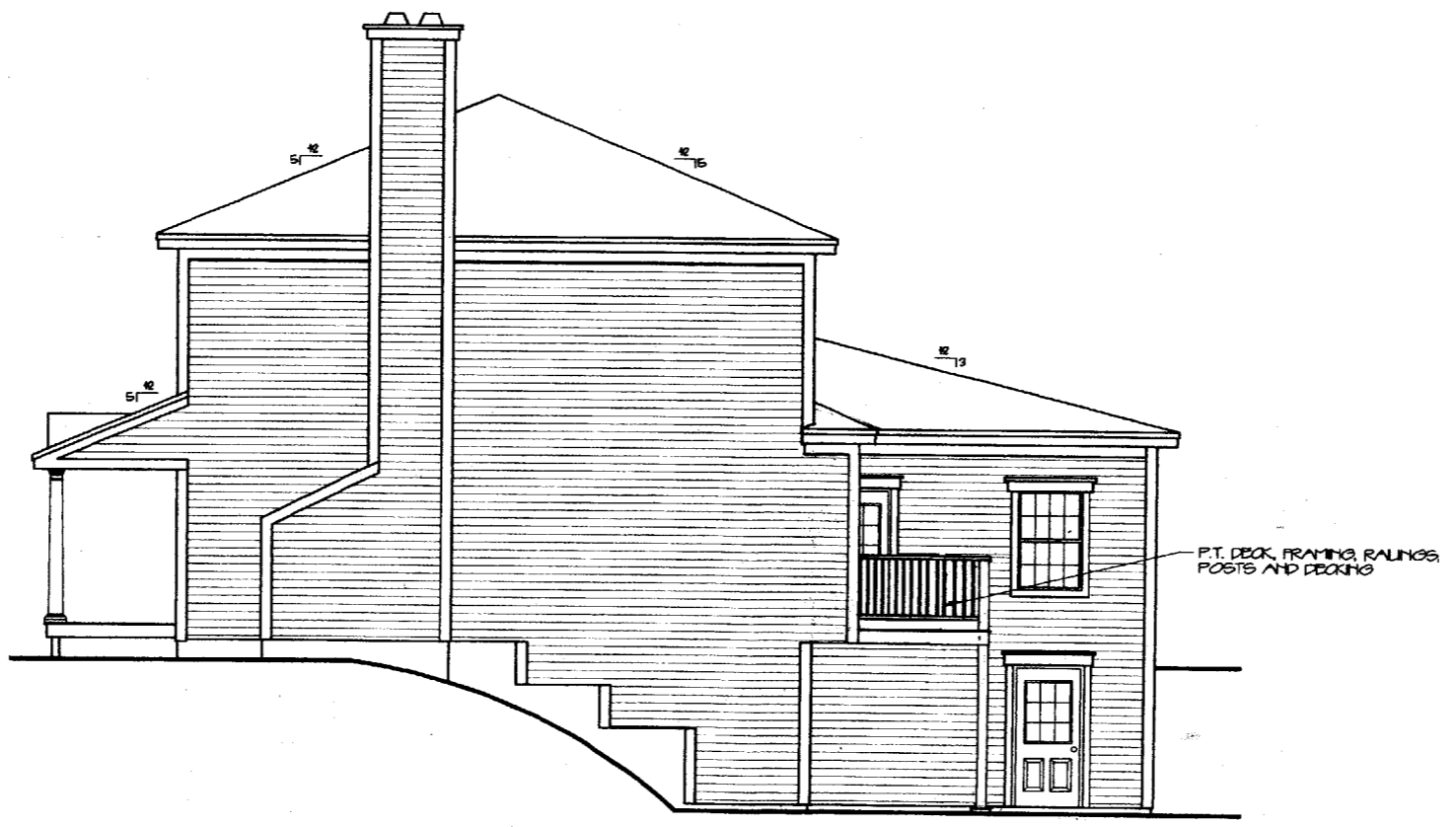
**CONSTRUCTION
SET No.**

TYPICAL EXTERIOR MATERIALS



- ARCHITECTURAL ROOF SHINGLES
- PTD 1X6 FREEZE TRIM
- PTD 1X3 WOOD TRIM AT 1X2 WOOD FASGIA - TYPICAL ALL ROOFS & RAKES
- PTD 1X GAP TRIM AT 5/4X6 HEAD TRIM
- PTD 1X4 WOOD TRIM AT JAMBS & SILLS
- PTD 1X6 CORNER BOARD
- TYPICAL 1X3/ 1X2 FASGIA
- PTD 12 @ COLUMNS
- STAINED CEDAR CLAPBOARD SIDING
- PTD 1X4 CORNER BOARD AT CHIMNEY
- GRADE

FRONT ELEVATION
1/4" = 1'-0"



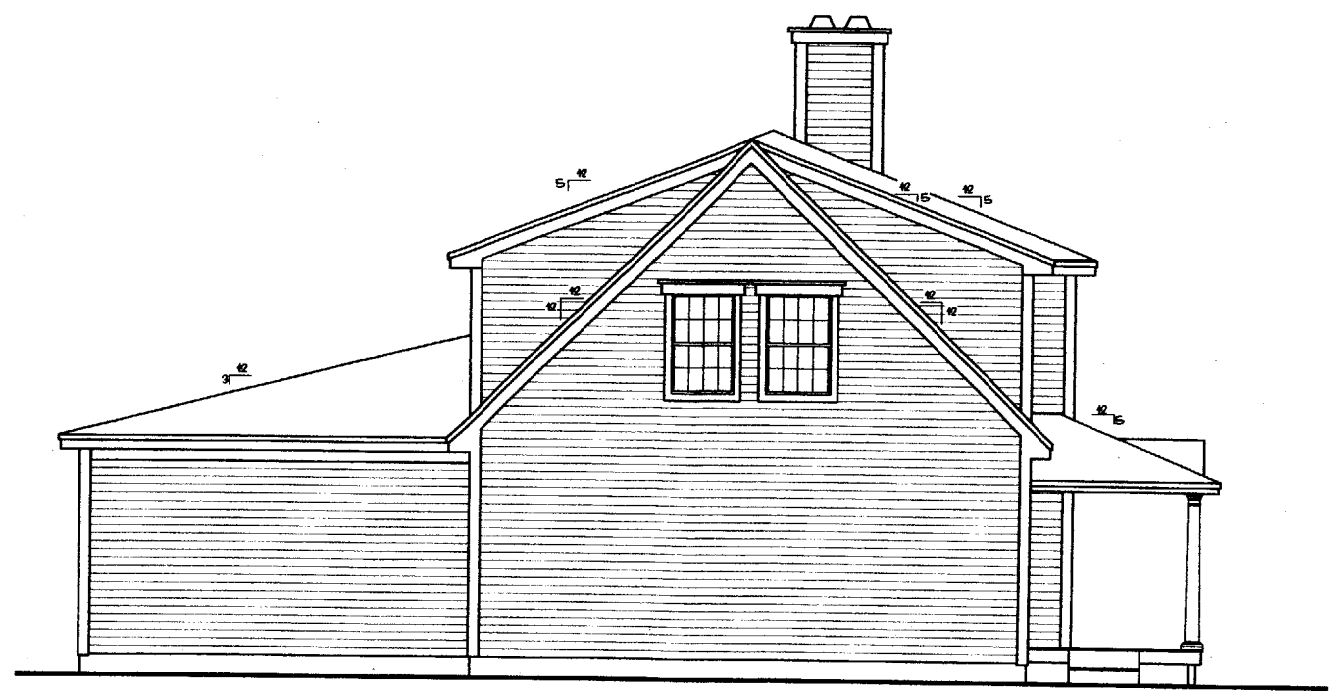
P.T. DECK FRAMING, RAILINGS,
POSTS AND DECKING

RIGHT ELEVATION
1/4" = 1'-0"

CONSTRUCTION
SET No.

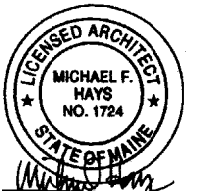


REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

REPRODUCTION OR MISUSE OF
THIS DOCUMENT WITHOUT
WRITTEN PERMISSION FROM
GRANT HAYS ASSOCIATES IS
PROHIBITED



REVISIONS

NELSON RESIDENCE
LOT #17 ALICE COURT
PORTLAND, MAINE

ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 8179 FALMOUTH, MAINE 04105
(207) 871-5900
(207) 871-9308

ELEVATIONS
DRAWING TITLE

SCALE AS NOTED

DATE 12 JULY 01

DRAWN BY MPH/SAM

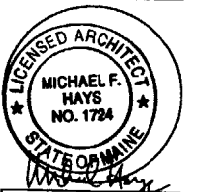
JOB NO. 053001

DRAWING NO.

A-5

GRANT HAYS ASSOCIATES

COPYRIGHT
REPRODUCTION OR MISUSE OF
THIS DOCUMENT WITHOUT
WRITTEN PERMISSION FROM
GRANT HAYS ASSOCIATES IS
PROHIBITED



REVISIONS

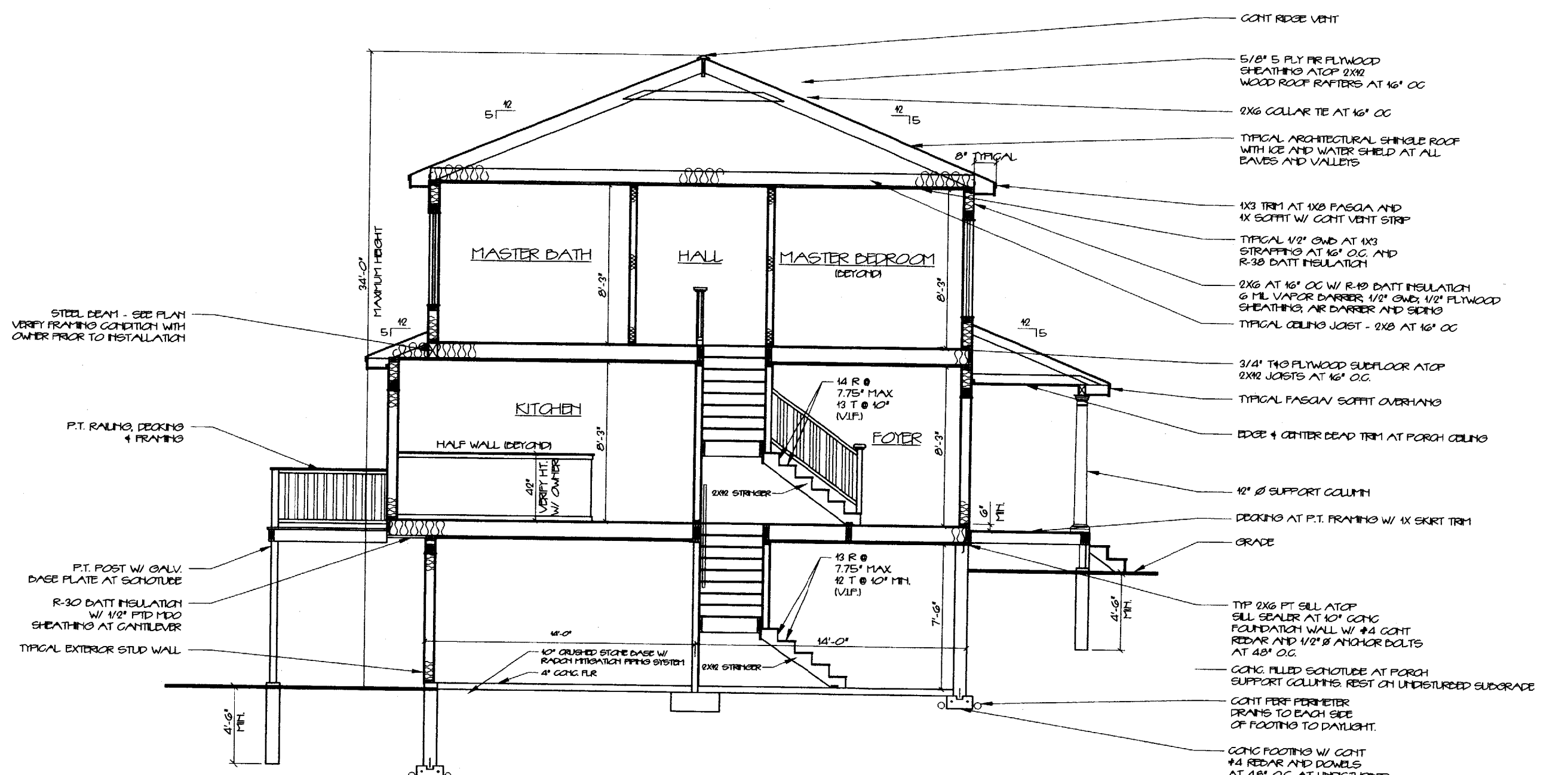
--	--

NELSON RESIDENCE
LOT #17 ALICE COURT
PORTLAND, MAINE

GRANT HAYS
ARCHITECTURE
INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH, MAINE 04105
FALMOUTH, MAINE
(207) 871-9900
(207) 871-9908

BUILDING SECTION
DRAWING TITLE

SCALE	AS NOTED
DATE	12 JULY 01
DRAWN BY	MFH/SAM
JOB NO.	053001
DRAWING NO.	A-6



BUILDING SECTION A
3/8" = 1'-0"

- CONT RIDGE VENT
- 5/8" 5 PLY FIR FLYWOOD SHEATHING ATOP 2X12 WOOD ROOF RAFTERS AT 16" OC
- 2X6 COLLAR TIE AT 16" OC
- TYPICAL ARCHITECTURAL SHINGLE ROOF WITH ICE AND WATER SHIELD AT ALL EAVES AND VALLEYS
- 1X3 TRIM AT 1X8 FASCIA AND 1X SCOFFIT W/ CONT VENT STRIP
- TYPICAL 1/2" GWD AT 1X3 STRAPPING AT 16" OC AND R-38 BATT INSULATION
- 2X6 AT 16" OC W/ R-19 BATT INSULATION 6 MIL VAPOR BARRIER 1/2" GWD, 1/2" FLYWOOD SHEATHING, AIR BARRIER AND SIDING
- TYPICAL CEILING JOIST - 2X8 AT 16" OC
- 3/4" T40 FLYWOOD SUBFLOOR ATOP 2X12 JOISTS AT 16" O.C.
- TYPICAL FASCIA SCOFFIT OVERHANG
- EDGE & CENTER BEAD TRIM AT PORCH CEILING
- 12" Ø SUPPORT COLUMN
- DECKING AT P.T. FRAMING W/ 1X SKIRT TRIM
- GRADE
- TYP 2X6 FT SILL ATOP SILL SEALER AT 10" CONC FOUNDATION WALL W/ #4 CONT REDAR AND 1/2" Ø ANCHOR BOLTS AT 48" O.C.
- CONC. FILLED SCOTCHUD AT PORCH SUPPORT COLUMN. REST ON UNDISTURBED SUBGRADE
- CONT PERF PERIMETER DRAINS TO EACH SIDE OF FOOTING TO DAYLIGHT.
- CONC FOOTING W/ CONT #4 REDAR AND DOWELS AT 48" O.C AT UNDISTURBED SUBGRADE

- STEEL BEAM - SEE PLAN VERIFY FRAMING CONDITION WITH OWNER PRIOR TO INSTALLATION
- P.T. RAILING, DECKING & FRAMING
- P.T. POST W/ GALV. BASE PLATE AT SCOTCHUD
- R-30 BATT INSULATION W/ 1/2" PFD MDO SHEATHING AT CANTILEVER
- TYPICAL EXTERIOR STUD WALL

34'-0" MAXIMUM HEIGHT

5' 12"

12 15

8" TYPICAL

12 15

6" MIN.

4'-6" MIN.

7'-6"

14'-0"

14'-0"

4'-6" MIN.

14 R @ 7.75" MAX
13 T @ 10" (V.I.F.)

13 R @ 7.75" MAX
12 T @ 10" MIN. (V.I.F.)

8'-3"

8'-3"

8'-3"

8'-3"

8'-3"

8'-3"

4'-0"

4'-0"

42" VERIFY HT. W/ OWNER

8'-3"

8'-3"

5' 12"

5' 12"

5' 12"

5' 12"

5' 12"

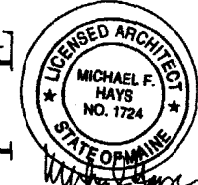
5' 12"

5' 12"

5' 12"

CONSTRUCTION
SET No.

REPRODUCTION OR RESUSE OF
THIS DOCUMENT WITHOUT
WRITTEN PERMISSION FROM
GRANT HAYS ASSOCIATES IS
PROHIBITED



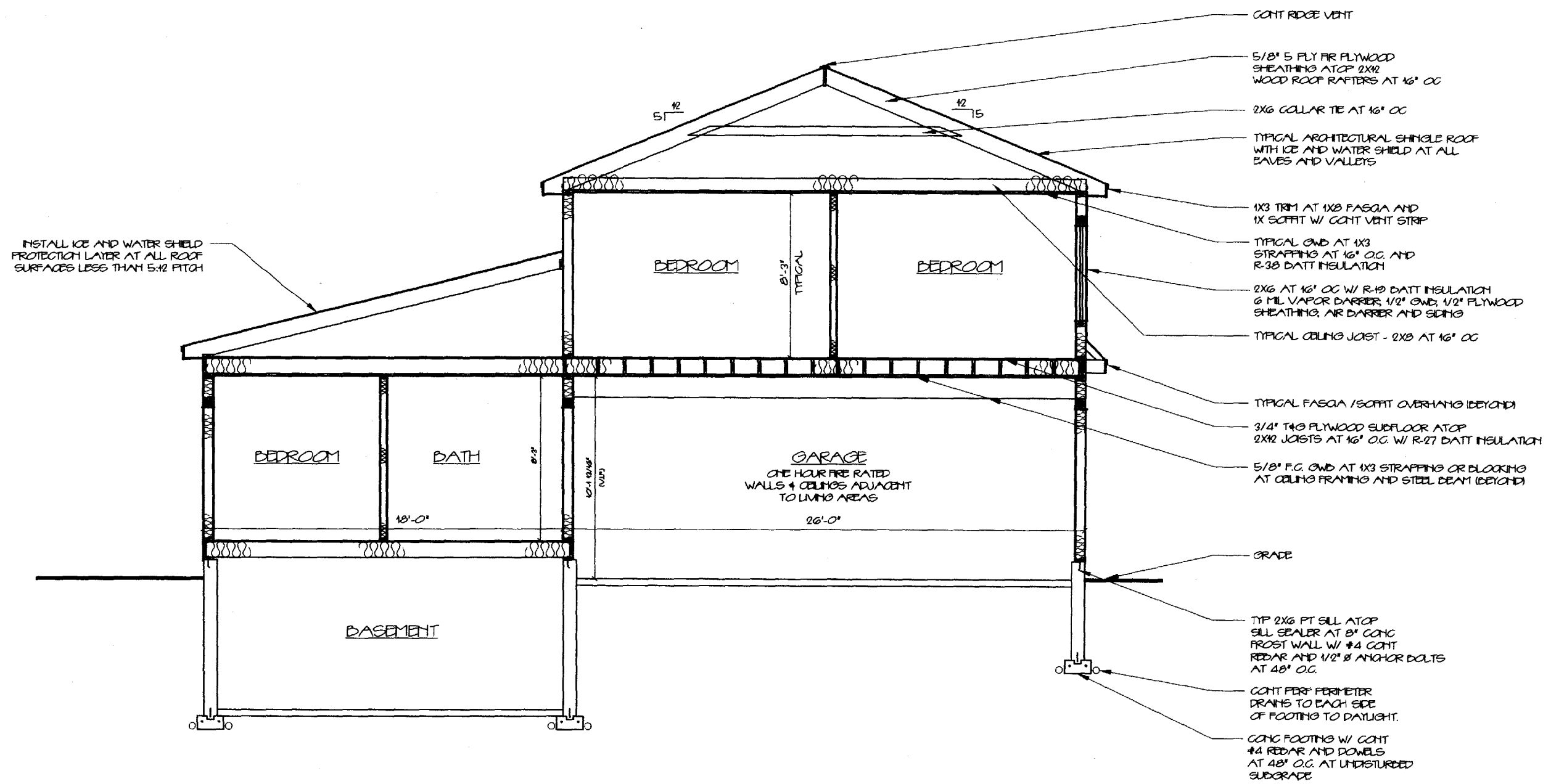
REVISIONS

NELSON RESIDENCE
LOT #17 ALICE COURT
PORTLAND, MAINE

**ARCHITECTURE
INTERIOR DESIGN**
P.O. BOX 6178 FALMOUTH, MAINE 04105
(207) 871-9900

GRANT HAYS ASSOCIATES
BUILDING SECTION
DRAWING TITLE

SCALE AS NOTED
DATE 12 JULY 01
DRAWN BY MFH/SAM
JOB NO. 053001
DRAWING NO. **A-7**



BUILDING SECTION B
3/8" = 1'-0"