

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 01-0677 JUL - 9 2001 Issue Date: CBL: 386 AB017001

| | | | |
|--------------------------------------------------------------|--------------------------------------|--------------------------------------------------------|-------------------------------|
| Location of Construction: 47 Alice Court (lot #17) | Owner Name: Nelson, Donata | Owner Address: 37 Morse Street | Phone: 207-773-8256 |
| Business Name: n/a | Contractor Name: CBRN Inc. | Contractor Address: 37 Morse Street Portland | Phone: 2078388256 |
| Lessee/Buyer's Name: n/a | Phone: n/a | Permit Type: Single Family | Zone: R-2 |

| | | | | |
|----------------------------|----------------------------------------------------------------|--------------------|-------------------------------------|---------------------------|
| Past Use: Vacant | Proposed Use: Single Family Dwelling/Foundation Only | Permit Fee: | Cost of Work: \$17,000.00 | CEO District: 2 |
|----------------------------|----------------------------------------------------------------|--------------------|-------------------------------------|---------------------------|

| | |
|----------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Proposed Project Description: Build Foundation for Single Family | FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: <input type="checkbox"/> Approved <input type="checkbox"/> Denied Use Group: R-2 Foundation PERMIT ISSUED WITH REQUIREMENTS Signature: [Signature] |
|----------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

| | | |
|-------------------------------|----------------------------------------|------------------------|
| Permit Taken By: gg | Date Applied For: 06/11/2001 | Zoning Approval |
|-------------------------------|----------------------------------------|------------------------|

| | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Panel 2 Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan # 2001-0140 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> OK with conditions Date: 7/6/01 | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature] |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2001-0140
Application I. D. Number

06/11/2001
Application Date

Alice Court (lot #7)
Project Name/Description

Busque Construction
Applicant
14 Outlet Cove Rd , Windham , ME 04062
Applicant's Mailing Address

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

47 - 47 Alice Ct, Portland, Maine
Address of Proposed Site
386A B017001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) Foundation only New SFR

3,100 sf. 24,000 +1-
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|-------------------------------------------------------------|------------------------------------------------------|------------------------------------------------|--------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date _____

DRC Approval Status:

Reviewer **Jay Reynolds**

- Approved **Approved w/Conditions** See Attached Denied

Revised Plan Attached

Approval Date 07/06/2001 Approval Expiration 07/06/2002 Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds 07/06/2001
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

| | | | |
|-------------------------------------------------------------|----------------|----------------------------------------------------|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0140

Application I. D. Number

06/11/2001

Application Date

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47 - 47 Alice Ct, Portland, Maine

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386A B017001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Insp

- 1 The previous building permit issued for this lot on 7/2000 is no longer valid.
- 2 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3 Separate permits shall be required for future decks, sheds, pools, and/or garage.
- 4 Please note that your submitted plot plan does not show an exterior chimney. No such projection is being approved with this Foundation permit.
- 5 This permit is for a FOUNDATION ONLY. A permit shall be required for the rest of construction PRIOR to any of that work being done.

Approval Conditions of DRC

- 1 PRIOR TO CONSTRUCTION, SILT FENCE SHALL BE INSTALLED ALONG THE ENTIRE REAR PROPERTY LINE TO PROTECT THE EXISTING DRAINAGE SYSTEM/DETENTION POND.
- 2 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 Your new street address is now 47 Alice Court, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 6 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 9 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 10 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Insp Copy

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3,100 sf. **24,000 +1-**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date: _____

Insp Approval Status:

Reviewer **Marge Schmuckal**

- Approved Approved w/Conditions See Attached Denied

Approval Date **07/06/2001** Approval Expiration **07/06/2002** Extension to _____ Additional Sheets Attached

Condition Compliance **Marge Schmuckal** **07/06/2001**
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

| | | | |
|-------------------------------------------------------------|----------------|----------------------------------------------------|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issued | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |

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ADDENDUM**

2001-0140

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06/11/2001

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Approval Conditions of Insp

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- 2 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3 Separate permits shall be required for future decks, sheds, pools, and/or garage.
- 4 Please note that your submitted plot plan does not show an exterior chimney. The exterior chimney shall not extend into the required 16' setback no more than 2 feet.
- 5 This permit is for a FOUNDATION ONLY. A permit shall be required for the rest of construction PRIOR to any of that work being done.

Approval Conditions of DRC

- 1 PRIOR TO CONSTRUCTION, SILT FENCE SHALL BE INSTALLED ALONG THE ENTIRE REAR PROPERTY LINE TO PROTECT THE EXISTING DRAINAGE SYSTEM/DETENTION POND.
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- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 Your new street address is now 47 Alice Court, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
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- 9 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 10 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

BUILDING PERMIT REPORT

DATE: 12 June 2001 ADDRESS: 47 Alice Court #12 CBL: 386-AB-012

REASON FOR PERMIT: Foundation only For Single Family dwelling

BUILDING OWNER: Dorata Nelson

PERMIT APPLICANT: CONTRACTOR C B A N I N C.

USE GROUP: CONSTRUCTION TYPE: CONSTRUCTION COST: 17,000.00 PERMIT FEES: 126.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

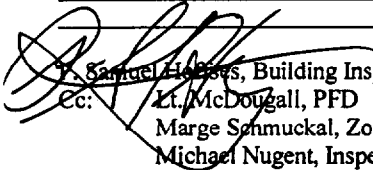
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *4, *35 #32

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

6/11

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
29. All requirements must be met before a final Certificate of Occupancy is issued.
30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
32. Please read and implement the attached Land Use Zoning report requirements. *All conditions and requirements on the attached site development review sheets be met*
33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code. *shall be met*
34. Bridging shall comply with Section 2305.16.
35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
36. All flashing shall comply with Section 1406.3.10.
37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999)
38. *Protection of Public shall comply with sections 3304.0 of the bldg. code, sec. 3310.0 & 3310.1, 3310.2*


 Samuel H. Jones, Building Inspector
 cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

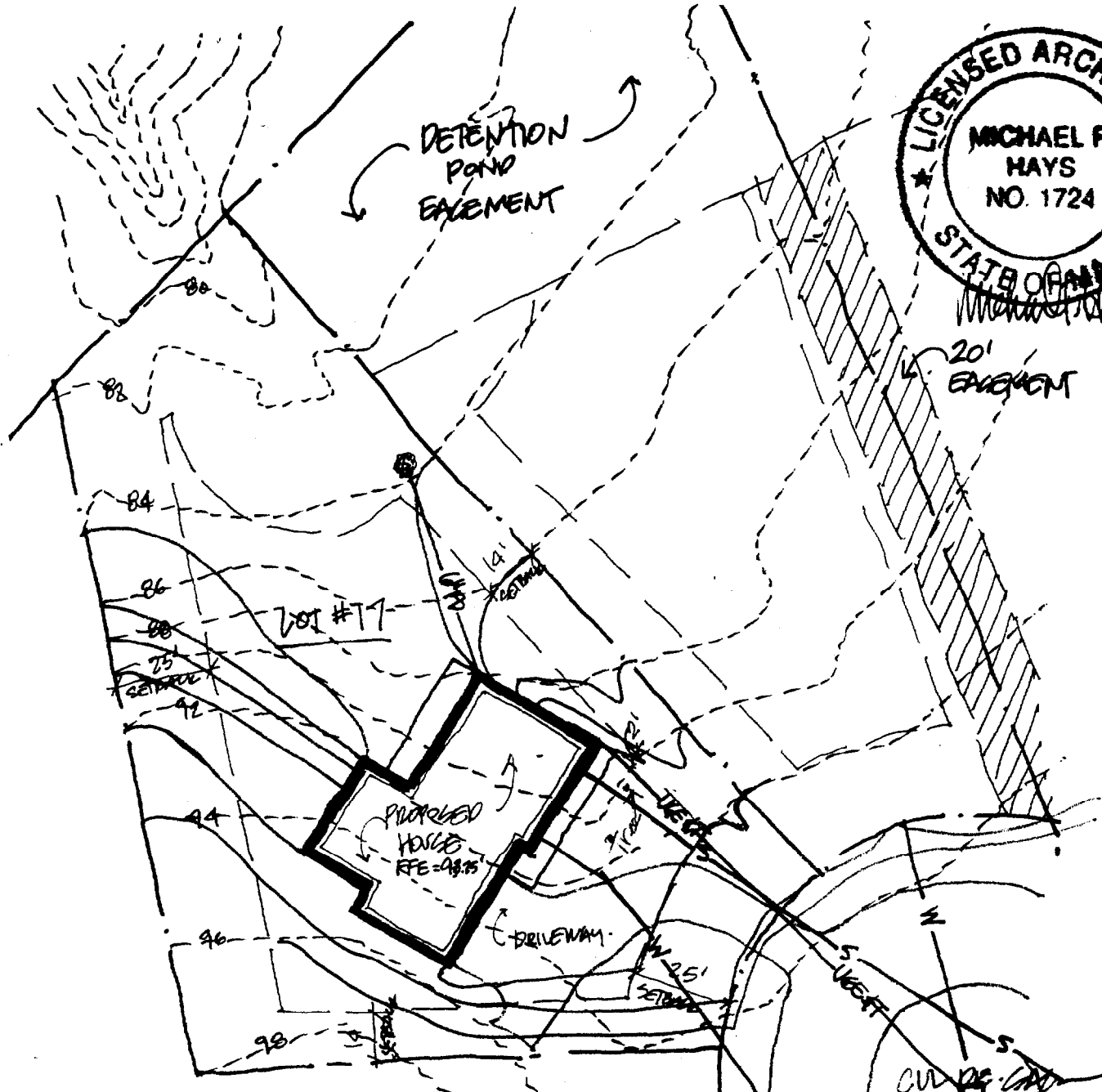
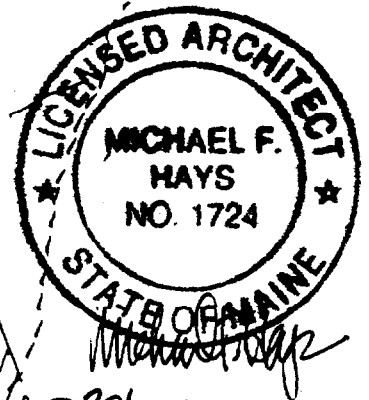
PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**



NELSON RESIDENCE
AUBURN PINES - PORTLAND
PLOT PLAN
 1" = 40' 6-7-01

CITY OF PORTLAND
APPROVED SITE PLAN
 SUBJECT TO DEPARTMENTAL
 CONDITIONS 7-6-01

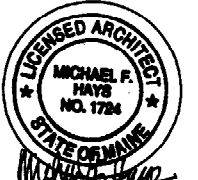
GRANT HAYS ASSOCIATES
 ARCHITECTURE & INTERIOR DESIGN
 P. O. BOX 6179 FALMOUTH, ME 04105
 (207) 871-5900 • fax (207) 871-9308
 DATE 6-8-01 SCALE 40' = 1" JOB NO. NA

JOB TITLE DATE OF APPROVAL
NELSON RESIDENCE - LOT 17

DRAWING TITLE
PLOT PLAN

DRAWING NO.
S-1

REPRODUCTION OR MISUSE OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM GRANT HAYS ASSOCIATES IS PROHIBITED



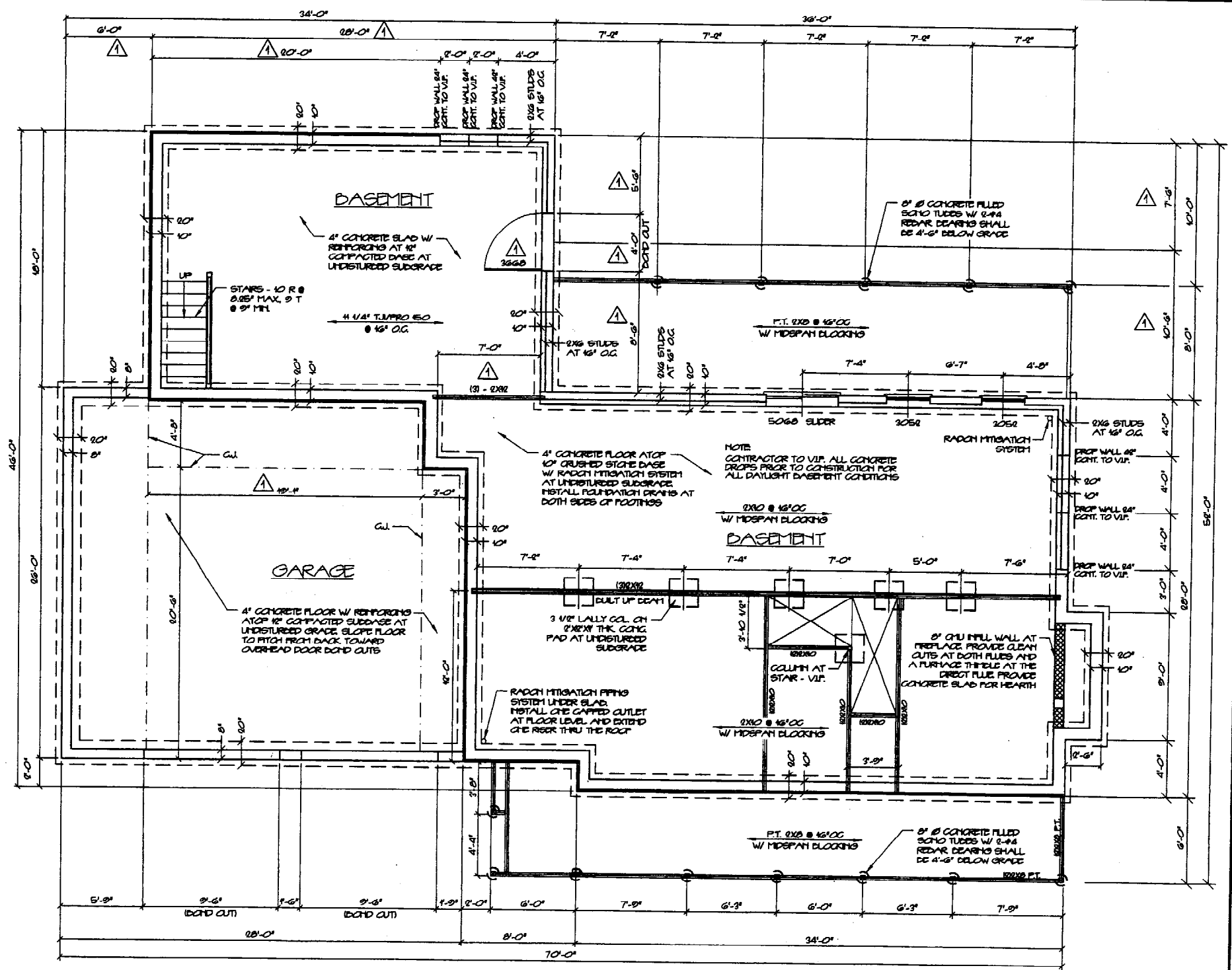
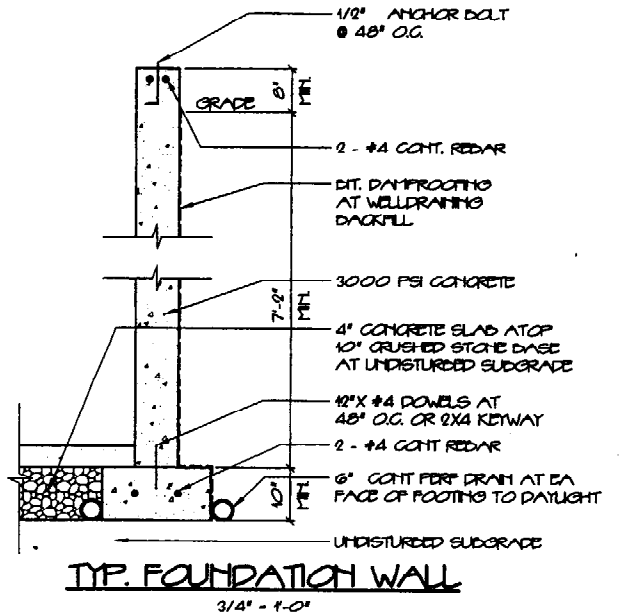
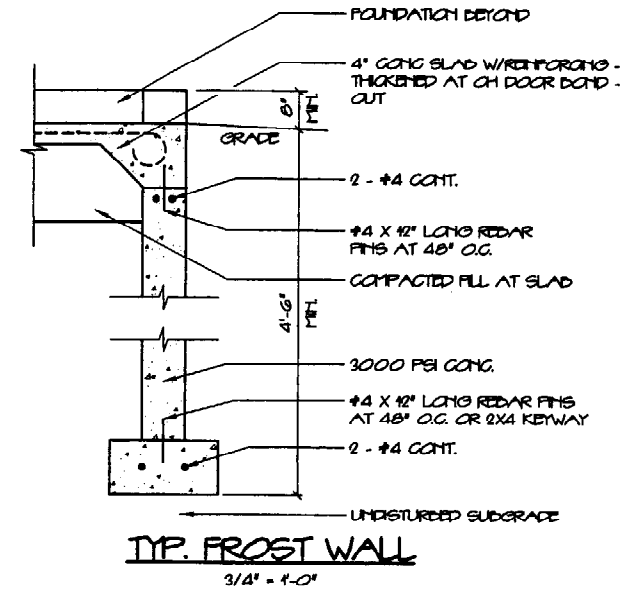
REVISIONS
 6-5-01

NELSON RESIDENCE
 LOT #17 AUBURN PINES
 PORTLAND, MAINE

**ARCHITECTURE
 INTERIOR DESIGN**
 P.O. BOX 6178 FALMOUTH, MAINE 04105
 (207) 871-5800

**FOUNDATION PLAN,
 NOTES AND DETAILS**

SCALE AS NOTED
 DATE 31 MAY 01
 DRAWN BY MHH/SAM
 JOB NO. 053001
 DRAWING NO. **A-1**



GENERAL NOTES

- ALL WORK SHALL CONFORM TO LOCAL AND STATE LAWS, ORDINANCES, AND PREVAILING EDITIONS OF ADOPTED BUILDING CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS FOR THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER THE ARCHITECT HAS RESOLVED THE DISCREPANCY. CONTRACTOR SHALL REVIEW AND VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK IN ANY GIVEN AREA.
- WORK WITH GIVEN DIMENSIONS AND LARGE SCALE DRAWINGS DO NOT SCALE THE DRAWINGS AS THE REPRODUCTIVE PROCESS TENDS TO GAUGE SLIGHT DISCREPANCIES IN SCALE ACCURACY.
- THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION ACTIVITIES, WHICH SHALL BE CARRIED OUT IN A NEAT, CLEAN, AND SAFE MANNER. ALL CONSTRUCTION WASTE SHALL BE REMOVED FROM THE SITE. RUBBISH IS NOT ALLOWED. LEAVE WORK AREA IN A CLEAN, SAFE CONDITION AT THE END OF EACH DAYS ACTIVITIES.

FOUNDATION NOTES

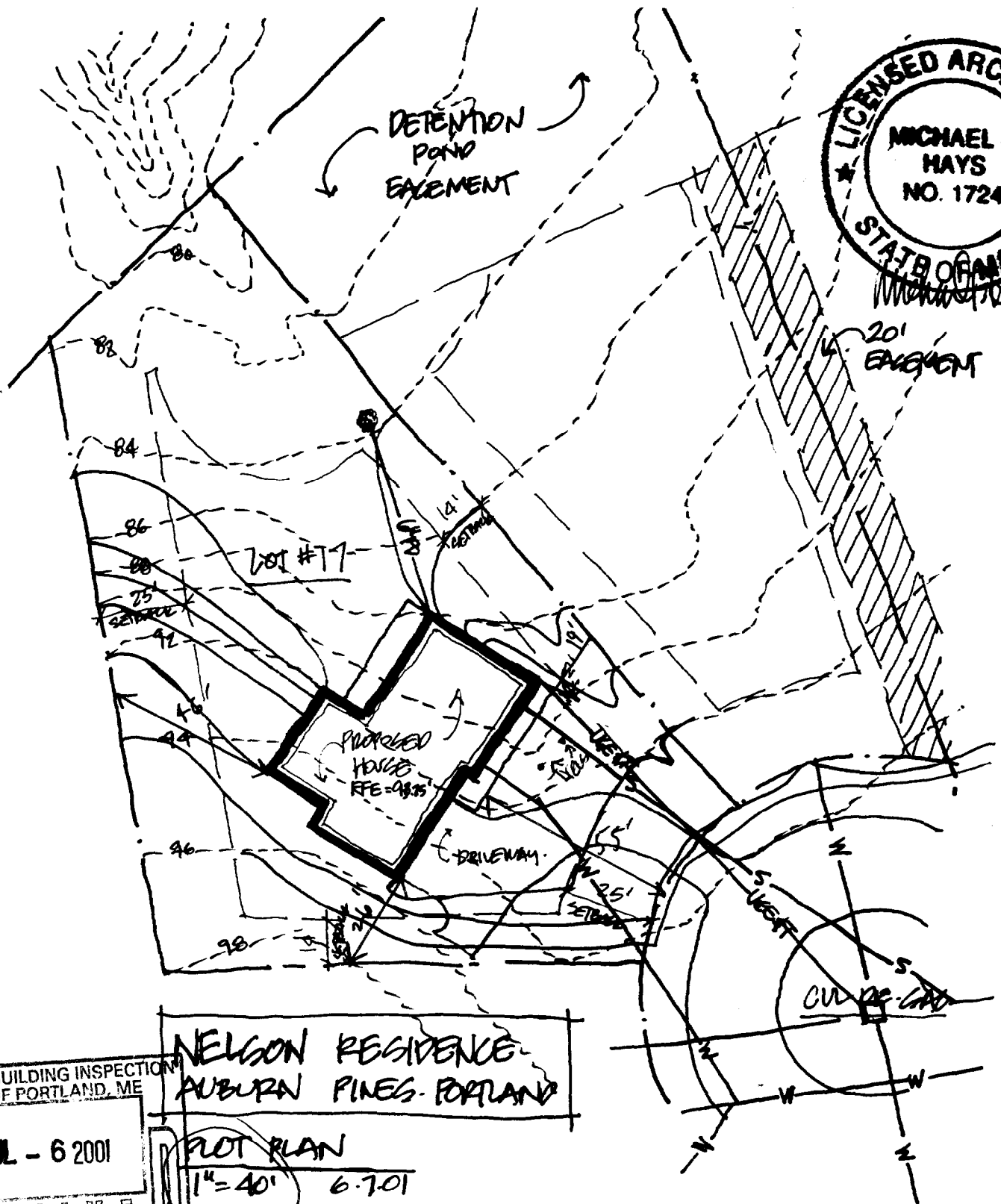
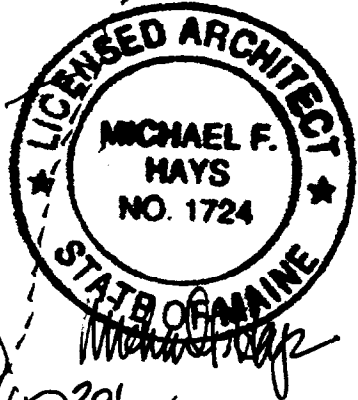
- ALL CONCRETE SHALL BE 3000 PSI AT VERTICAL WALLS AND INTERIOR SLABS. EXTERIOR SLABS EXPOSED TO WEATHER SHALL BE 3500 PSI.
- DO NOT PLACE CONCRETE IN WET CONDITIONS OR ON FROZEN SUBSTRATE.
- SOIL BEARING PRESSURE IS ASSUMED TO BE 3000 PSF. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF UNSUITABLE SOILS CONDITIONS PRIOR TO POURING FOUNDATION.
- FOOTINGS, WALLS, AND SCOTCHES SHALL HAVE CONTINUOUS STEEL REBAR REINFORCING AS INDICATED ON THE DRAWINGS.
- FOUNDATION WALLS SHALL BE KEED INTO CONTINUOUS FOOTINGS WITH DEVELOPED 6X4 PROFILE OR WITH 6" #4 DOWELS AT 48" O.C.
- FULL FOUNDATION WALLS SHALL HAVE CONTINUOUS ASPHALT EMULSION MOISTURE PROOF COMPOUND APPLIED TO ALL SURFACES BELOW FINISH GRADE.
- FULL FOUNDATION WALLS SHALL HAVE CONTINUOUS SILT PROOF DRAINAGE PIPE AT EACH SIDE OF FOOTING AND SHALL DRAIN TO DAYLIGHT AT LOWER ELEVATION THAN THE BOTTOM OF FOOTING. MINIMUM DRAINAGE PIPE SHALL SLOPE 1/8" PER LINEAR FOOT.

FRAMING NOTES

- THE LOCATION OF ALL DOOR FRAMES NOT DIMENSIONED SHALL BE 6" FROM PERPENDICULAR WALL.
- ALL FRAMING LUMBER SHALL BE KILN DRIED NUMBER 1 GRADE SPF OR BETTER. MOISTURE CONTENT SHALL NOT EXCEED 6%. ALL EXTERIOR AND INTERIOR TRIM SHALL BE PRIMED PRIOR TO FINISH PAINTING.
- ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESURE PRESERVATIVE TREATED.
- HEADERS AND BEAMS SHALL BE COMPOSED OF ALTERNATE 6X AND 1/2" CDX PLYWOOD IN THE SIZES INDICATED ON THE DRAWINGS. HEADERS SHALL HAVE A MINIMUM BEARING OF 3" AT EACH END.

| | |
|----------------------|------------|
| SPANS UP TO 3'-6" | 3 - 2X6'S |
| SPANS 3'-6" TO 5'-6" | 3 - 2X8'S |
| SPANS 5'-6" TO 8'-6" | 3 - 2X12'S |
| SPANS OVER 8'-6" | AS NOTED |

- GANTILEVERED FRAMING SHALL NOT EXTEND BEYOND THE OUTSIDE BEARING LINE BY MORE THAN ONE-THIRD THE TOTAL FRAMING DISTANCE.
- ALL TRUSSES AND LAMINATED TYP. BEAMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.
- ALL EXTERIOR WALLS SHALL BE FRAMED WITH 2X6 STUDS AT 16" O.C. ALL LOAD BEARING INTERIOR WALLS SHALL BE FRAMED WITH 2X6 STUDS AT 16" O.C. EXCEPT AT PLUMBING STACK WALLS WHICH MAY BE 2X8 FRAMING, AS REQUIRED.
- ALL GYPSUM HALVED WOOD COLLUMBS SHALL BE SIZED AS INDICATED ON THE DRAWINGS.
- STEEL BEAMS SHALL HAVE A MINIMUM BEARING OF 3" AT EACH SUPPORT POINT, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.



**NELSON RESIDENCE
AUBURN PINES-PORTLAND**

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

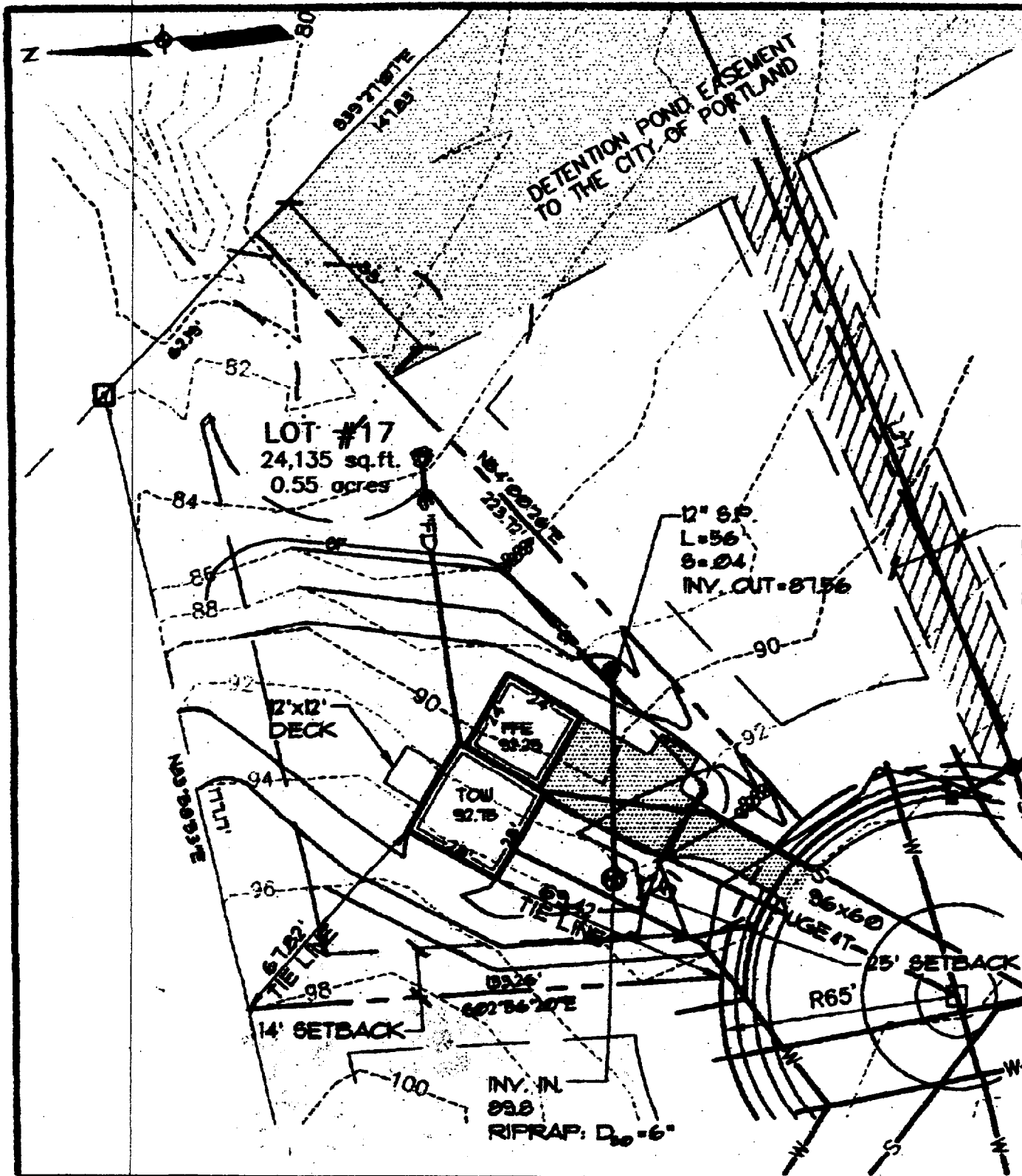
JUL - 6 2001

RECEIVE

PLOT PLAN
1" = 40' 6.7.01

| | | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------|--|----------------------|---------------------------------------------|--|--|
| GRANT HAYS ASSOCIATES ARCHITECTURE & INTERIOR DESIGN P. O. BOX 6179 FALMOUTH, ME 04105 (207) 871-5900 • fax (207) 871-9308 | | | JOB TITLE NELSON RESIDENCE-LOT-17 | | |
| DATE 6.8.01 | | | DRAWING TITLE PLOT PLAN | | |
| SCALE 40' = 1" | | JOB NO. NA | DRAWING NO. S.1 | | |

17 Alice Court



Sebago Technics

Engineering & Planning for the Future

One Chabot Street
 Westbrook, Me 04098-1339
 Tel (207) 858-0277

PLOT PLAN OF: LOT 17 AUBURN PIN

AUBURN PINES DRIVE
 PORTLAND, ME

FOR:
PETER BUSQUE
 43 COTTAGE AVENUE
 WINDHAM, MAINE 04062

Applicant: Busque Curt

Date: 6/18/01

Address: 47 Alice Court (#17)

C-B-L: 386A-B-17

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Foundation only

Zone Location - R-2

Interior or corner lot -

28x42 & 18x34

26x28

Proposed Use/Work -

construct house

Attached garage
front porch - rear deck

Sewage Disposal -

city

Lot Street Frontage - 50' req - 50' shown

Front Yard - 25' req - 55' shown

Rear Yard - 25' req - 46' shown

Side Yard - 16' req - 19' & 26' shown

~~Don't know height~~
Structure 2 1/2 - 3 stories shown

Projections - front porch 6' x 34' - 8' x 36' rear deck -

Width of Lot - 80' req - 112' scaled

Height - ~~unknown to fast to permit~~ 36' or applied to rest of const.
35' MAX - 30' scaled to mid point

Lot Area - 10,000^{sq} min 24,135^{sq}

Lot Coverage/ Impervious Surface - 20% MAX = 4827^{sq}

Area per Family - 10,000^{sq}

Off-street Parking - 2 req

Loading Bays - N/A

Site Plan -

2001-0140

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

| | | | |
|-------------|---------|---|------|
| rear add. | 18 x 34 | = | 612 |
| house | 28 x 42 | = | 1176 |
| garage | 26 x 28 | = | 728 |
| front porch | 6 x 34 | = | 204 |
| rear deck | 8 x 36 | = | 288 |

3008^{sq}

Previous Building Permit is void

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

47 Alice Ct.

Location/Address of Construction: Lot #17 Auburn Pines Portland, Maine

| | | |
|----------------------------------------------------|-------------------------------------|--------|
| Total Square Footage of Proposed Structure 3100 | Square Footage of Lot 24,000 +/- | 24,135 |
|----------------------------------------------------|-------------------------------------|--------|

| | | |
|---------------------------------------------------------------------------|------------------------------------------------------------|----------------------|
| Tax Assessor's Chart, Block & Lot Number Chart# 386 Block# A-B Lot# 17 | Owner: Donata Nelson 37 Morse St. Portland, Me 04103 | Telephone#: 773-8256 |
|---------------------------------------------------------------------------|------------------------------------------------------------|----------------------|

| | | |
|-------------------------------------|-----------------------------------|---------------------------------------------|
| Lessee/Buyer's Name (If Applicable) | Owner's/Purchaser/Lessee Address: | Cost Of Work: \$ 17000.00 Fee: \$ 426.00 |
|-------------------------------------|-----------------------------------|---------------------------------------------|

Current use: Vacant Lot

If the location is currently vacant, what was prior use:
Approximately how long has it been vacant:

Proposed use: Single Family Dwelling / Foundation Only

Project description:

| | |
|----------|--------|
| Site Fee | 300.00 |
| BE Fee | 126.00 |
| <hr/> | |
| TOTAL | 426.00 |

Contractor's Name, Address & Telephone: CBRN INC.
37 Morse St
Portland, Me 04103 838-8256

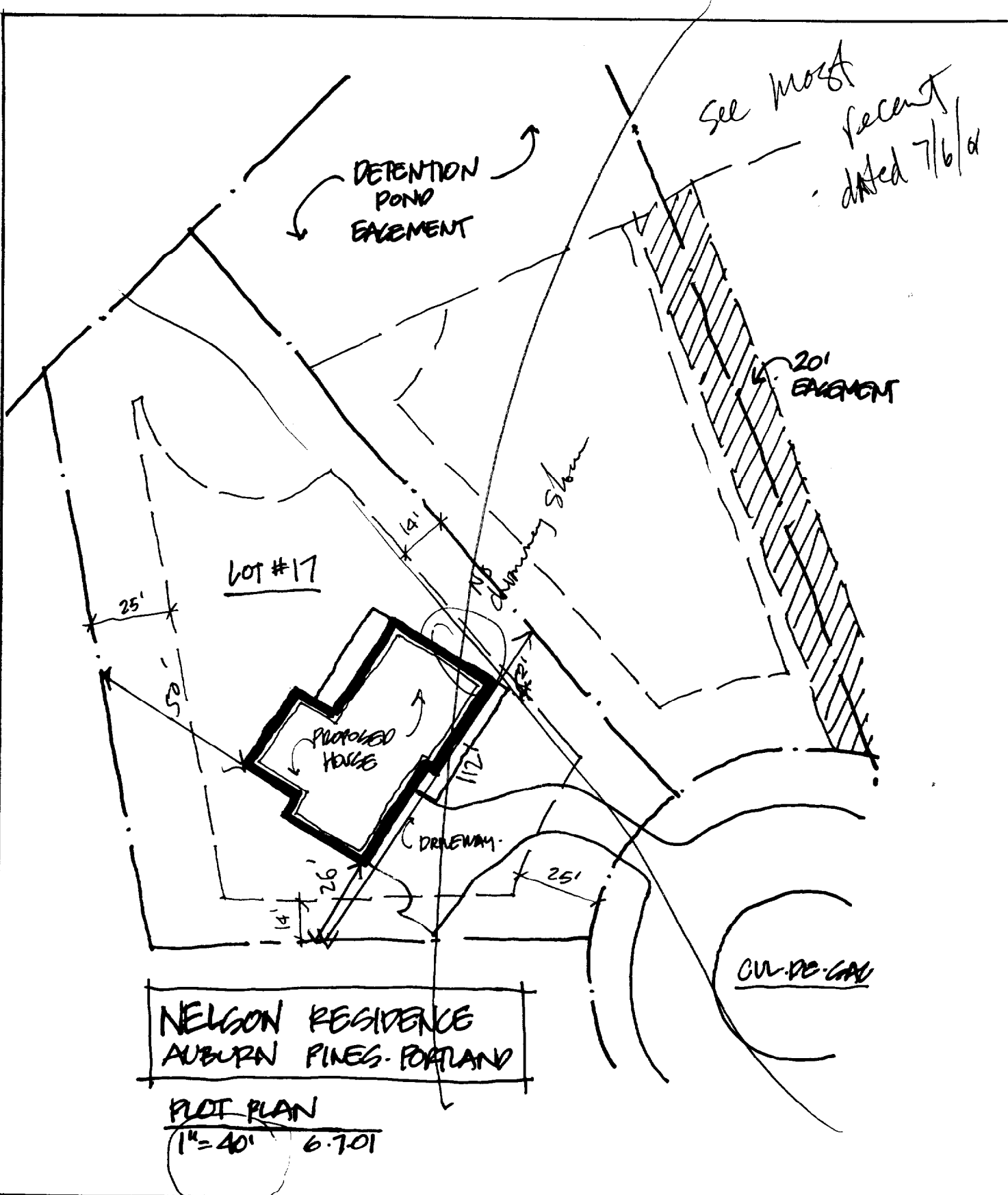
Applicants Name, Address & Telephone: CBRN INC.
37 Morse St.
Portland, Me 04103 773-8256

Who should we contact when the permit is ready: Bob Nelson

Telephone: 838-8256

If you would like the permit mailed, what mailing address should we use:
CBRN INC
37 Morse St.
Portland, Me 04103

6/11
Rec'd By: CH



| | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------|--|
| GRANT HAYS ASSOCIATES ARCHITECTURE & INTERIOR DESIGN P. O. BOX 6179 FALMOUTH, ME 04105 (207) 871-5900 • fax (207) 871-9308 | | JOB TITLE NELSON RESIDENCE | |
| DATE 6.8.01 | | DRAWING TITLE PLOT PLAN | |
| SCALE 40' = 1" | | DRAWING NO. S.1 | |
| JOB NO. NA | | | |