

City of Portland
Zoning Board of Appeals

March 23, 2009

RE: ADU 43 ALICE COURT PORTLAND, MAINE 04103 ZONING R2

Dear Zoning Board

Taking care of our elderly parents has become a major concern for our Family. Adding an Accessory Dwelling Unit will assist my husband and I to be able to watch over and care for my Mother at age 91 soon to be 92 on 7/9/2009. It will enable my husband and I to help her with everyday concerns including meals, finances and companionship. With the cost of assisted living being out of her reach and distant has helped us discover the accessory unit and its capabilities it has to offer. For my Mother to be with Family members on a daily basis, she will continue to strengthen and be at home. Being able to assist her with Doctor visits, grocery shopping, prescriptions and every day finances will enable her to live a better life in her senior years. It also allows her Family to alleviate the stresses of the unknowns and the managing of her living arrangements.

Please accept our application for an ADU at 43 Alice Court, Portland, Maine 04103 zoning R2.

Please feel free to contact us at anytime or please stop by to check out our ADU. Thanking you in advance for your cooperation in this matter.

Sincerely,

Mr. and Mrs. Michael Ferrante
43 Alice Court
Portland, Maine 04103

Home# 878-2220
Cell# 756-3591

ACCESSORY DWELLING UNIT @ 43 ALICE COURT, PORTLAND, MAINE

AMENDMENT TO COVER LETTER

1. The ADU shall be no more than 30% of gross floor plan and min of 400 sq. ft.
The main house at 43 Alice Court is 2100 sq ft, the ADU is 620 sq ft plus there is an 800 sq ft finished basement.
2. Lot size is 25,000 sq ft
3. There are no open outside stairways or fire escapes above ground.
4. The design is compatible with the style of building and reserves single-family appearance.
5. The owner occupies 43 Alice Court.
6. Driveway is paved and yard landscaped.
7. Parking is plenty and driveway is 90 feet

- a. There are no unique or distinctive effects other than at this time my 91-year-old Mother lives in this area. *in-law apt - no different than other*
- b. No adverse impact to public, etc. *because Private Property, Single*
- c. No different in this zone - *1-2 people in unit* *Contained Home w/ unit*

#16 50 JCG16

TENT
LAND

539'27"07"E
147'83"
DETENTION POND
TO THE CITY OF POK

LOT #15
56,520 sq.ft.
1.30 acres

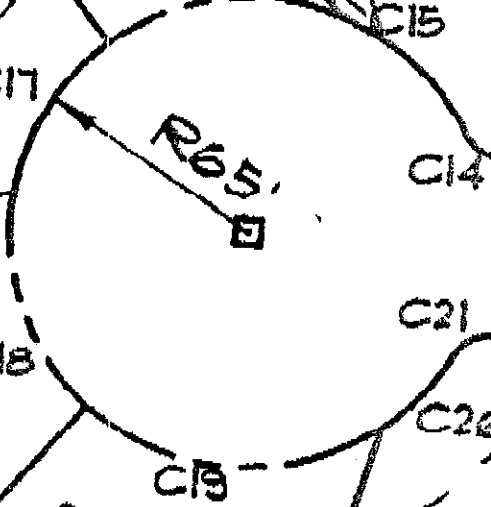
LOT #17
24,117 sq.ft.
0.55 acres

LOT #16
20,553 sq.ft.
0.47 acres

LOT #18
17,655 sq.ft.
0.41 acres

LOT #20
31,445 sq.ft.
0.72 acres

LOT #19



62.19'
171.17'
313.54'

N83°58'53"E

136.37'
575.4'

312.28'
247.79'

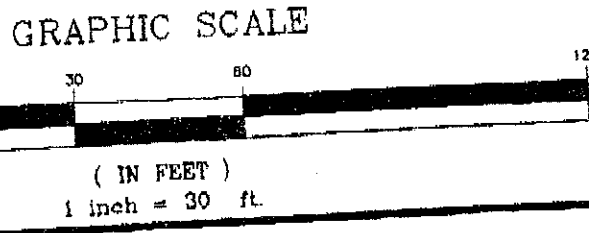
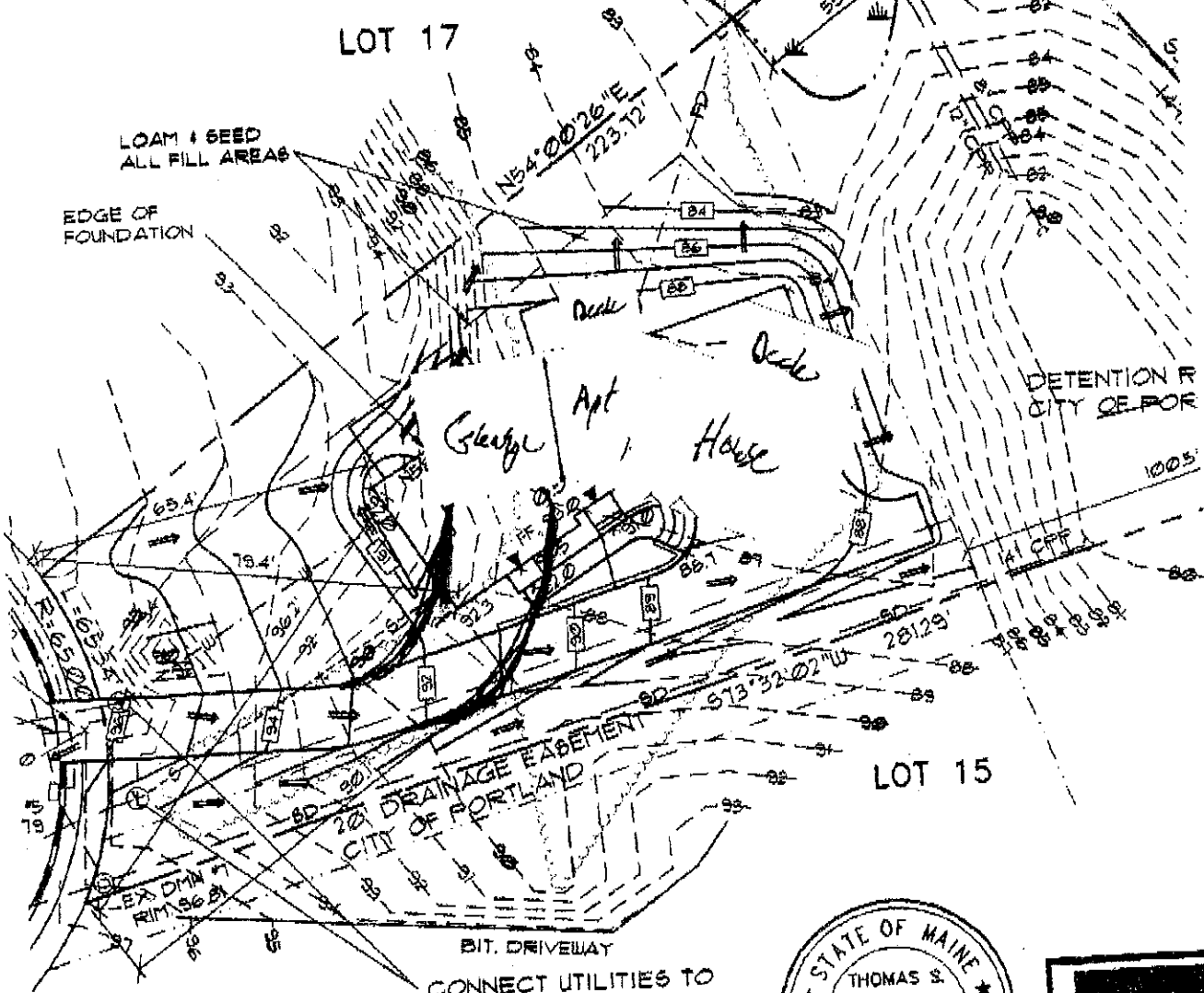
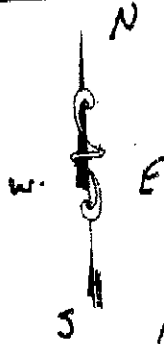
L26

L29

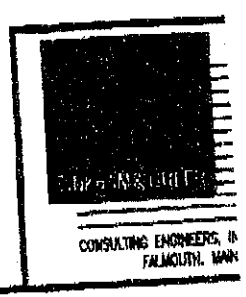
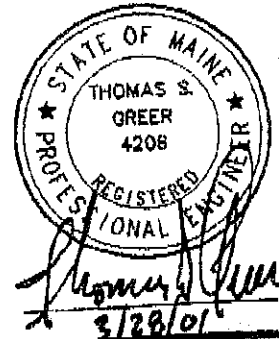
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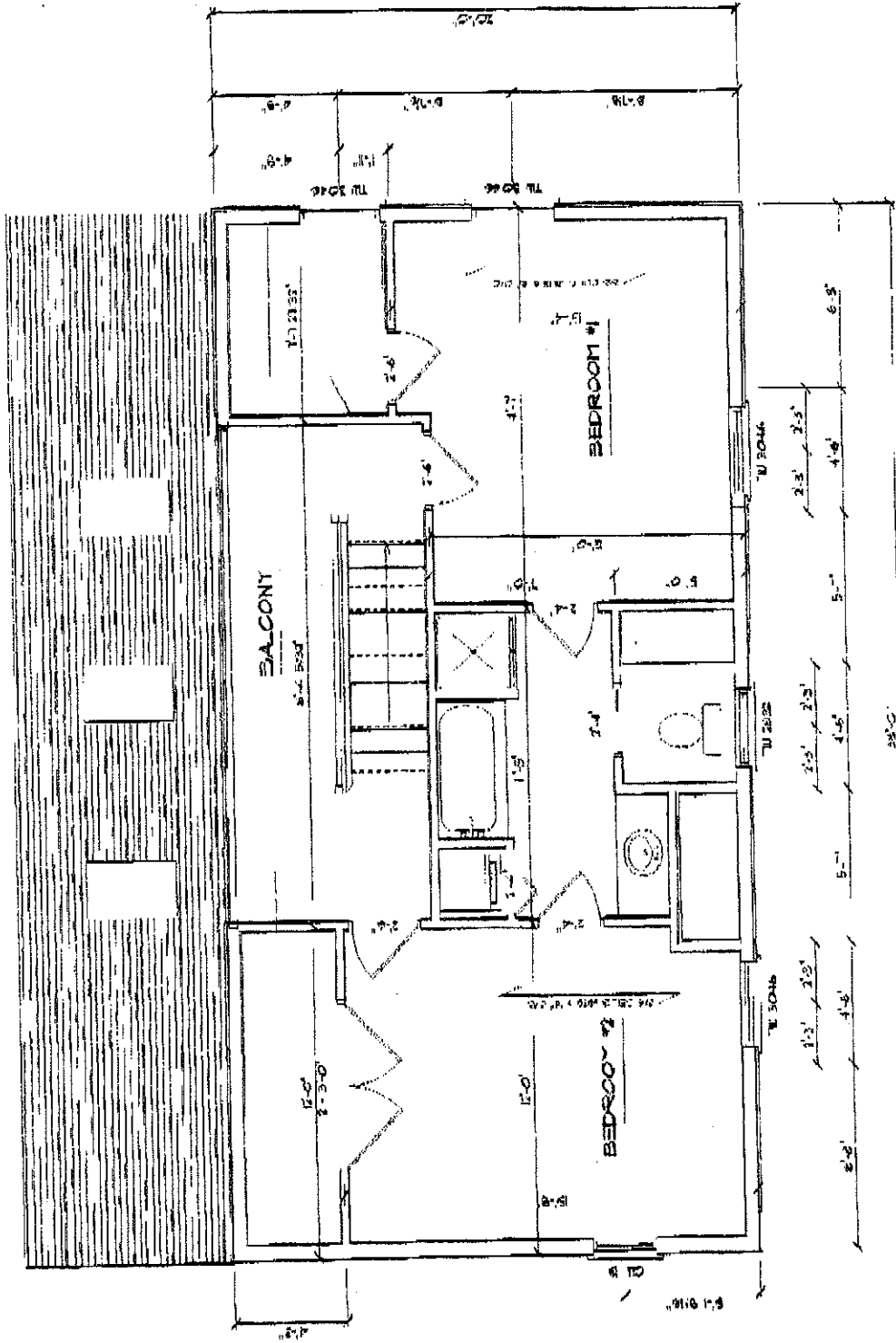
L26

E OF DRIVEWAY
 TOURS
 SE FOOTPRINT
 IDATION DRAIN
 ER HOUSE SERVICE
 ER HOUSE SERVICE
 T GRADE
 FACE DRAINAGE



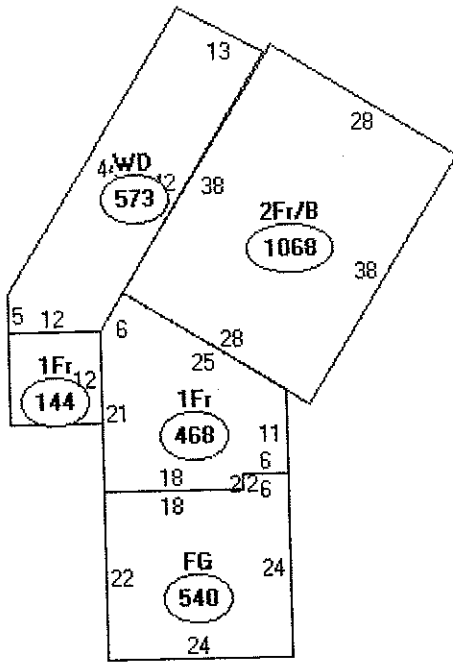
CONNECT UTILITIES TO EXISTING STUBS



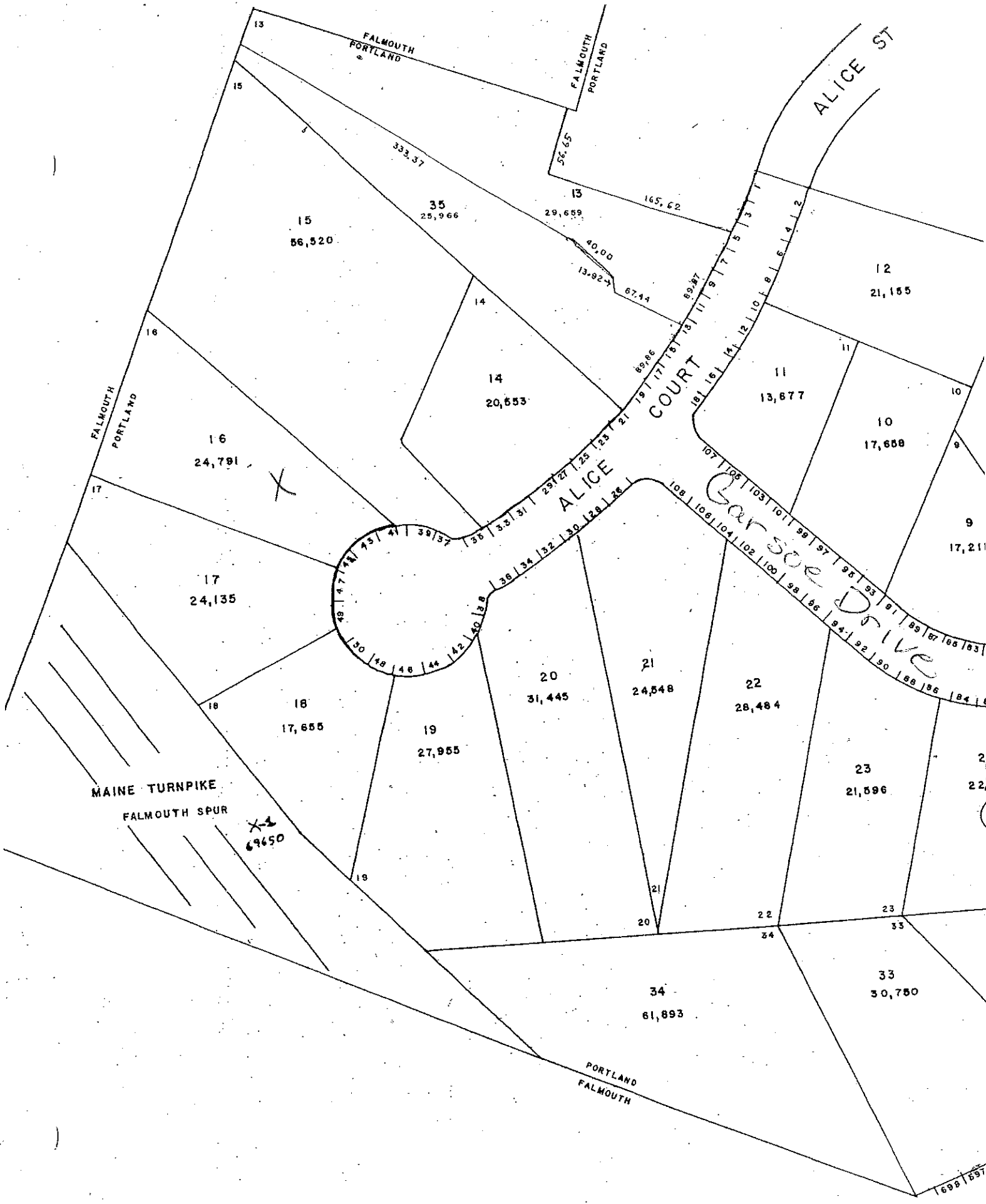


SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"



Descriptor/Area
A: 2Fr/B
1068 sqft
B: 1Fr
468 sqft
C: FG
540 sqft
D: 1Fr
144 sqft
E: WD
573 sqft



FALMOUTH
PORTLAND

FALMOUTH
PORTLAND

FALMOUTH
PORTLAND

ALICE ST

ALICE COURT

Garsoe Drive

MAINE TURNPIKE
FALMOUTH SPUR

PORTLAND
FALMOUTH

15
56,520

35
25,966

16
24,791

17
24,135

18
17,655

19
27,955

20
31,445

21
24,548

22
28,484

23
21,596

34
61,893

33
30,750

14
20,553

11
13,677

10
17,658

9
17,211

12
21,155



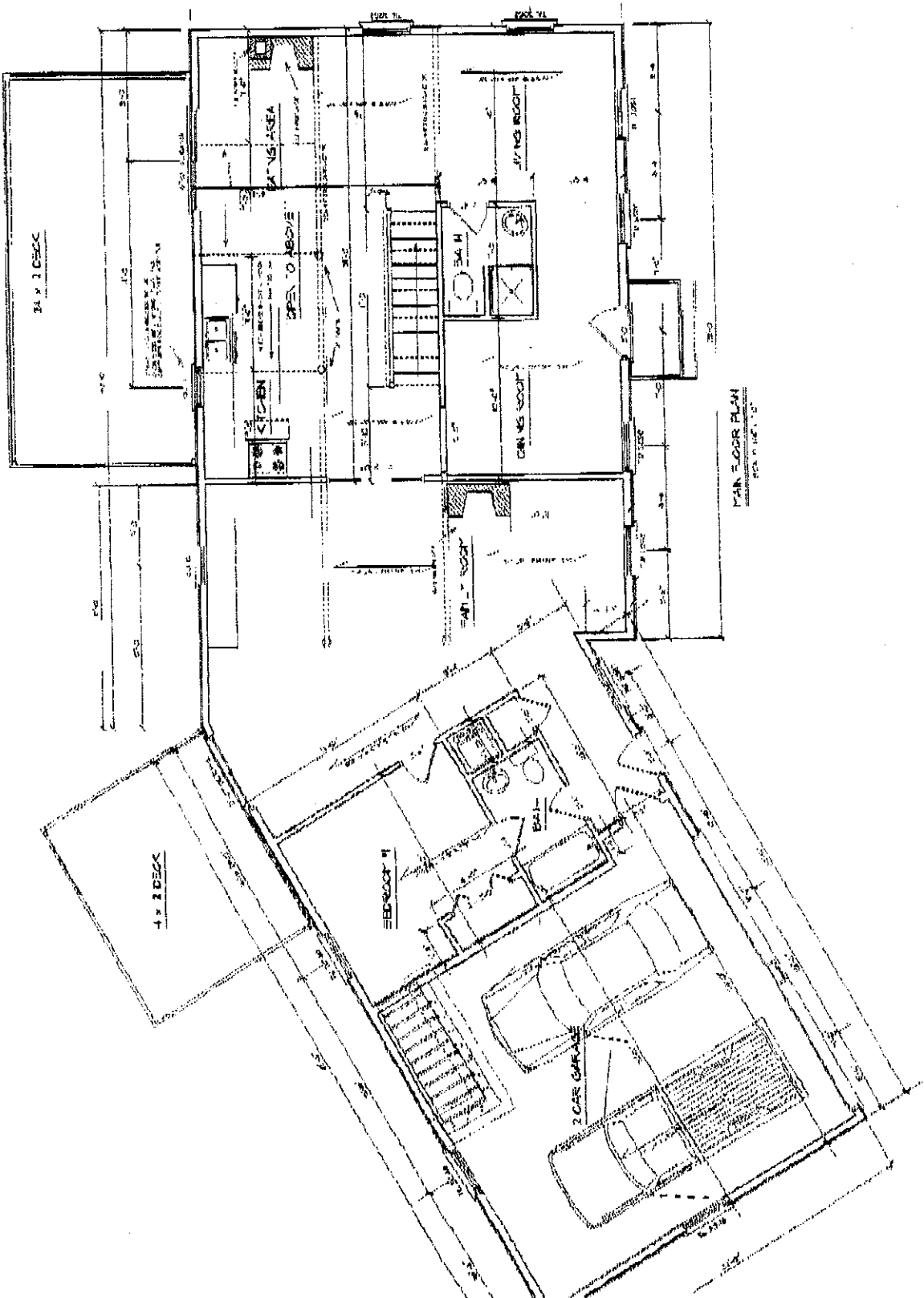
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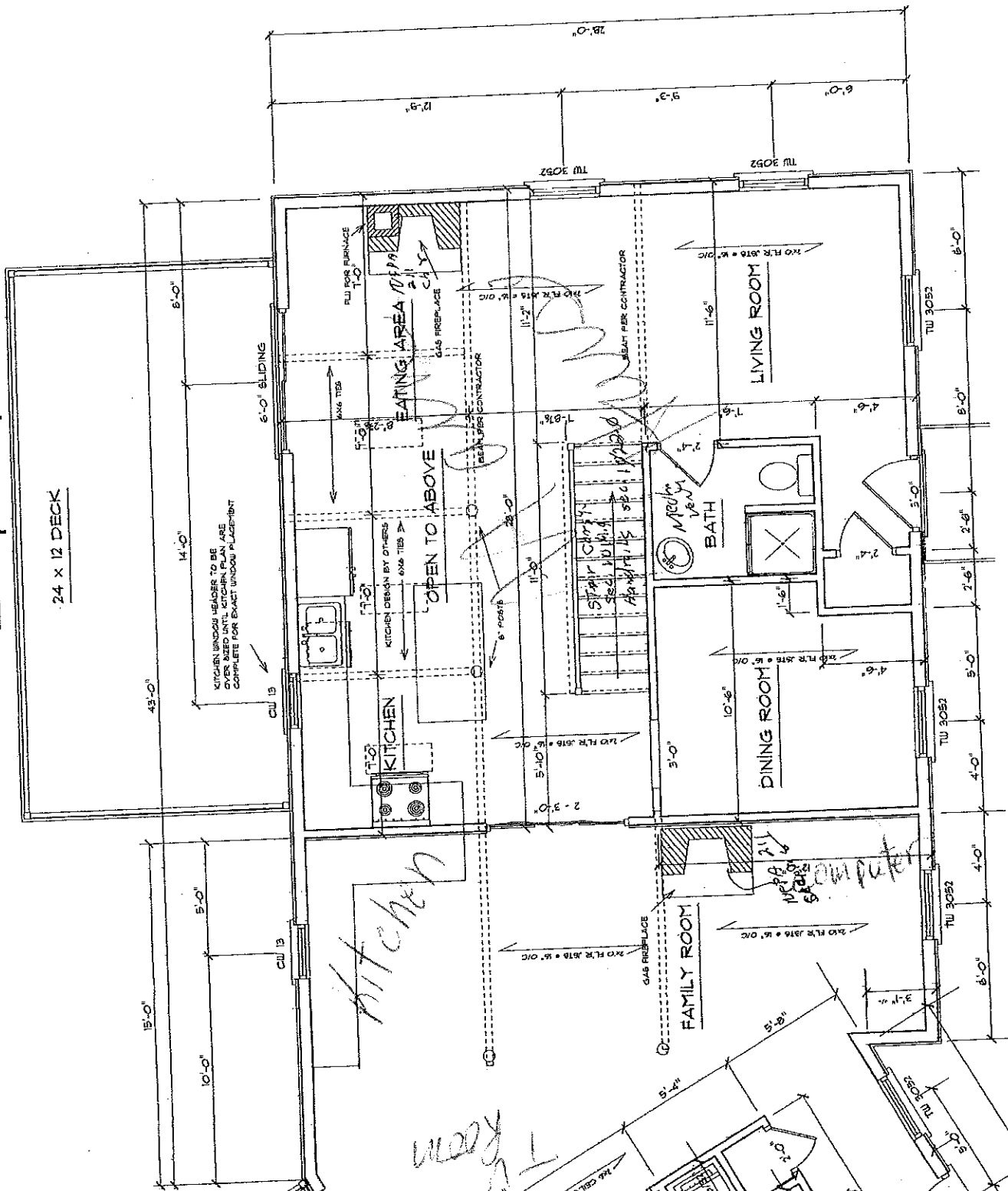
X
69650

1698 | 597



0. Appendix





24 x 12 DECK

6'-0" SLIDING

CITIZEN WINDOW RELEASE TO BE DONE PER THE KITCHEN PLAN. ARE COMPLETE FOR EXACT WINDOW PLACEMENT

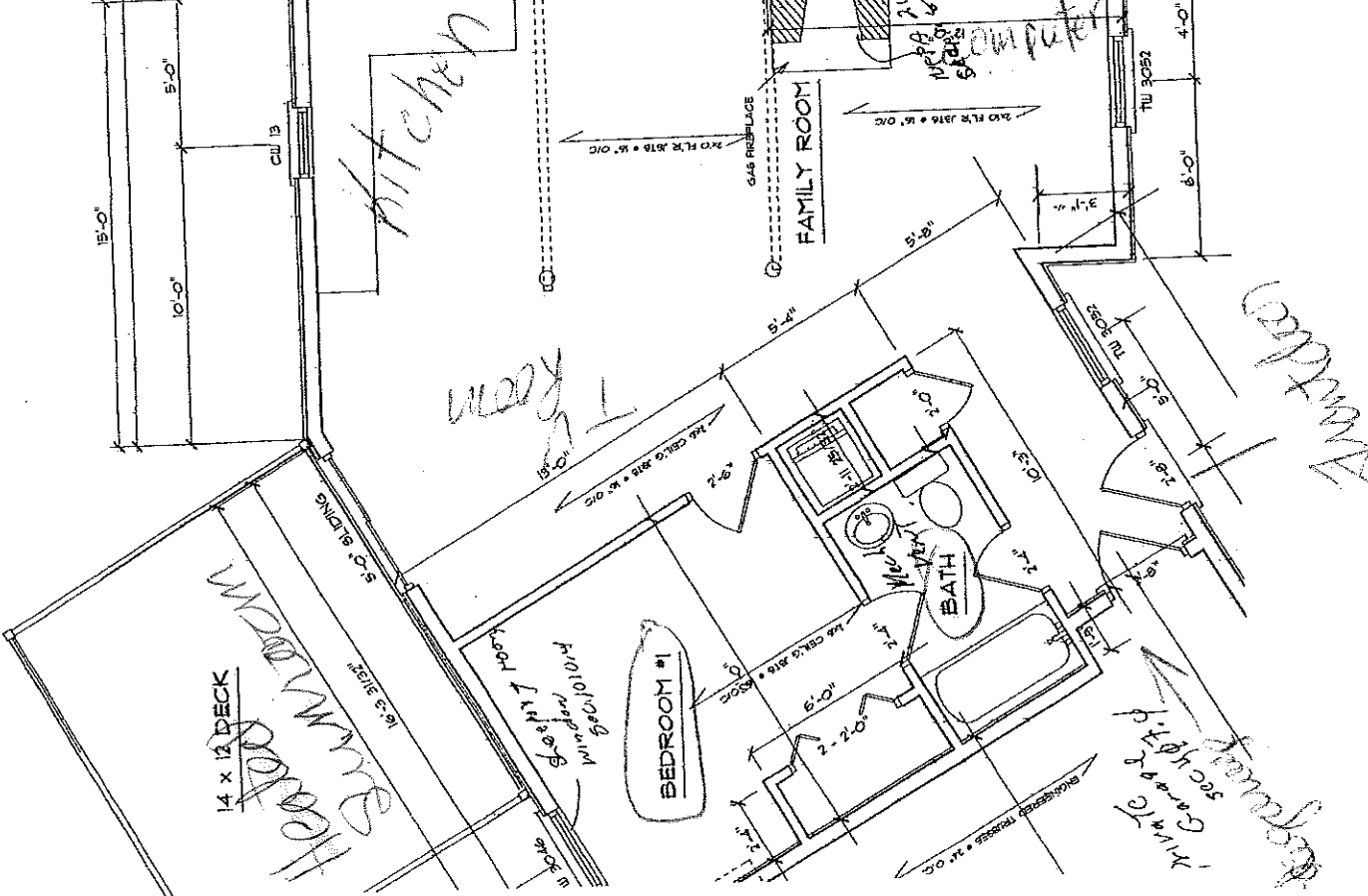
KITCHEN DESIGN BY OTHERS

OPEN TO ABOVE

MEAT PER CONTRACTOR

NO F.R. JTB

W.C.



14 x 12 DECK

6'-0" SLIDING

MEAT PER CONTRACTOR

NO F.R. JTB

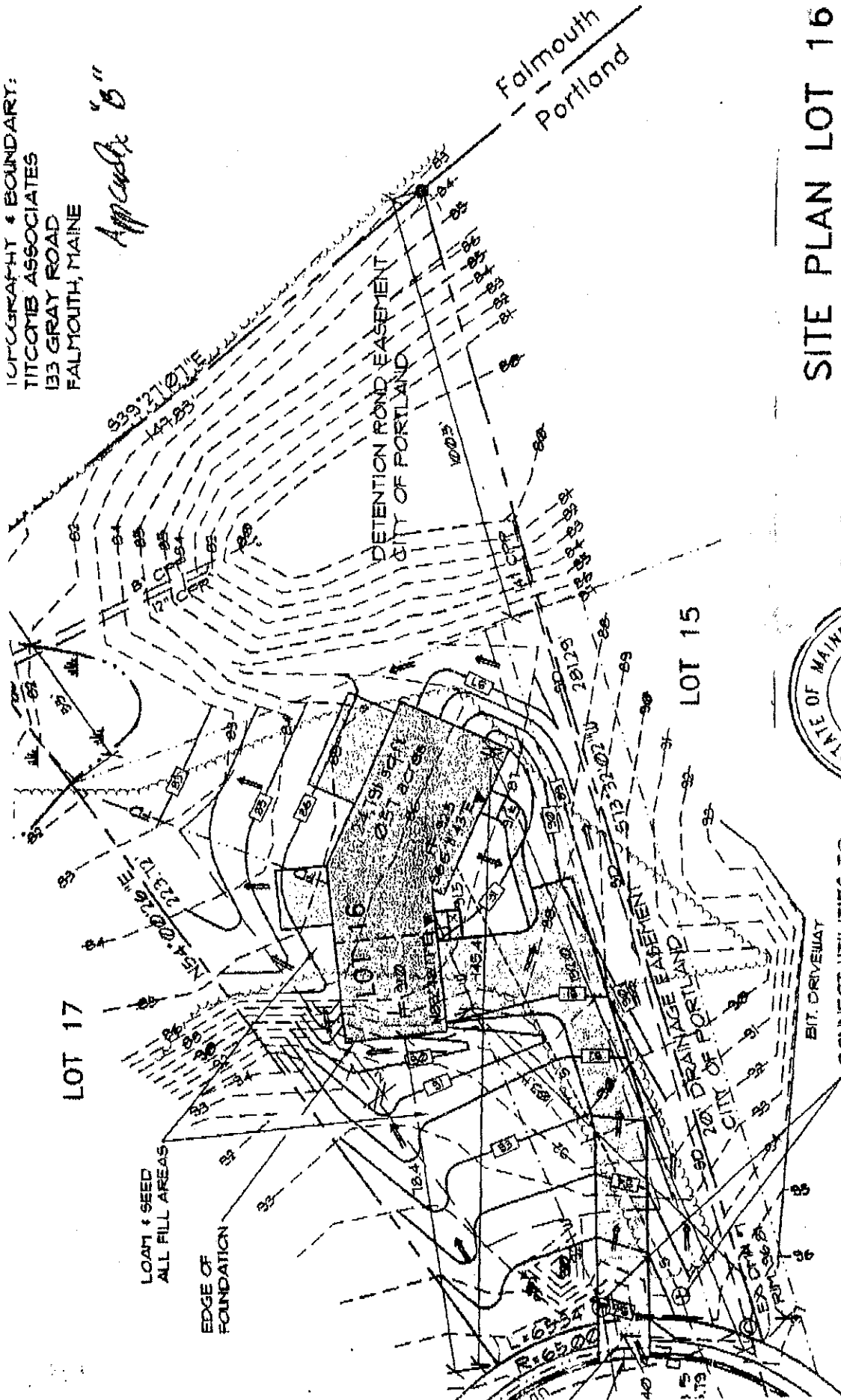
W.C.

SHOWER

Wanted

10/1/00 GRAPHIC & BOUNDARY:
 TITCOMBE ASSOCIATES
 133 GRAY ROAD
 FALMOUTH, MAINE

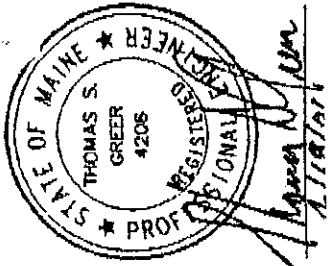
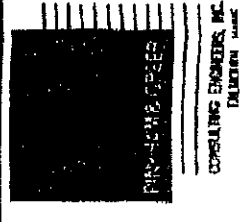
Appendix "B"



SITE PLAN LOT 16

**AUBURN PINES
 ALICE COURT**

SCALE: 1" = 30'
 DATE: APRIL 17, 2001
 DESG BY: TSG
 PROJECT: 00124



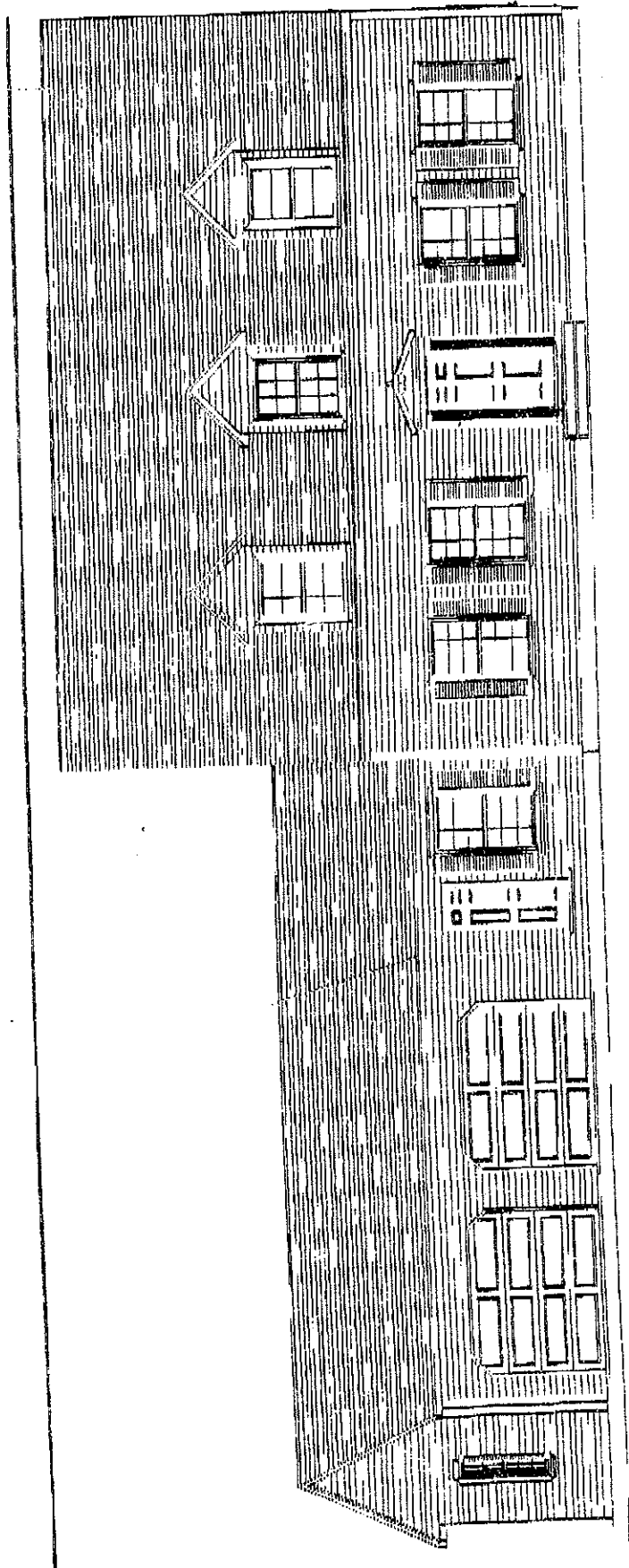
CONNECT UTILITIES TO
 EXISTING STUBS

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.

Appendix "B"



FRONT ELEVATION

04/21/2001 10:00:00 AM

207-767-2625

Peter Palanza