

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DIVISION

PERMIT

Permit Number: 090473

This is to certify that FERRANTE MICHAEL J & J ALICE E FERRANTE
has permission to change of use from single family home to single family home w/ accessory dwelling unit no construction

AT 43 ALICE CT CH 386A B016001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 2. HOUSING NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

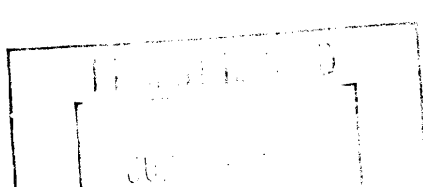
Other _____
Department Name

Thomas H. Markley 6/1/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0473		Issue Date:		CBL: 386A B016001	
Location of Construction: 43 ALICE CT		Owner Name: FERRANTE MICHAEL J & JANIC		Owner Address: 43 ALICE CT	
Business Name:		Contractor Name:		Contractor Address:	
Lessee/Buyer's Name		Phone:		Permit Type: Change of Use - Dwellings	
Past Use: Single Family Home		Proposed Use: Single Family Home w/ accessory dwelling unit - change of use from single family home to single family home w/ accessory dwelling unit no construction		Zone: R-2	
Permit Fee: \$105.00		Cost of Work: \$105.00		CEO District: 5	
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: R3 Type: SB IRC 2003 Signature: Jm 6/1/09			
Proposed Project Description: change of use from single family home to single family home w/ accessory dwelling unit no construction		Signature:			
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:			
Permit Taken By: Ldobson		Date Applied For: 05/18/2009		Zoning Approval	
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/15/09 Jm		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input checked="" type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved 4-0 <input type="checkbox"/> Denied Date: 4/16/09	
		Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABU			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

06-10-09 No construction, First floor, left the property Single Bed~~der~~ Bedroom
w/ hardware smoke (adviser that smoke must be within
6 inches of ceiling not 9 inches, egress window,
and two means of egress from deck no fire
separation between the residence. JAR.
(Fire doors to kitchen)
needed

7/14/09 - spoke to Mike Ferrante - he wants to hold
off doing the fire ratings as his mother-in-law is
nearing death and cannot do construction at this
moment - he will call when he is able to
do work - keep permit open.

Jim M

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0473	Date Applied For: 05/18/2009	CBL: 386A B016001
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Location of Construction: 43 ALICE CT	Owner Name: FERRANTE MICHAEL J & JANIC	Owner Address: 43 ALICE CT	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	

Proposed Use: Single Family Home w/ accessory dwelling unit - change of use from single family home to single family home w/ accessory dwelling unit no construction	Proposed Project Description: change of use from single family home to single family home w/ accessory dwelling unit no construction
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Dept: Zoning **Status:** Approved **Reviewer:** Ann Machado **Approval Date:** 05/19/2009
Note: The ZBA approved the conditional use 4-0 on 4/16/09. **Ok to Issue:** ☒

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 06/01/2009
Note: **Ok to Issue:** ☒
1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
2) This is a Change of Use ONLY permit. It does NOT authorize any construction activities.
3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

called + left a message
for Mike Ferrante that
permit was ready for
pick-up. 6/1/09
TMM

From: Tom Markley
To: Jonathan Rioux
Date: 7/14/2009 10:27:50 AM
Subject: Re: 43 Alice Court

386A-B-016

spoke to owner Mike Ferrante who will do fire separation but will wait until his mother-in law has improved in health. She is close to the end in his opinion and would appreciate if we could wait before doing final for new CofO.

Tom Markley

>>> Jonathan Rioux 7/14/2009 7:57:42 AM >>>

I believe Tom is going to give her a call. She needs one (1) hour fire-separation between the two (2) dwelling units. JGR.

Jon Rioux,
Code Enforcement Officer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov

>>> Ann Machado 07/13 4:08 PM >>>
Jon -

Janice Ferrante claled me about their permit for 43 Alice Court. You did the inspection for the final to add the accessory dwelling unit. I read your comment and I know that we talked about it.

Janice wants to know what is going on because she has not heard anything since the inspection. Does she know what has to be done to get the certificate of occupapncy?

Thanks, Ann

CC: Ann Machado

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Janice E. Servante
Signature of Applicant/Designee

6/4/09
Date

Thomas H. Mabley
Signature of Inspections Official

6/1/09
Date





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>43 Alice Court</u>			
Total Square Footage of Proposed Structure/Area <u>620 Sq. Ft.</u>		Square Footage of Lot <u>25,000 Sq. Ft.</u>	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>386A</u> Block# <u>B</u> Lot# <u>016</u> <u>R2 Zone</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Michael + Janice Ferrante</u> Address <u>43 Alice Ct.</u> City, State & Zip <u>Portland, Me 04103</u>		Telephone: <u>878-2220</u> or <u>756-3591</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip		Cost Of Work: \$ C of O Fee: \$ Total Fee: \$
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? Proposed Specific use: <u>Single Family w/ ADU</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>add ADU (accessory dwelling unit)</u>			
Contractor's name: _____ Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Michael + Janice Ferrante</u> Telephone: <u>878-2220</u> Mailing address: _____			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Michael J. Ferrante Date: 5/18/09

The applicant agrees not to commence ANY work until the permit is issued.

CITY OF PORTLAND, MAINE

ZONING BOARD OF APPEALS

APPEAL AGENDA DECISION

The Board of Appeals will hold a public hearing on Thursday, April 16, 2009 at 6:30 p.m. on the second floor, Room 209, City Hall, 389 Congress Street, Portland, Maine to hear the following appeals:

To: City Clerk

From: Marge Schmuckal, Zoning Administrator

Date: April 21, 2009

RE: Action taken by the Zoning Board of Appeals on April 16, 2009.

The meeting was called to order at 6:30pm.

Roll call as follows: **Members Present:** Sara Moppin, Gordon Smith (Secretary), Deborah Rutter, William Getz and Philip Saucier (chair).

Members Absent: Peter Coyne and Jill Hunter.

1. New Business:

A. Conditional Use Appeal:

43 Alice Court, Michael and Janice Ferrante, owners, Tax Map 386A, Block B, Lot 016, R-2 Zone: The appellants are seeking a Conditional Use Appeal under section 14-78(a)(2) to add an accessory dwelling unit to their single family dwelling. Representing the appeal are the owners. **The Board voted 4-0 to grant the Conditional Use Appeal.**

B. Practical Difficulty Variance Appeal:

122 Pine Street, Edward and Karen Rea, owners, Tax Map 062, Block B, Lot 008, R-6 Residential Zone: The appellants would like to enclose the existing 14'x 3'10" porch and stairs and to build a 5'6"x 3'10" deck to connect the enclosed porch to the rear deck. The appellants need a variance to keep the 170 square foot rear deck that was built without a permit. The appellants are requesting a variance for the side setback on a side street from a required 10' to 5' [section 14-139(1)(d)(4)]. The appellants are also seeking a variance for the maximum allowable lot coverage of 50% [section 14-139(1)(e)]. The lot is 2600 square feet. The footprint of the building with the 5'6" x 3'10" deck extension and the 170 square foot rear deck is 1416.75 square feet which covers 54.49% of the lot. Representing the appeal are the owners. **The Board voted 5-0 to grant the Practical Difficulty Appeal.**

2. Other Business: None

3. Adjournment: 7:47pm

Enclosure:

Agenda of April 16, 2009

Original Zoning Board Decision

one audio tape and one dvd

CC: Joseph Gray, City Manager

Penny St. Louis Littell, Director, Planning & Urban Development

Alex Jaegerman, Planning Department

T.J. Martzial, Housing & Neighborhood Services

LOT 17

TOPOGRAPHY & BOUNDARY:
TITCOMB ASSOCIATES
133 GRAY ROAD
FALMOUTH, MAINE

Appendix "B"

LOAM & SEED
ALL FILL AREAS

EDGE OF
FOUNDATION

LOT 16

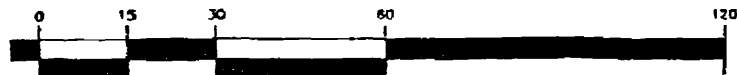
DETENTION ROAD EASEMENT
CITY OF PORTLAND

Falmouth
Portland

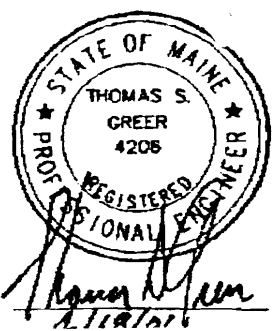
LOT 15

CONNECT UTILITIES TO
EXISTING STUBS

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



SITE PLAN LOT 16

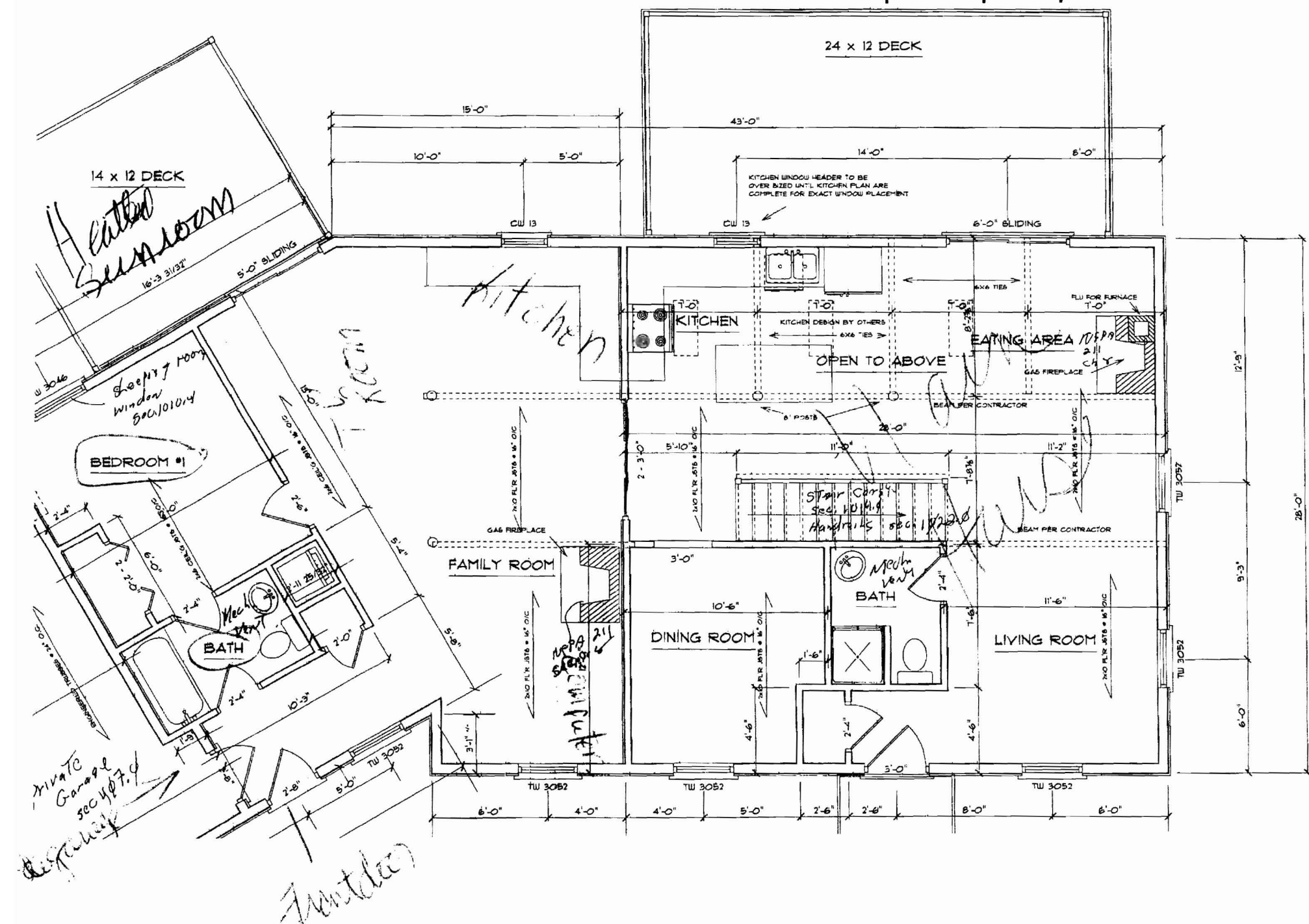
AUBURN PINES
ALICE COURT

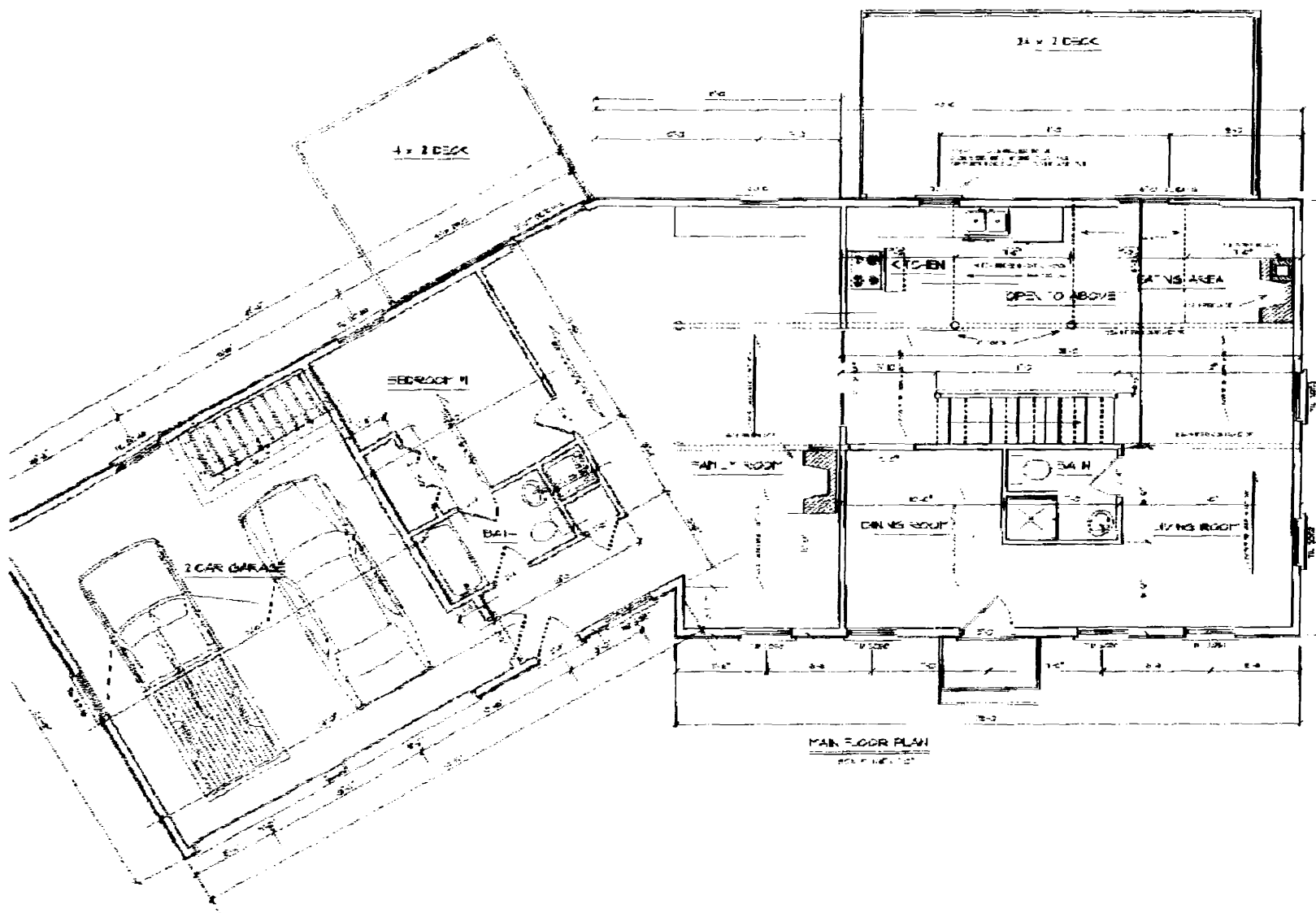
SCALE: 1"=30'
DATE: APRIL 17, 2001
DESIGNED BY: TSG
PROJECT: 00124



CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

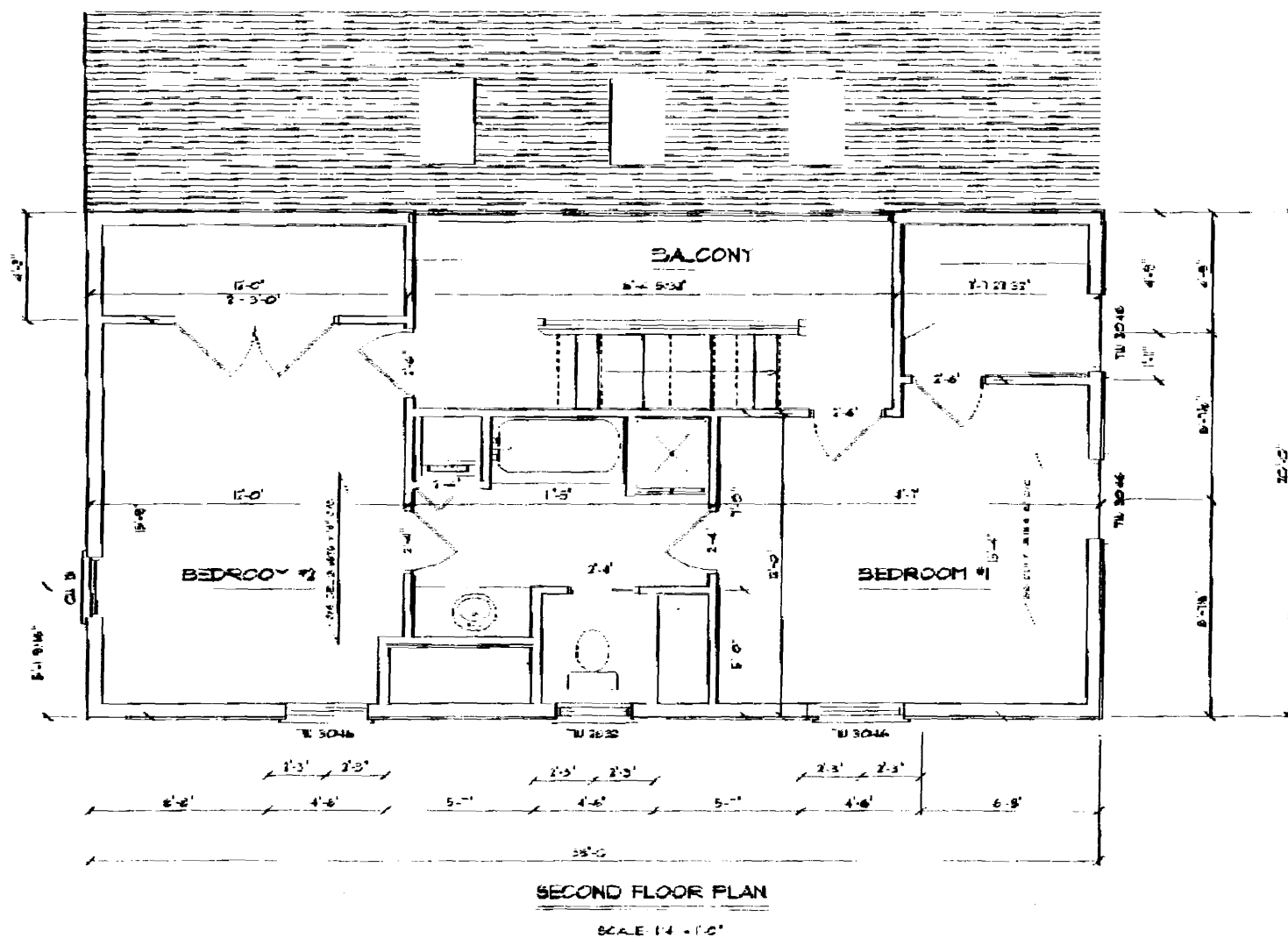
7

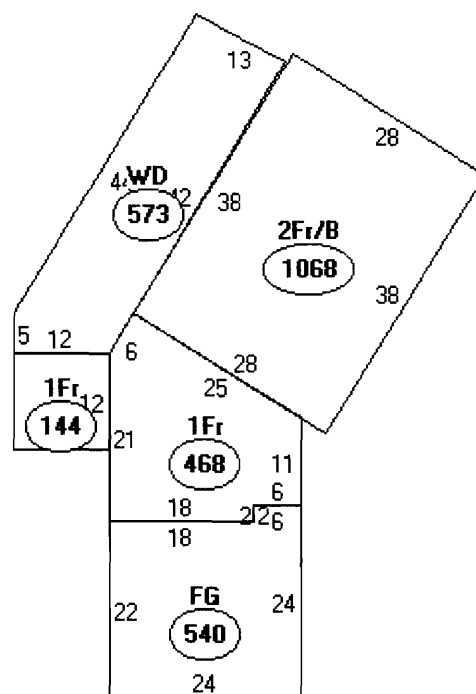




HUGHES CO. 8

Appendix "B"





Descriptor/Area	
A: 2Fr/B	1068 sqft
B: 1Fr	468 sqft
C: FG	540 sqft
D: 1Fr	144 sqft
E: WD	573 sqft



