

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that

FREEMAN JAMES H & ELIZABETH C FREEMAN
JTS/K2 Landscape

PERMIT ID: 2012-65622

Located at

29 ALICE CT

CBL: 386A B014001

has permission to **to complete the site work applied for under the Level I Site Alteration Application (#2012-649) - patio , retaining walls & planting beds**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closoed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

N/A

Fire Prevention Officer

[Signature]

12/21/12

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
THERE IS A PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

REQUIRED INSPECTIONS:

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 201265622	Date Applied For: 12/14/2012	CBL: 386A B014001
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Location of Construction: 29 ALICE CT	Owner Name: FREEMAN JAMES H & ELIZABE	Owner Address: 29 ALICE CT	Phone:
Business Name:	Contractor Name: K2 Landscape	Contractor Address: PO Box 1044 Scarborough	Phone (207) 885-9703
Lessee/Buyer's Name	Phone:	Permit Type: Site	

Proposed Use: Single Family	Proposed Project Description: to complete the site work applied for under the Level I Site Alteration Application (#2012-649) - patio , retaining walls & planting beds
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Dept: Zoning	Status: Approved	Reviewer: Ann Machado	Approval Date: 12/21/2012
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Not Applicable	Reviewer:	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2012-65622	Issue Date: 12/21/12	CBL: 386A B014001
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Location of Construction: 29 ALICE CT	Owner Name: FREEMAN JAMES H & ELIZABE	Owner Address: 29 ALICE CT	Phone:
Business Name:	Contractor Name: K2 Landscape	Contractor Address: PO Box 1044 Scarborough	Phone: (207) 885-9703
Lessee/Buyer's Name	Phone:	Permit Type: Site	Zone: R2
Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$ 30	Cost of Work: \$1,000.00
Proposed Project Description: Site alterations permit for back yard improvements. - #2012-649 to complete the work - including a patio, retaining walls & flower beds		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	INSPECTION: Use Group: Type: N/A
		Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature:		Date:	

Permit Taken By: bjs	Date Applied For: 12/14/2012	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>OK 12/21/12 APN</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

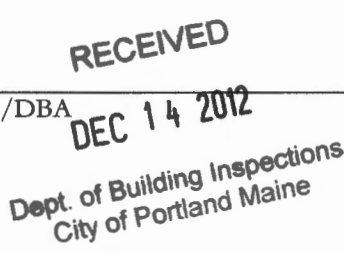
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application


If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>29 Alice Court Portland ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>NA</u>	Square Footage of Lot <u>on file</u>	Number of Stories <u>NA</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant: (must be owner, lessee or buyer) Name <u>KZ LANDSCAPE INC</u> Address <u>PO BOX 1044</u> City, State & Zip <u>SCARBORO 04070-1044</u>	Telephone: <u>207 885 9703</u>
	Owner: (if different from applicant) Name <u>JAMES FREEMAN</u> Address <u>29 ALICE COURT</u> City, State & Zip <u>PORTLAND ME 04103</u>	Cost of Work: \$ _____ C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ _____
	Current legal use (i.e. single family) <u>single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>BACK YARD PATIO, RETAINING WALLS + PLANTING BEDS</u> <u>FOR THE SITE PLAN IMPROVEMENT PERMIT 2012-649</u>	
Contractor's name: <u>KZ LANDSCAPE INC</u>		Email: <u>KZ.LANDSCAPE@AOL.COM</u>
Address: <u>PO BOX 1044</u>		
City, State & Zip <u>SCARBORO ME 04070-1044</u>		Telephone: <u>207 885 9703</u>
Who should we contact when the permit is ready: <u>office mja</u>		Telephone: <u>SAME</u>
Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 12/13/12

This is not a permit; you may not commence ANY work until the permit is issued



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning & Urban Development Department
Jeff Levine, AICP, Director

Planning Division
Alexander Jaegerman, FAICP, Director

December 11, 2012

David Kane
K2 Landscaping
P.O. Box 1044
Scarborough, Maine 04070-1044

Project Name: Boulder Wall and Patio Project
Project ID: 2012-649
Address: 29 Alice Court
CBL: 386A B 014
Applicant: David Kane
Planner: Philip DiPierro

Dear Mr. Kane,

On December 12, 2012, the Planning Authority approved with conditions a Level I: Site Alteration site plan for the Boulder Wall and Patio project located at 29 Alice Court. The decision is based upon the application as submitted by David Kane, and plans prepared by Land Plans, Inc. & K2 Landscape, dated 8/9/2012, revised on 12/10/2012 (attachment 1). The proposal was reviewed for conformance with the standards of Portland's site plan ordinance.

SITE PLAN REVIEW

The Planning Authority found the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following condition(s) of approval:

1. The applicant must comply with the City's Basic Standards for Erosion and Sediment Control, ie., installation of silt fence or erosion control mix down gradient of disturbed areas, catch basin protection, dust control, sweeping and cleaning of sidewalks and Alice Court.
2. The installation of the proposed infiltration trench will be constructed based on the attached detail (attachment 2).

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
2. **Separate Building Permits Are Required** This approval requires the payment of \$30.00 for a site plan improvement permit, and the minimum site inspection fee of \$300.00.
3. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.
4. **Preconstruction Meeting** Prior to the release of a building permit or site construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
5. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Philip DiPierro at (207) 874-8632.

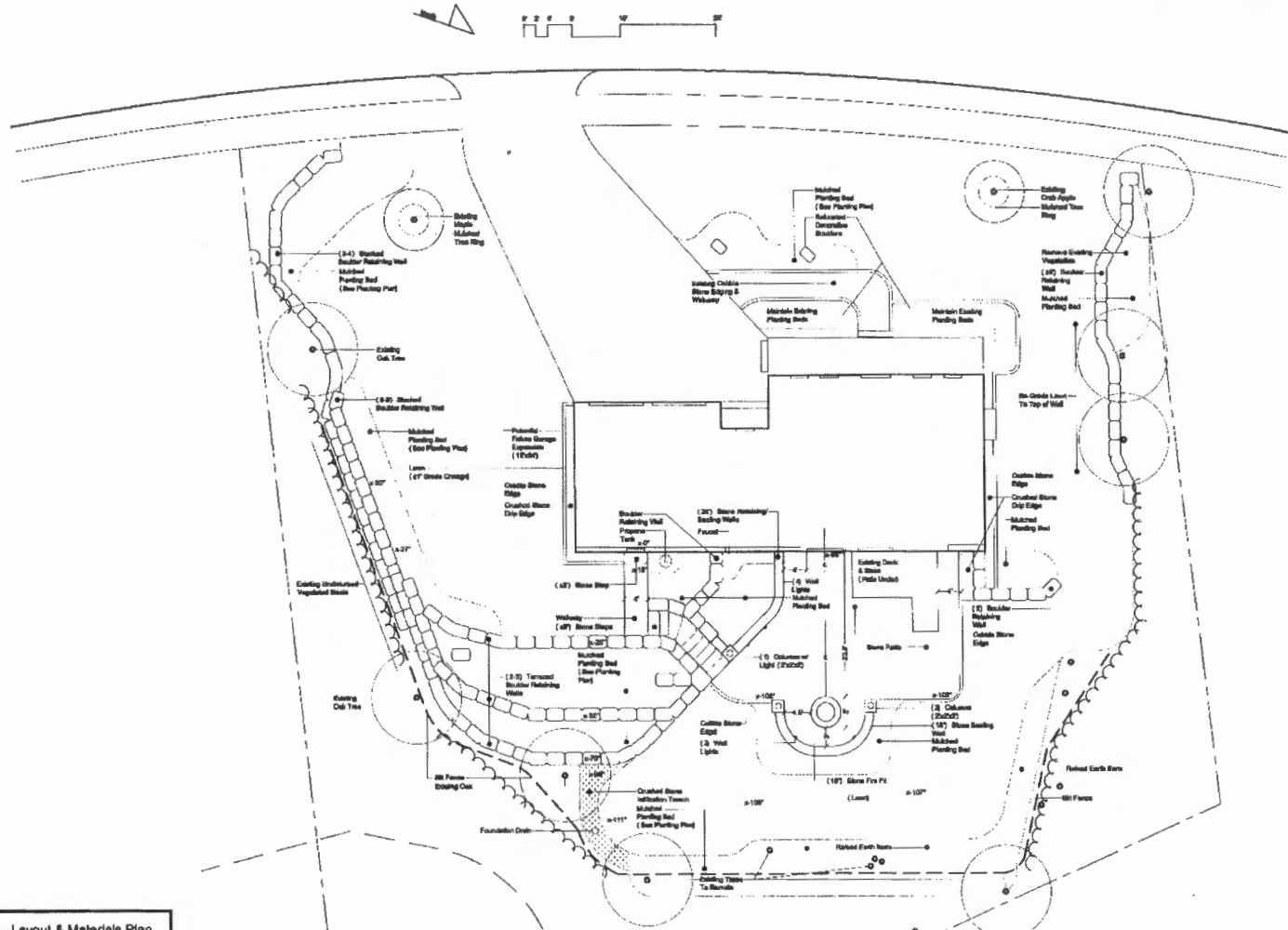
Sincerely,



Barbara Barhydt
Acting Planning Division Director

CC: Jeff Levine, AICP, Director of Planning and Urban Development
Alexander Jaegenmen, FAICP, Planning Division Director
Barbara Barbydt, Development Review Services Manager
Philip DiPietro, Planner/Development Review Coordinator, Planning
Marge Schmuckel, Zoning Administrator, Inspections Division
Tammy Munson, Inspection Division Director
Lannie Dobson, Administration, Inspections Division
Gayle Guerin, Administration, Inspections Division
Michael Bobinsky, Public Services Director
Katherine Earley, Engineering Services Manager, Public Services
Bill Clark, Project Engineer, Public Services
David Margolis-Pineo, Deputy City Engineer, Public Services
Doug Roncarati, Stormwater Coordinator, Public Services
Greg Vining, Associate Engineer, Public Services
Michelle Swocency, Associate Engineer
John Low, Associate Engineer, Public Services
Rhonda Zazzara, Field Inspection Coordinator, Public Services
Mike Farmer, Project Engineer, Public Services
Jane Ward, Administration, Public Services
Jeff Jarling, City Arborist, Public Services
Jeremiah Bartlett, Public Services
Captain Chris Pirone, Fire Department
Thomas Errico, P.E., TY Lin Associates
David Senus, P.F., Woodard and Curran
Rick Blackburn, Assessor's Department
Approval Letter File

Attachment 1



Freeman Residence - Layout & Materials Plan

Prepared For:	Prepared By:
Jim & Liz Freeman	Land Plans, Inc.
29 Alice Court	(207) 347 0123
Portland, ME	ryan@landplansinc.com
	&
	K2 Landscape
	(207) 885 9703
	K2landscape@aol.com

August 9, 2012
 Revised City review - 12/10/12
 Scale: 1"=8'

6.2.2 Infiltration Trench

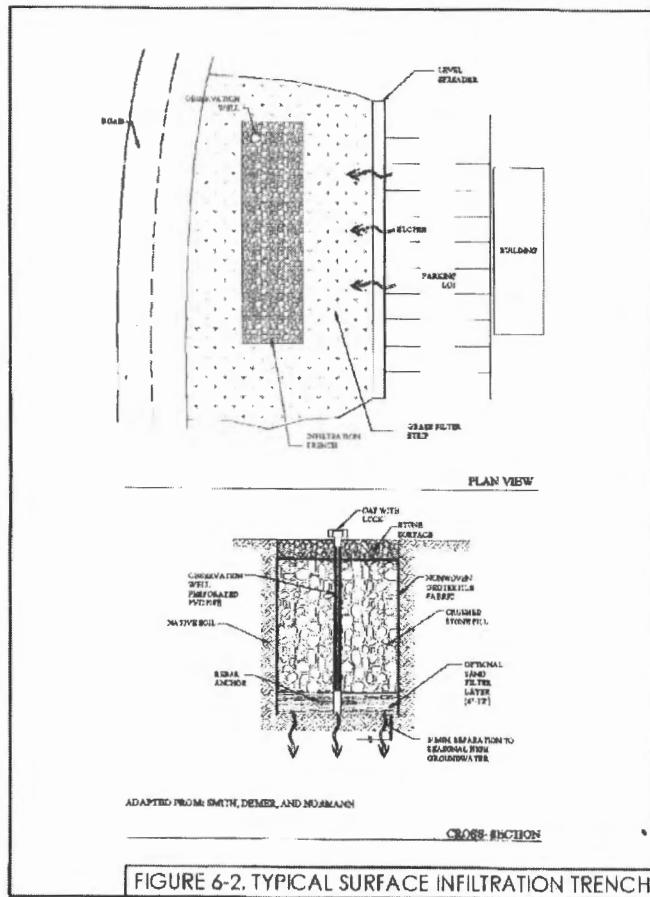
An infiltration trench is a stone-filled excavation used to temporarily store runoff so that it can infiltrate into the ground. There are two types of infiltration trenches: surface trenches and underground trenches. A surface trench is open at the ground surface, exposing the trench's top layer of stone. An example of a surface trench is shown in Figure 6-2. Runoff enters this trench as overland flow after pretreatment through a filter strip or vegetated buffer. Turf or pavement covers an underground trench. An example of an underground trench is shown in Figure 6-3. Runoff enters the trench in a solid pipe; it is distributed within the trench by perforated pipe. Pipes or manhole structures may be incorporated into infiltration trenches to increase the storage capacity while minimizing the footprint of the infiltration system. When a trench is properly sited and designed, most runoff pollutants will become bound to the soil under the trench while the runoff water percolates to the groundwater table.

An infiltration trench is suitable for treating runoff from small drainage areas (less than 10 acres). Installations around the perimeter of parking lots, between residential lots, and along roads are most common. Infiltration trenches can also be incorporated beneath a vegetated swale to increase its infiltration ability.

Design and Construction Criteria

In addition to the general design and construction criteria discussed in the beginning of this chapter, the following criteria must also be applied in the design and construction of Infiltration Trenches.

1. **Site Slopes:** The surface grade at the trench site should be 20% or less for an underground trench and 5% or less for a surface trench.
2. **Setback from Foundations:** Locate the trench at least 20 feet from any foundation located upslope from the trench and at least 100 feet from any foundation located downslope from the trench. Designers should always evaluate the possible effects of mounding to determine if greater setbacks are required.
3. **Setback from Natural Water Bodies:** Site the trench at least 75 feet away from any wetland, stream, river, lake, or coastal estuary.
4. **Erosion Control:** Construct the infiltration trench after the trench's drainage area is stabilized with vegetation and erosion controls are installed to prevent sediment from reaching the trench. An infiltration trench receiving flow from an unstabilized site will have its working life greatly reduced and may even clog prior to the completion of the development. The contractor should use sod to vegetate the filter strip surrounding a surface trench. If hydroseeding or hand broadcasting must be used, then the contractor should install a sediment barrier between the filter strip and trench until the filter strip is fully vegetated. The contractor should install a pretreatment drop-inlet sediment filter around the pretreatment inlet to an underground trench. Keep the inlet filter in place until the trench's drainage area is fully stabilized with pavement and vegetation.
5. **Trench Grade:** The grade of the trench bottom and trench base should be as close to 0% as possible. Always install the trench parallel to elevation contours.
6. **Filter Fabric Installation:** Line the trench with geotextile fabric so that the cloth will completely surround the stone-filled reservoir; it should extend from the bottom of the trench to within six to twelve inches of the surface. The cut width of the fabric should include sufficient material to have a twelve inch overlap at the top of the enclosed stone. If overlaps are required between rolls of fabric, then the upstream roll should lap a minimum of two feet over the downstream roll to provide a shingled effect.





P.O. Box 1044 • Scarborough, Maine 04070-1044 • Phone 207-885-9703 • Fax 207-879-0293

Jim Freeman
29 Alice Court
Portland, Maine 04103
Phone: 838-8075

September 4, 2012

Landscape Proposal

K2 Landscape, Inc. is pleased to provide the following estimate for work at your home, located at 29 Alice Court in Portland, Maine. K2 Landscape, Inc. proposes to furnish all equipment and labor to perform the following work per our plan.

A: Concrete Paver Patio: includes:

- Refer to the design provided by K2 Landscape, Inc.
- Excavate and modify the existing soils with premium compacted gravel to ensure a proper, stable base.
- Install the concrete paver patio off the daylight basement, extending out from under the existing deck and encompassing the fire pit area.
- The style and color of the concrete paver has yet to be decided.
- Conduits will be installed for potential future irrigation and lighting.
- Sweep and wash sand into the joints for additional stability.

Option:

- Install a cobble stone edging along the exposed borders of the patio.

B: Natural Stone Retaining Wall: includes:

- Modify and compact the existing soils with premium gravel to ensure a proper, stable base.
- Construct a natural stone retaining wall extending from the house out to the stone steps.
- The wall will be approximately 24" high, with a column at one end, and retain the soils behind it.
- The column will have conduit installed for a potential lighting fixture.
- The stone will be interior-mortared with a dry-look exterior.

C: Natural Stone Wall & Fire Pit: includes:

- Modify and compact the existing soils with premium gravel to ensure a proper, stable base.
- Construct a natural stone seat wall in a semi-circle, with a column built at each end. The seat wall will be approximately 18" tall.
- The columns will have conduit installed for potential lighting fixtures.
- Construct a fire pit in the patio using natural stone.
- The dimensions of the fire pit are approximately 5'-0" wide on the outside and approximately 15" tall.
- Both the fire pit and the stone wall will be interior-mortared with a dry-look exterior.

D: Boulder Terraces: includes:

- Install natural stone boulders to retain the soils and create terraces extending from the patio along the rear and side of the home.
- There will be a set of natural stone steps installed to provide access to the upper and lower areas of the yard.
- There will be a series of stacked boulders running along the side of the lawn to hold up the new lawn on the side of the home.
- Install proper drainage materials behind the boulder walls.
- Backfill the walls and install screened loam on top for future plantings and grass installation.
- All proper conduits shall be installed for future use in irrigation and lighting.
- Planting amendment will be mixed with the loam to ensure proper nutrition for the plants in the planting bed areas.

All above work will be done in a substantial and workmanlike manner for the sum of \$_____.

A deposit of 1/3 is due upon acceptance of contract, 1/3 is due at commencement of work and the remainder is due upon completion. The contractor agrees to carry Workers' Compensation and general liability insurance.

Respectfully submitted,
David Kane
K2 Landscape, Inc.

David Kane

Date

Acceptance

Date

