

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND PERMIT ISSUED

Please Read
Application And
Notes, If Any,
Attached

BUILDING PERMIT

Permit Number **661-0111** 2010

This is to certify that THE VESTA-CORP The Vesta Corp
 has permission to build new 4 bedroom w/ (1) full bath (1) 3/4 bath (1) 2 1/2 bath (2) stairs single family colonial home w/ breezeway &
 AT 29 ALICE CT CP 386A-B014001 **City of Portland**

provided that the person or persons, firm or corporation securing this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

PERMIT ISSUED

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. OCT 21 2010
 Health Dept. _____
 Appeal Board _____
 Other City of Portland
Department Name


 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1151	Issue Date:	CBL: 386A B014001
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Location of Construction: 29 ALICE CT	Owner Name: THE VESTA CORP	Owner Address: P.O. BOX 1464	Phone: 207-232-8050
Business Name:	Contractor Name: The Vesta Corp	Contractor Address: P.O. Box 1464 Portland	Phone: 2072328050
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-2

Past Use: Vacant Land	Proposed Use: Single Family Home - build new 4 bedroom w/ (1) full bath (1) 1/4 bath (1) 1/2 bath (2) story single colonial home w/ breezeway & 2 car garage	Permit Fee: \$3,095.00	Cost of Work: \$300,000.00	CEO District: 5
		FIRE DEPT: N/A <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group R3 Type 50 IRC 2003	

Proposed Project Description: build new 4 bedroom w/ (1) full bath (1) 1/4 bath (1) 1/2 bath (2) story single family colonial home w/ breezeway & 2 car garage	Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 09/14/2010	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland N/A <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2010-008 Level I Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM OK w/ conditions Date: 10/2/10 ABM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied ABM Date:
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PERMIT ISSUED

OCT 21 2010

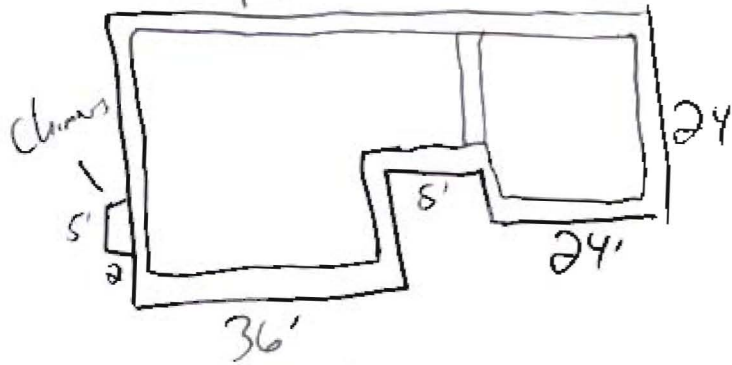
City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

10-28-10 Daylite
44



24" x 10" footer

8" wall

Keyway continue

2 #4 Rebar top + bottom in wall

all setbacks okay KLB

11-410

Depositor, 1/4 stone, Fabric, Positive Pressure ~~as per~~ is sketched
OK to break thru KLB



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

9.14 2010

Received from The Vista Corp.

Location of Work 29 Allen Court -

Cost of Construction \$ _____ Building Fee: 3020

Permit Fee \$ _____ Site Fee: 300

Certificate of Occupancy Fee: 75

Total: 3395

Building (1L) Plumbing (15) _____ Electrical (12) _____ Site Plan (U2) _____

Other SFH

CBL: 386 AB14

Check #: _____ Total Collected \$ 3395

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: J. P. [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1151	Issue Date:	CBL: 386A B014001
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Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-2

Past Use: Vacant Land	Proposed Use: Single Family Home - build new 4 bedroom w/ (1) full bath (1) 1/2 bath (1) 1/2 bath (2) story single colonial home w/ breezeway & 2 car garage	Permit Fee: \$3,095.00	Cost of Work: \$300,000.00	CFO District: 5
Proposed Project Description: build new 4 bedroom w/ (1) full bath (1) 1/2 bath (1) 1/2 bath (2) story single family colonial home w/ breezeway & 2 car garage		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R3 Type: SC IRL 2005 Signature: _____ Date: _____ PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approval <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Kobson	Date Applied For: 09/14/2010	Zoning Approval	
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PERMIT ISSUED

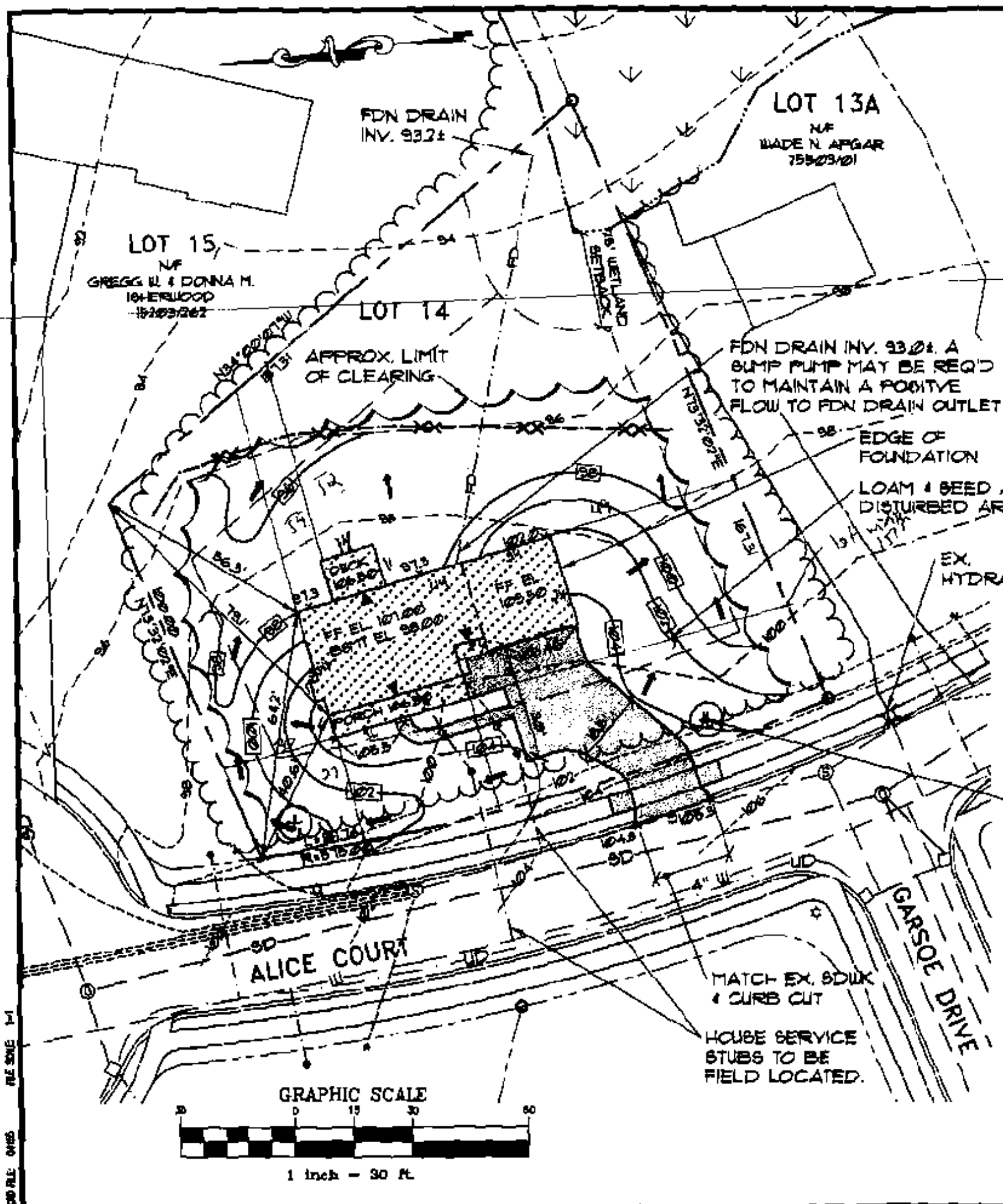
OCT 21 2010

City of Portland

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I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



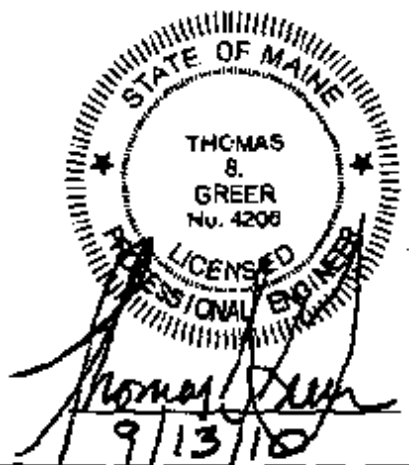
NOTES

1. OWNER/BUILDER: THE VESTA CORP., P.O. BOX 464, PORTLAND MAINE, CORD BOOK 27889, PAGE 35
2. PARCEL: 32363 sq. ft. (0.71 acres), PORTLAND TAX MAP 386A, LOT 0014001
3. ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, US ROUTE ONE, FALMOUTH, MAINE 04105
4. TOPOGRAPHIC AND BOUNDARY INFORMATION PROVIDED BY TITCOMB & ASSOCIATES, FALMOUTH, MAINE. ELEVATIONS ARE REFERENCED TO NAVD DATUM. BENCHMARK: STANDARD DISK ALBURN RM-1 SET FLUSH IN A 2' X 4' BOULDER BETWEEN 2-PINE TREES 10 FEET INTO WOODS FROM THE WOODS LINE, 198 FEET SOUTHEASTERLY FROM THE CENTERLINE OF THE FALMOUTH SPUR EASTBOUND, 83.96 FEET SOUTHEAST OF THE STATION MARK, 84.25 FEET NORTHEAST OF RT#7, 25 FEET SOUTHEAST OF THE RIGHT-OF-WAY FENCE, 61 FEET SOUTHWEST OF GRANITE TOWN LINE MONUMENT. ELEVATION = 122.31 FEET.
5. ROAD GRADES ARE BASED ON ALICE COURT DESIGN DRAWINGS. ACTUAL GRADES MAY VARY. ADJUST PROPOSED GRADES TO MATCH EXISTING CONDITIONS.
6. THIS PLAN IS FOR LOT 14. GRADING, BUILDING LOCATIONS, GENERAL DRAINAGE OR OTHER AMENITIES FOR ADJACENT LOTS IS NOT INCLUDED.
7. EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.
8. A BUMP PUMP FOR THE FOUNDATION DRAIN WILL BE REQUIRED IF A DAYLIGHT BASEMENT IS INCLUDED.
9. CONNECT WATER AND SEWER TO EXISTING STUBS
10. LOAM & SEED ALL DISTURBED AREAS.

LEGEND

	PROPERTY LINES
	BUILDING SETBACK
	ADJUTERS LOT LINE
	WETLAND BOUNDARY
	ORIGINAL EXISTING CONTOUR
	ROAD DESIGN CONTOUR
	PROPOSED CONTOUR
	SPOT GRADE
	EXISTING CURB
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING WATER LINE
	EXISTING UNDERDRAIN
	EXISTING DRAIN MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING CATCH BASIN
	EDGE OF DRIVEWAY
	EXISTING TREELINE, APPROXIMATE
	HOUSE SERVICE, FOUNDATION
	HOUSE SERVICE, SEWER
	HOUSE SERVICE, WATER
	DIRECTION OF SURFACE DRAINAGE
	SILT FENCE

2-STREET TREES REQ'D, OWNER MAY LEAVE 2 EXISTING TREES IN GOOD CONDITION, 3" MIN CALIPER OR INSTALL NEW TREES OF A SIMILAR SPECIES TO THOSE ON ADJACENT LOTS.



SITE PLAN

ALICE COURT #29
LOT 14, PORTLAND, MAINE

SCALE: 1"=30'
 DATE: SEPT. 13, 2010
 DESG BY: TSG
 PROJECT: 10142

01



Generated by REScheck Package Generator Compliance Certificate

Project Title: Single Family Home

Report Date: 10/21/10

Energy Code: 2003 IECC
Location: Portland, Maine
Construction Type: Single Family
Glazing Area Percentage: 15%
Heating Degree Days: 7378

Construction Site:
 29 Alice Ct
 Portland, ME 04102
 Permit # 10 1151
 Permit Date 09/14/2010

Owner/Agent:
 The Vesta Corp
 PO Box 1464
 Portland, ME 04104
 207-878-2217

Designer/Contractor:

Assembly	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor
Ceiling:	38.0		
Wall:	21.0	0.0	
Basement: Wall height: 8.0' Depth below grade: 5.0' Insulation depth: 8.0'	11.0		
Window:			0.300
Door:			0.350
Floor:	18.0		

Furnace: 85 AFUE

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. This proposed building has been designed to meet the 2003 IECC requirements in the REScheck Package Generator and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

 Name - Title Signature Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1151	Date Applied For: 09/14/2010	CR#: 386A B014001
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Location of Construction: 29 ALICE CT	Owner Name: THE VESTA CORP	Owner Address: P.O. BOX 1464	Phone: 207-232-8050
Business Name: PERMIT ISSUED	Contractor Name: The Vesta Corp	Contractor Address: P.O. Box 1464 Portland	Phone: (207) 232-8050
Lessee/Buyer's Name: 217 2010	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - build new 4 bedroom w/ (1) full bath (1) 1/2 bath (1) 1/4 bath (2) story single family colonial home w/ breezeway & 2 car garage	Proposed Project Description: build new 4 bedroom w/ (1) full bath (1) 1/2 bath (1) 1/4 bath (2) story single family colonial home w/ breezeway & 2 car garage
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 10/07/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			

Dept: Building	Status: Approved with Conditions	Reviewer: Jonathan Rioux	Approval Date: 10/20/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) Fastener schedule per the IRC 2003 2) The garage shall be separated from the residence by not less than 1/2 inch gypsum board applied to the garage side, and structure (walls) supporting the separation. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8 inch Type X gypsum board or equivalent. 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans. 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. 5) Hardwired interconnected battery backup smoke detectors, and a Carbon Monoxide Detector hardwired, or plug in with battery backup shall be installed in all bedrooms, protecting the bedrooms, and on every level. 6) Energy Efficiency (N1101.2.1) *R-Factors of Walls, Floors, Ceilings, Building Envelope must be submitted to this Office prior to close-in or backfill. 7) Frost protection (decks included) must be installed per the enclosed detail as discussed w/owner/contractor (at least 4' from grade). 8) Stairway headroom shall be not less than 6 feet 8 inches measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform. 9) The attic scuttle opening must be 22" x 30". 			

Dept: DRG	Status: Approved with Conditions	Reviewer: Philip DiPietro	Approval Date: 10/19/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) The electrical service is to be connected to the transformer across the street. 2) The foundation drain as shown on the site plan dated September 13, 2010, shall be shortened to approximately elevation 96' near the clearing limits, and is to be located so that its' outlet does not negatively impact the abutments. The outlet shall be directed towards the wetland. 			

Location of Construction:	Owner Name:	Owner Address:	Phone:
29 ALICE CT	THE VESTA CORP	P.O. BOX 1464	207-232-8050
Business Name:	Contractor Name:	Contractor Address:	Phone:
	The Vesta Corp	P.O. Box 1464 Portland	(207) 232-8050
Lessee/Buyer's Name:	Phone:	Permit Type:	
		Single Family	

- 3) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
- 4) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 5) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 6) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 8) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 9) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 10) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 11) All Site work (final grading, landscaping, loans and seed) must be completed prior to issuance of a certificate of occupancy.
- 12) Trees that are designated to be saved are to be protected during excavation and construction. Tree protection fencing is to be installed around the tree canopy drip line prior to the start of any excavation. Tree protection measures are to be inspected and maintained daily.

Comments:

9/24/2010-amachado: Completed review. Deck is not shown on building plans but it is on elevations and site plan. Emailed Phil to see if he needed anything.

10/7/2010-amachado: Spoke to Mike DiMillo. He is building the deck. Will submit building plans for it.

10/18/2010-jrioux: Hold, scheduled Mtg. With Owner.

10/19/2010-jrioux: Met with Homeowner: he amended the plan to include a 24" by 30" attic access point; increased the headroom to the interior stairwells; provided a deck framing detail and footing damp proofing- dimensions/ depths; NFPA 211 disclosure form will be required; and a "fire door" to the dwelling unit from the garage.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

X **Footing/Building Location Inspection:** Prior to pouring concrete or setting precast piers

X **Foundation Inspection:** Prior to placing ANY backfill for below grade occupable space

X **Framing/Rough Plumbing/Electrical:** Prior to Any Insulating or drywalling

X **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

OCT 21 2010

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or other charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>29 Alice Court, Portland</u>		
Total Square Footage of Proposed Structure/Area <u>L.S. 2800 / Footprint = 1744</u>	Square Footage of Lot <u>.47</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>386</u> Block# <u>A</u> Lot# <u>B014</u>	Applicant *must be owner, Lessee or Buyer* Name <u>The Vesta Corporation</u> Address <u>P.O. Box 1464</u> City, State & Zip <u>Portland, ME 04104</u>	Telephone <u>O = 879-2217</u> <u>C = 232-8050</u> <u>or 232-1010</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name <u>Above</u> Address City, State & Zip <u>CCRD BK: 27839, Pg 35</u>	Cost Of Work <u>\$300,000-</u> C of O Fee \$ <u>3020</u> Total Fee \$ <u>300</u> <u>75</u>
Current legal use (i.e. single family) <u>Vacant Land</u> Number of Residential Units <u>0</u> If vacant, what was the previous use? <u>None</u> Proposed Specific use: <u>Single Family Residence</u> Is property part of a subdivision? <u>Yes</u> If yes, please name <u>Auburn Acres</u> Project description: <u>to construct 2 story colonial home with breezeway & 2 car garage</u> <u>3 bed 1-3/4 .5</u>		
Contractor's name: <u>The Vesta Corporation</u> Address: <u>P.O. Box 1464</u> City, State & Zip: <u>Portland, ME 04104</u> Telephone: <u>879-2217</u> Who should we contact when the permit is ready: <u>Mike D'Amico</u> Telephone: <u>232-8050</u> Mailing address: <u>P.O. Box 1464, Portland, ME 04104</u> <u>232-1010</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

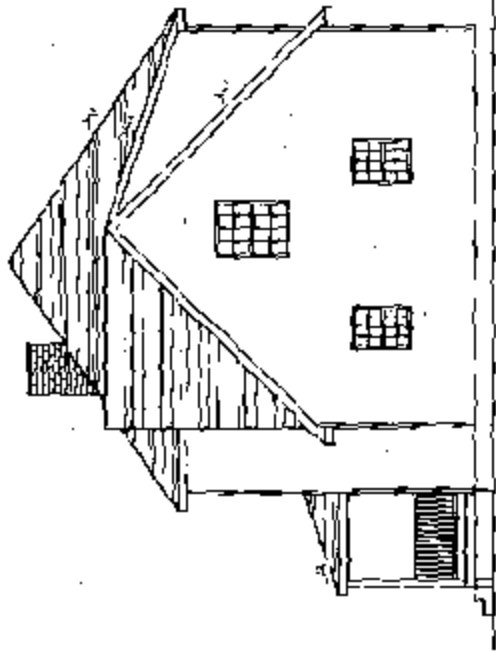
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

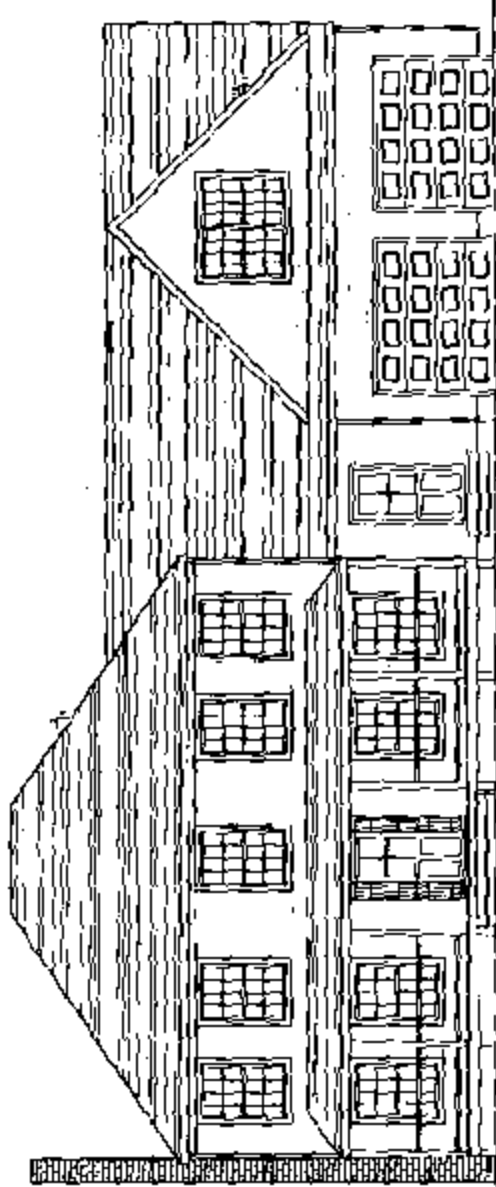
Signature: Michael A. D'Amico Date: 9/13/10

This is not a permit; you may not commence ANY work until the permit is issued

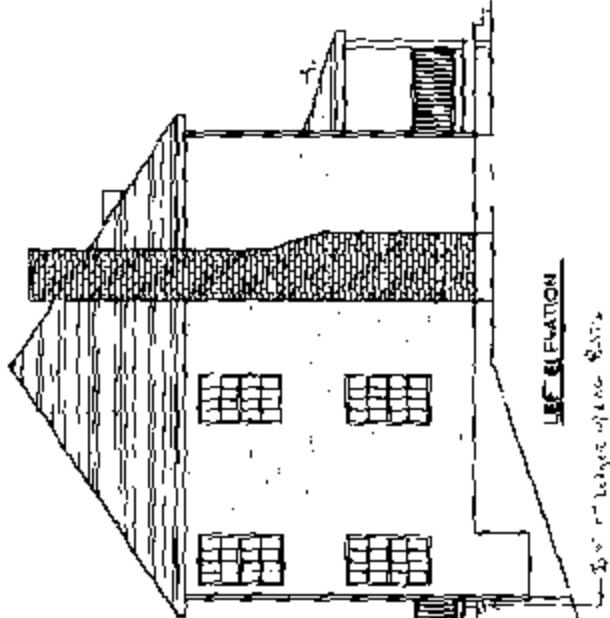
RECEIVED
SEP 14 2010
Dept. of Building Inspections
City of Portland, Maine



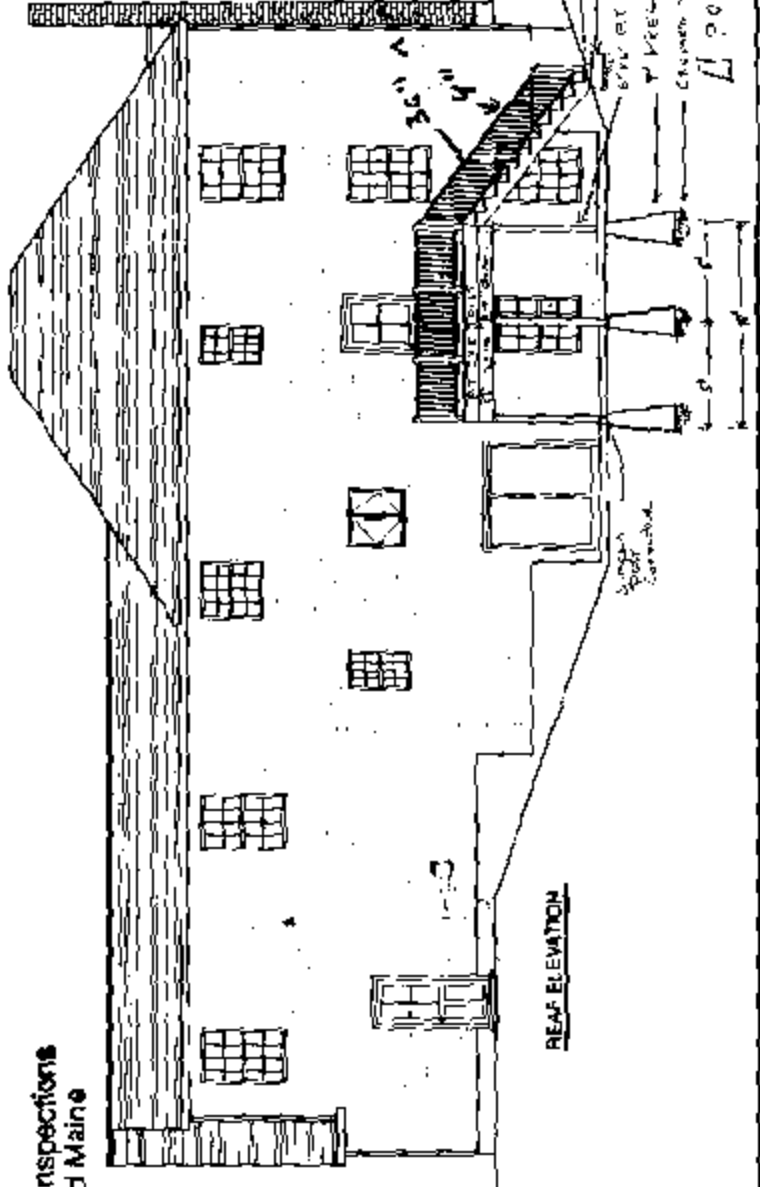
FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION

RECEIVED

OCT 13 2010

Dept. of Building Inspections
City of Portland Maine

ASSOCIATED DESIGN PARTNERS INC.
10221 BIRCH
PORTLAND, MAINE 04106
TEL: 603.876.1234
FAX: 603.876.1235
www.associateddesign.com

PROJECT: ALICE COURT
PORTLAND, MAINE
ARCHITECT: ASSOCIATED DESIGN PARTNERS INC.
SHEET NO. 102243
DATE: 10/13/10

BUILDING ELEVATIONS

ALICE COURT
PORTLAND, MAINE
ARCHITECT: ASSOCIATED DESIGN PARTNERS INC.

NO.	DATE	DESCRIPTION	BY
1	10/13/10	ISSUED FOR PERMITS	ASD

102243
SHEET NO. 102243
DATE: 10/13/10



ASSOCIATED DESIGN PARTNERS INC.
 1000 NE Oregon Street, Suite 1000
 Portland, Oregon 97232
 Phone: 503.255.1781
 Fax: 503.255.1782
 Website: www.associateddesign.com



ALICE COURT
PORTLAND, ME
THE VESTA CORP.
SECOND FLOOR PLAN W/ CEILING FRAMING PLAN

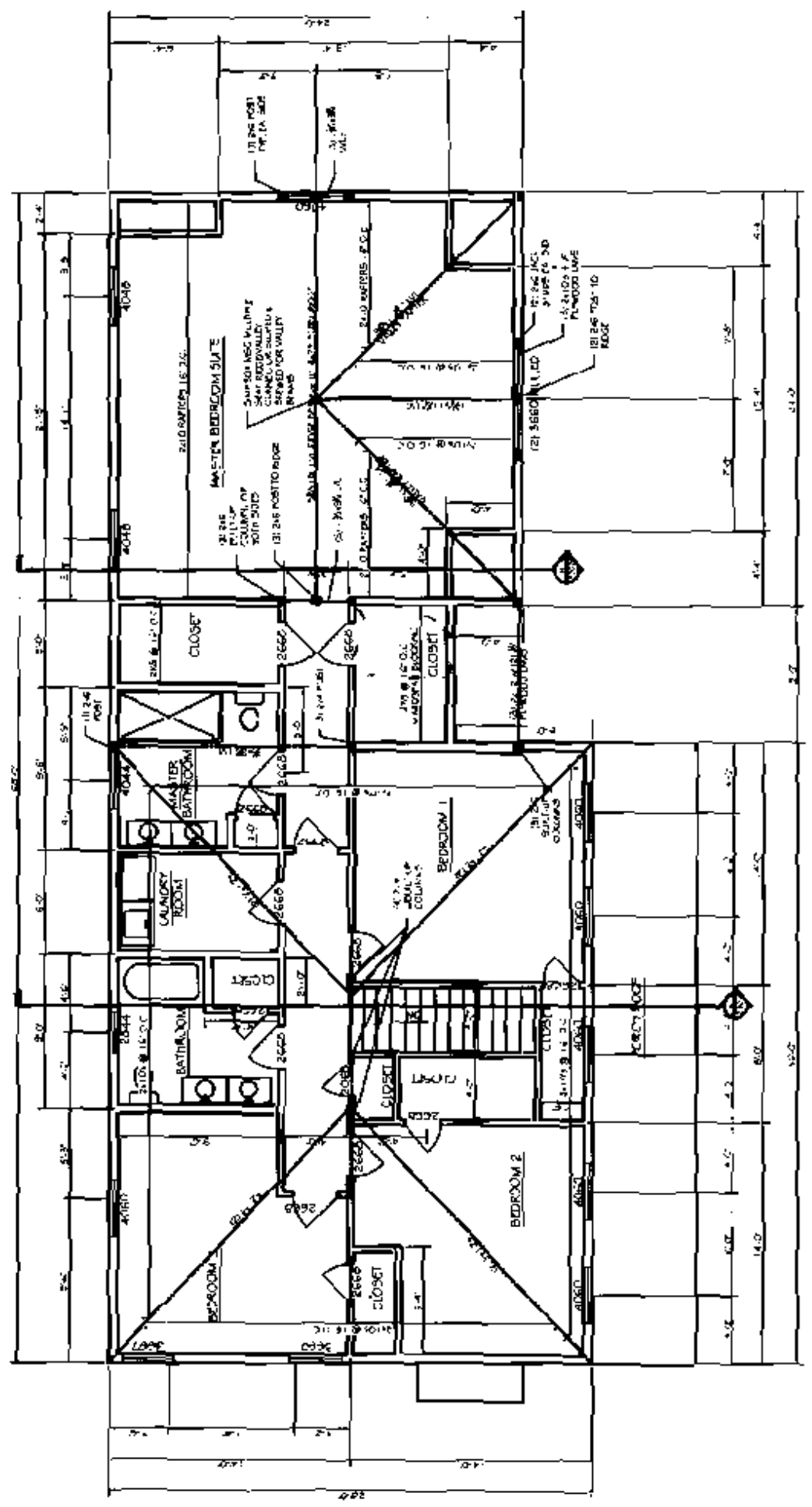
DATE	DESCRIPTION

DATE: 10-13-11
 DRAWN BY: J. J. [unreadable]
 CHECKED BY: [unreadable]
 PROJECT NAME: ALICE COURT
 SHEET NO: 10243
 TOTAL SHEETS: 5102

THIS PLAN IS THE PROPERTY OF ASSOCIATED DESIGN PARTNERS INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF ASSOCIATED DESIGN PARTNERS INC. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PROJECT. THE USER OF THIS PLAN AGREES TO HOLD ASSOCIATED DESIGN PARTNERS INC. HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY ASSOCIATED DESIGN PARTNERS INC. AS A RESULT OF THE USER'S USE OF THIS PLAN.

- NOTES:**
1. ALL THE WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL STRUCTURAL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2009 NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL ORDINANCES.
 4. ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL CODE (IMC) AND ALL APPLICABLE LOCAL ORDINANCES.
 5. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL PLUMBING CODE (IPC) AND ALL APPLICABLE LOCAL ORDINANCES.
 6. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL FINISHES CODE (IFC) AND ALL APPLICABLE LOCAL ORDINANCES.
 7. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL DIMENSIONING CODE (IDC) AND ALL APPLICABLE LOCAL ORDINANCES.
 8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 9. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
 10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE 2009 INTERNATIONAL GREEN BUILDING CONVENTION (IGBC) AND ALL APPLICABLE LOCAL ORDINANCES.
 11. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE 2009 INTERNATIONAL WELL-BEING CONVENTION (IWC) AND ALL APPLICABLE LOCAL ORDINANCES.
 12. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE 2009 INTERNATIONAL SUSTAINABLE BUILDING CONVENTION (ISBC) AND ALL APPLICABLE LOCAL ORDINANCES.

NOTES:
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ASSOCIATED DESIGN PARTNERS INC.
 1000 NE Oregon Street, Suite 100
 Portland, OR 97232
 Tel: 503.255.1100
 Fax: 503.255.1101



ALICE COURT
 PORTLAND, ME
 FOR VESTA CORP

FIRST FLOOR PLAN W/ SECOND FLOOR FRAMING

NO.	REVISION	DATE

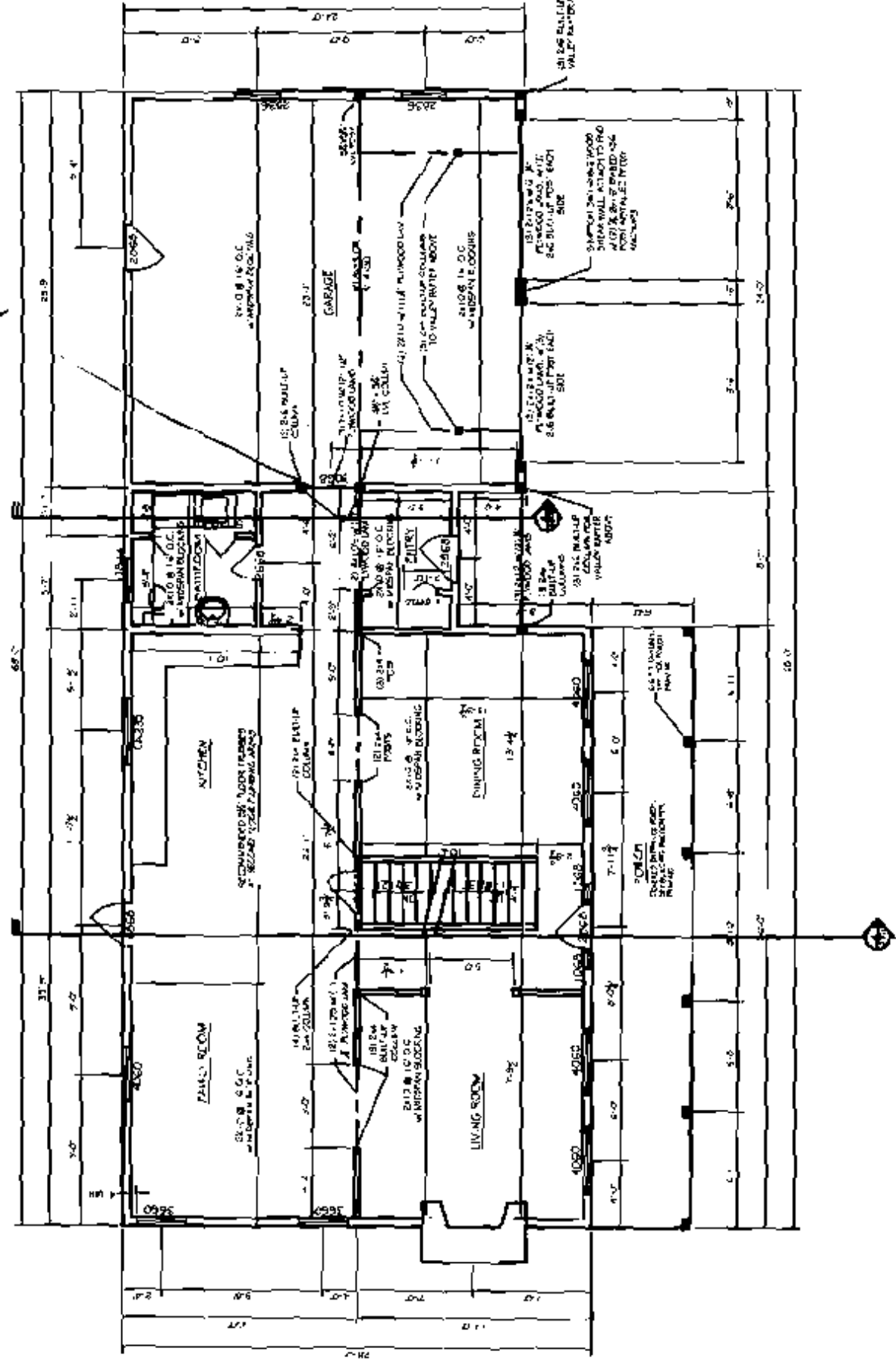
10243
 SHEET NO. **8101**

THIS SET OF ARCHITECTURAL DRAWINGS IS THE PROPERTY OF ASSOCIATED DESIGN PARTNERS INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF ASSOCIATED DESIGN PARTNERS INC. IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS.

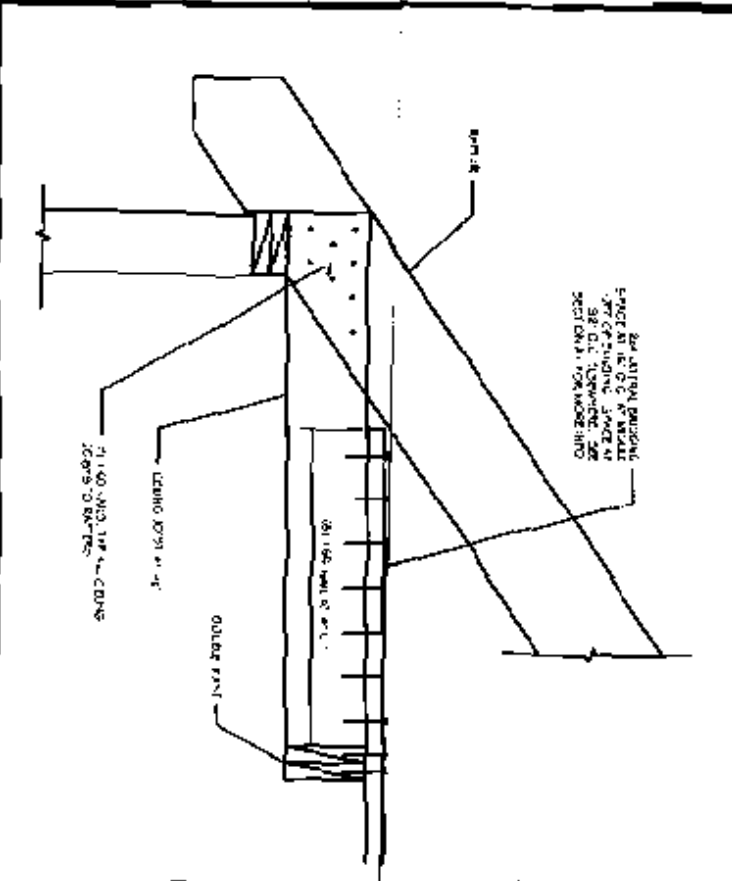
- NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE OREGON BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE OREGON ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE OREGON MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE OREGON PLUMBING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE OREGON FIRE AND SAFETY CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE OREGON LANDSCAPE ARCHITECTURE CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE OREGON ENVIRONMENTAL QUALITY ACT AND ALL APPLICABLE LOCAL ORDINANCES.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE OREGON HISTORIC PRESERVATION ACT AND ALL APPLICABLE LOCAL ORDINANCES.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE OREGON CULTURAL RESOURCES ACT AND ALL APPLICABLE LOCAL ORDINANCES.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE OREGON ANTI-CORRUPTION ACT AND ALL APPLICABLE LOCAL ORDINANCES.
 11. ALL WORK SHALL BE IN ACCORDANCE WITH THE OREGON CONSUMER PROTECTION ACT AND ALL APPLICABLE LOCAL ORDINANCES.

NOTE
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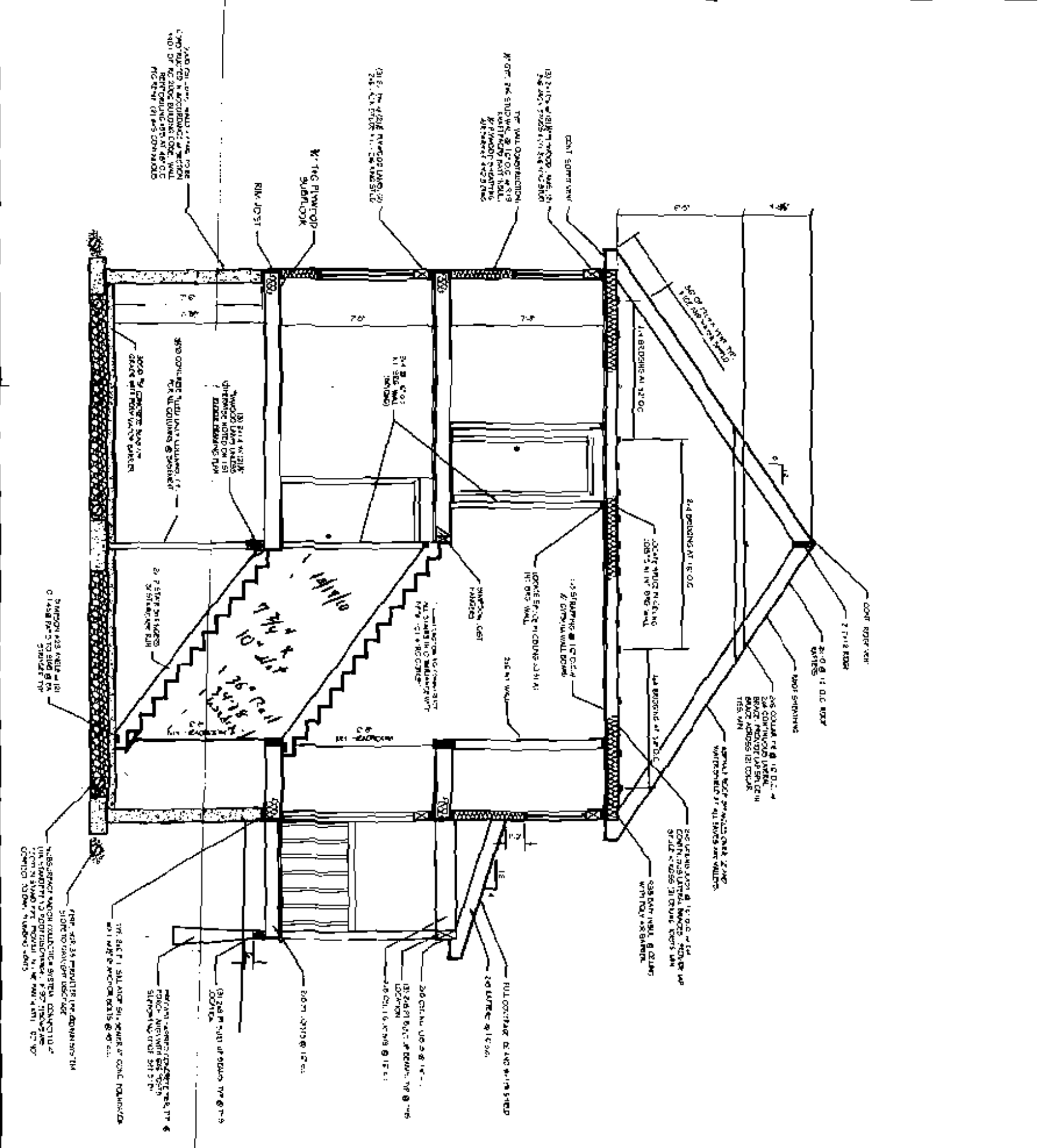
Handwritten: 1st floor door



A1
DETAIL AT HP RAFTER
SCALE: 3/4" = 1'-0"



A2
BUILDING SECTION
SCALE: 3/4" = 1'-0"



THIS P.E. REVIEW COVERS STRUCTURAL FRAMING MEMBERS ONLY FOR NEW OR MODIFIED STRUCTURE ONLY. DESIGN AND DETAIL FOR FOUNDATION, CLADDING, FINISHES, CONNECTIONS (UNLESS OTHERWISE NOTED), CONNECTIONS AND JOINTS, FINISHES, TYPICAL LAYOUT AND JOINTS, CORE REQUIREMENTS HAVE NOT BEEN REVIEWED AND ARE BEYOND THE PURVIEW OF THIS P.E. SIGN. USE OF THESE DRAWINGS INDICATED OWNER'S CONTRACTOR AGREEMENT TO THESE TERMS.

10243
SHEET NO. 5301

NO.	REVISION	DATE

PROJECT: ALICE COURT
PORTLAND, ME
FOR: VISTA CORP

SHEET TITLE: BUILDING SECTION

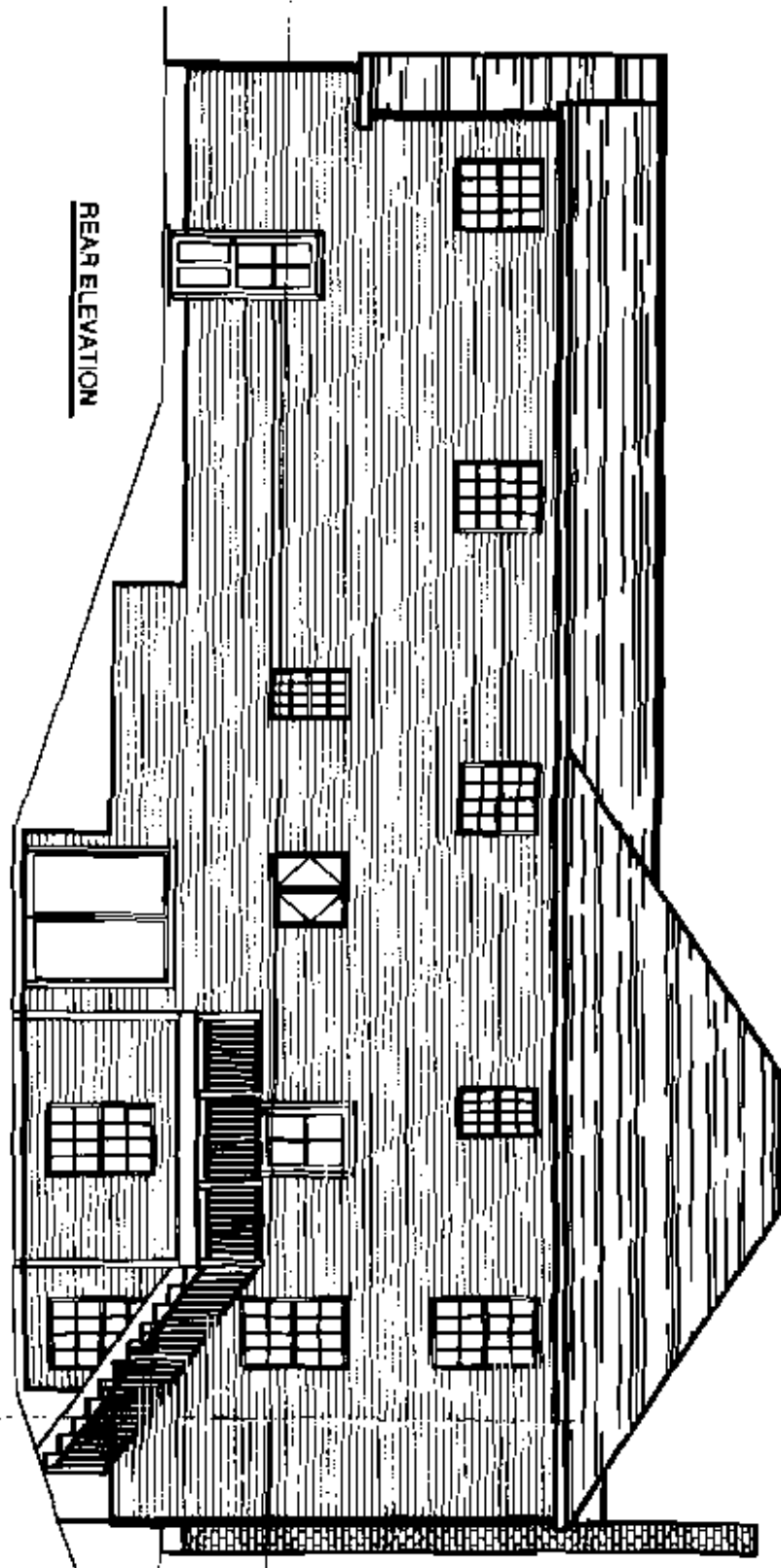
DATE: 10/24/03
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN

ASSOCIATED DESIGN PARTNERS INC.

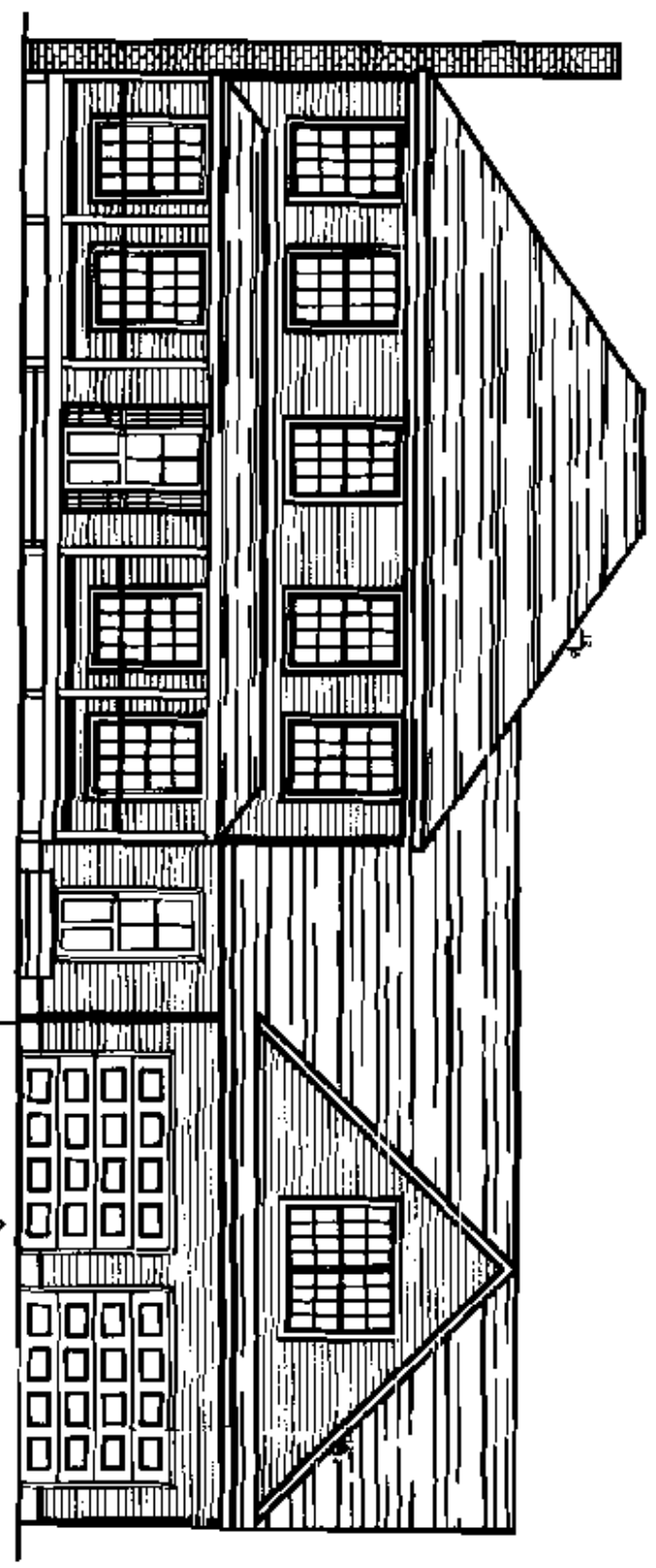
80 Lakewood Road
Portland, ME 04105

TEL: (603) 878-1700
FAX: (603) 878-1700
WWW: www.associateddesign.com



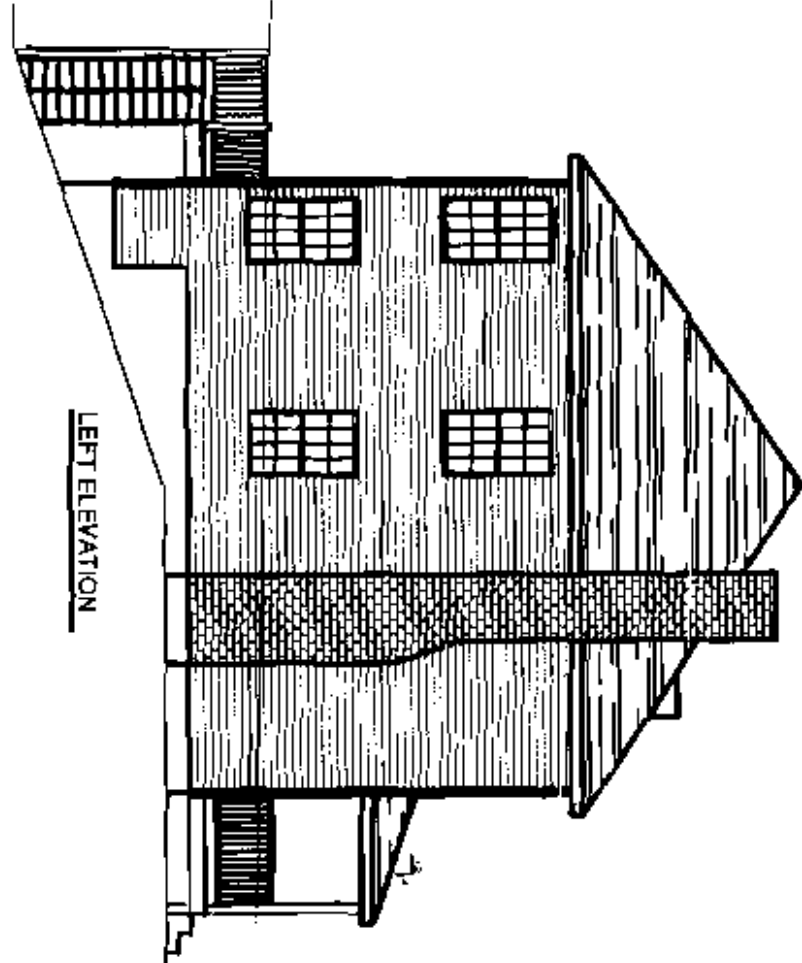


REAR ELEVATION

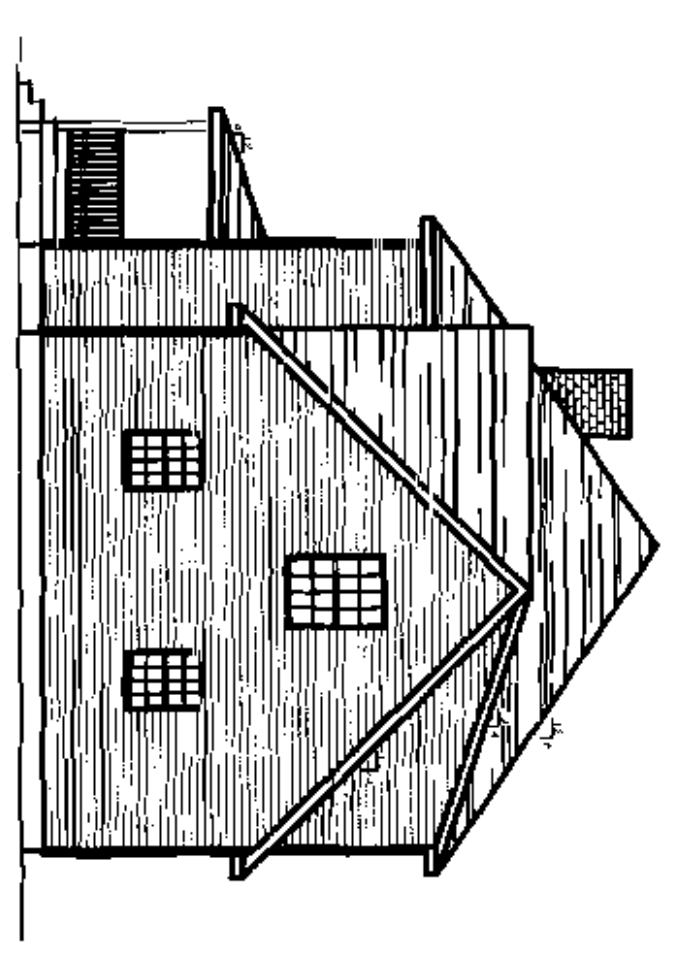


RIGHT ELEVATION

*5/6" gypsum
wall on center
of door*



LEFT ELEVATION



FRONT ELEVATION

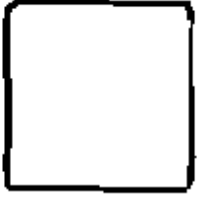
NO.	DATE	BY	DESCRIPTION
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PROJECT: ALICE COURT
 PORTLAND, MAINE
 FOR VESTA CORP
 SHEET TITLE: BUILDING ELEVATIONS



ASSOCIATED DESIGN PARTNERS INC.
 85 Leighton Street, Portland, Maine 04102
 Office: (207) 878-1751
 Fax: (207) 878-1750
 E-Mail: info@adpartners.com



Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Engineered / Steeped $\frac{12}{12}$; $\frac{12}{12}$ & $\frac{12}{12}$	okay
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	Roof $\frac{1}{2}$ " Wall $\frac{1}{2}$ "; $\frac{3}{4}$ " Floor	
Fastener Schedule (Table R602.3(1) & (2))		5
Private Garage (Section R309) Living Space? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	$\frac{5}{8}$ " Ceiling 20 min Fire door	okay
Emergency Escape and Rescue Openings (Section R310)		
Roof Covering (Chapter 9)	Asphalt	okay
Safety Glazing (Section R308)		okay
Attic Access (Section R807)	Not shown 24x20" required	(2) 24x20" Bed #2 closet
Chimney Clearances/Fire Blocking (Chap. 10)		NFPA 211 Sign-off
Header Schedule (Section 502.5(1) & (2))	(2) 2x10" (exterior) (3) 2x12 Basement	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration		6

Type of Heating System	Solid Fuel	
Means of Egress (Sec R311 & R312) Basement	Egress windows shown	okay
Number of Stairways		
Interior		
Exterior		
Treads and Risers (Section R311.5.3)	7 3/4" w/ 10" net	okay
Width (Section R311.5.1)		
Headroom (Section R311.5.2)	→ Headroom to rising not place 6'8"	(1) → Amended okay
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)		
Smoke Detectors (Section R313) Location and type/Interconnected	CO/smk. Req'd Deck	(3)
Draftstopping (Section R502.12) and Fireblocking (Section R602.8)		okay
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)		
Deck Construction (Section R502.2.1)	(3) 2x8" 2x10 FT beam over present posts w/ fast w/ hangers	(4) okay amended ↓ "Removed"

6" x 6" pad for
stair landing

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
STRUCTURAL		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	8" Wall 12 x 20"	7 amended <u>okay</u>
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Damp proofing	<u>okay</u>
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	Engine shown	<u>okay</u>
Anchor Bolts/Straps, spacing (Section R403.1.6)		
Lally Column Type (Section R407)	Engineered/strapped	<u>okay</u>
Girder & Header Spans (Table R 502.5(2))		
Built-Up Wood Center Girder Dimension/Type		
Sill/Band Joist Type & Dimensions		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2 x 10' @ 16" o.c. - 14 shown 15 5" 12x	<u>okay</u>
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	3 x 10' @ 16" o.c.	<u>okay</u>
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2 x 8" @ 16" o.c.	



New Residential Single Family Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

All new two-family residential developments will be required to go through the minor size plan review process.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations to scale
- Stair details including dimensions of rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEBC 2003
- Deck construction including pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are also required if original plans are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

Four (4) copies of the boundary survey/site plan are required and must include:

- A stamped boundary survey to scale showing north arrow, zoning district & setbacks to a scale of $\geq 1" = 20'$.
The boundary survey should include the following:
 - The footprint of the proposed structure and the distance from the actual property lines. Structures include decks, porches, steps, bow windows, cantilever sections and roof overhangs, sheds, pools, garages, and any other accessory structures and must be shown to scale. Photocopies of the plat or hand drawn footprint not to scale will not be accepted. The footprint should be consistent with the building plan.
 - Location and dimensions of parking areas and driveways
 - Finish floor or sill elevation (based on mean sea level datum)
 - Location of proposed utilities
 - Existing and proposed grades/contours
 - Silt fence (erosion control) locations
 - Location of two required street trees
- Separate requirements may apply for lots on unimproved streets
- A reduced boundary survey/site plan is required if original is larger than 11' x 17"

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost
Site plan review fee: \$300.00

This is not a Permit; you may not commence any work until the Permit is issued.

Ann Machado - New single family at 29 Alice Court

From: Ann Machado
To: Philip DiPiero
Date: 9/24/2010 12:57 PM
Subject: New single family at 29 Alice Court

Just completed my review. The only issue I have is that the deck is not shown on the building plans. I have not notified Mike DiMillo yet. I'm waiting to see if you need anything.

Thanks.

Ann

Applicant: Vesta Corporation (Mila Di Millo)

Date: 9/24/16

Address: 29 Alice Court (Lot 14 Arbor Park)

C-B-L: 386A-B-14
permit # 10-1451

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - build 2 story single family w/ 2 car attached garage

Sevage Disposal - public

Lot Street Frontage - 50' min - 151.76' given (OK)

Front Yard - 25' min - 27' scaled to front left corner of front porch

Rear Yard - 25' min - 59' scaled to rear left corner of house (OK)
52' " " deck (OK)

Side Yard - 15' by 8' min
49' scaled on right (OK)
30' scaled on left (OK)

Projections -

Width of Lot - 65' min - 151' scaled

Height - 35' max - 28.75' scaled @ lowest side (OK)

Lot Area - 6,500 sq ft min - 20,553 sq ft

Lot Coverage Impervious Surface - 35% = 7193 sq ft

Area per Family - 6500 sq ft (OK)

Off-street Parking - 2 spaces required - 2 car garage

Loading Bays - N/A

Site Plan - ~~paper~~ Level 1 - Minor Residential - 2010-0030

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 2 - Zone X

* partial daylight basement

garage 65 x 21 = 1632

10 x 36 = 360

chimney 2 x 5 = 10

deck 14 x 11 = 154

2156 sq ft

(OK)

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning Copy

Marge Schmuckal

2010-0030

Application I. D. Number

9/14/2010

Application Date

The Vesta Corp.

Applicant

P.O. Box 1484, Portland, ME 04104

Applicant's Mailing Address

Mike DiMillo

Consultant/Agent

Applicant Ph: (207) 878-2297

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

29 - 20 Alice Ct, Portland, Maine

Address of Proposed Site

388A B014001

Assessor's Reference: Chart-Block-Lot

Single Family Home

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Apt # Condo # Other (specify) _____

Proposed Building Square Feet or # of Units _____ Acreage of Site _____ Proposed Total Disturbed Area of the Site _____ Zoning _____

Check Review Required:

Site Plan (major/minor)

Zoning Conditional - PB

Subdivision # of lots _____

Design Review

Amendment to Plan - Board Review

Zoning Conditional - ZBA

Shoreland

Historic Preservation

DEP Local Certification

Amendment to Plan - Staff Review

Zoning Variance

Flood Hazard

Site Location

After the Fact - Major

Stormwater

Traffic Movement

Housing Replacement

After the Fact - Minor

PAD Review

14-403 Streets Review

Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 9/17/2010

Zoning Approval Status:

Reviewer _____

Approved

Approved w/Conditions
See Attached

Denied

Approval Date _____

Approval Expiration _____

Extension to _____

Additional Sheets
Attached

Condition Compliance

signature _____

date _____

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

date _____

amount _____

expiration date _____

Inspection Fee Paid

date _____

amount _____

Building Permit Issue

date _____

Performance Guarantee Reduced

date _____

remaining balance _____

signature _____

Temporary Certificate of Occupancy

date _____

Conditions (See Attached)

expiration date _____

Final Inspection

date _____

signature _____

Certificate Of Occupancy

date _____

Performance Guarantee Released

date _____

signature _____

Defect Guaranteed Submitted

submitted date _____

amount _____

expiration date _____

Defect Guaranteed Released

date _____

signature _____



**Level I: Minor Residential
Site Plan Application
PORTLAND, MAINE**

Planning and Urban Development Department
Planning Division and Planning Board

PROJECT NAME: 29 Alice Court

PROPOSED DEVELOPMENT ADDRESS: 29 Alice Court Portland

PROJECT DESCRIPTION: New construction of 2200 SF single family residence with attached 2 car garage.

CHART/BLOCK/LOT: 386-A-14 PRELIMINARY PLAN _____

FINAL PLAN _____

CONTACT INFORMATION:

APPLICANT
Name: Mike DiMillo
The Vista Corp
Address: P.O. Box 1464
Portland, ME
Zip Code: 04104
Work #: 779-2217
Cell #: 232-8650
Fax #: 279-2217
Home: 779-2217
E-mail: mike.d@maine
rr.com

PROPERTY OWNER
Name: Same as
Address: Applicant
Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

BILLING ADDRESS

Name: APPL
Address: _____

Zip: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

AGENT/REPRESENTATIVE

Name: Mike DeMillo
 Address: P.O. Box 1464
Portland ME
 Zip Code: 04104
 Work #: 879-2217
 Cell #: 232-8050
 Fax #: 879-2217
 Home: 879-2217
 E-mail: mdeMillo@maine
fr.com

SURVEYOR

Name: Thomas Asson
 Address: 133 Gray Rd
Falmouth ME
 Zip Code: 04105
 Work #: 797-9199
 Cell #: _____
 Fax #: _____
 Home: _____
 E-mail: _____

ENGINEER

Tom Greer
 Name: Pinkham & Greer
 Address: 322 US Rt 1
Falmouth ME
 Zip Code: 04105
 Work #: 781-5242
 Cell #: _____
 Fax #: 781-4245
 Home: _____
 E-mail: tgreer@pinkhamand
greer.com

General Submittal Requirements - Level 1 Minor Residential

Applicant Checklist	Planner Checklist	Number of Copies	Submittal Requirement
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	4	Completed application form.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	1	Application fees.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	4	Written description of project.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	4	Evidence of right, title and interest.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4	Copies of required state and/or federal permits.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	1	Written assessment of zoning.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written Description of existing and proposed easements or other burdens. <i>Deed</i>
<input type="checkbox"/>	<input type="checkbox"/>	1	Written requests for waivers from individual site plan and/or technical standards. <i>N/A</i>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	4	Evidence of financial and technical capacity. <i>Letter of Buyer</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	4	Evidence of utilities capacity to serve the development. <i>PWD</i>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	4	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). <i>Submittals of Plans</i>

Site Plans and Boundary Survey Requirements - Level 1 Minor Residential

Applicant Checklist	Planner Checklist	Number of Copies	Submittal Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4	Boundary survey meeting the requirements of section 13 of the City of Portland Technical Manual.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4	Site Plan including the following:
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed ground floor area and finish floor elevation (FFE).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Exterior building elevations (show all 4 sides).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Identification of any proposed protection measures for any significant natural features located in the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities (or septic system, where applicable)
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed grading and contours.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed stormwater management and erosion controls.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Total area and limits of proposed land disturbance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed protections to or alterations of watercourses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed wetland protections or impacts.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing vegetation to be preserved and proposed site landscaping and street trees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed curb and sidewalk.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed easements or public or private rights of way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ A reduced boundary survey/site plan is required if original is larger than 11'x17'

THE VESTA CORPORATION
PO BOX 1464
PORTLAND, ME 04104
(207) 879-2217

September 14, 2010

Ms. Barbara Barhydt, Development Review Services Manager
Dept. of Planning and Development
Portland City Hall
389 Congress Street
Portland, ME 04101

RE: Minor Residential Site Plan Application

Dear Ms. Barhydt,

Enclosed please find a complete Minor Residential Site Plan application and supporting information for 29 Alice Court, Portland. Pinkham and Greer has been retained to prepare the site plans for the proposed house location on the site located on Portland Tax Map 386- A -8-014, property owned by The Vesta Corporation of Portland, ME. Our deed is enclosed in this packet.

The lot is an approved building lot with a size of .472 acres and is part of the Auburn Pines Subdivision.

Site Description:

This site is located within the Auburn Pines Subdivision at 29 Alice Court, a city street. The property is abutted by single family residential homes on both sides. There are also single family residences across the street. The lot slopes from road to back boundary (per the plan) and the house will have a full walkout basement with gradual slopes around the structure.

Proposed Use:

This proposal includes construction of a 28' X 36' Colonial style home with attached breezeway and 2 car garage. The home will include 4 Bedrooms and 1 full bath, (1) three-quarter bath and 1 half bath and will be approximately 2800 square feet. (See attached plans).

Zoning:

This location is zoned R-2 with residential homes a permitted use within this zone.

Title, right and interest:

Copy of deed attached. All easements, restrictions are contained therein.

Financial Capacity:

The Vesta Corporation has secured a purchase and sale agreement from James and Elizabeth Freeman of 88 Winding Way, Portland, ME. They will be financing the building of this home through Norway Savings Bank. A copy of their loan approval is enclosed.

Utilities:

The lot is serviced by underground utilities via CMP, Portland Public Services and Portland Water District. Location /access to utilities are depicted on the attached plans. Letters of serviceability have been sent to the agencies and their response is forthcoming (copies are attached).

Erosion Control:

Silt fencing and mulching as shown on plans. Additional as needed.

Wetlands:

There is a small area within right rear and side setback as shown on plans.

Fire Safety:

Alice Court can be accessed from either Garsoe Dr. or Alice Street, both public streets. There is hydrant located within 100 feet of the property.

Adjuters:

Wade Apgar
15 Alice Court
Portland, ME 04103

Gregg and Donna Isherwood
39 Alice Court
Portland, ME 04103

Sincerely,



Michael A. DiMillo
President, The Vesta Corporation

**WARRANTY DEED
(Maine Statutory Short Form)**

KNOW ALL PERSONS BY THESE PRESENTS, that, Helen F. Anderson of Portland, Maine, for consideration paid, hereby GRANTS to The Vesta Corporation, a Maine corporation with a mailing address of P.O. Box 1464, Portland, ME 04104, with **WARRANTY COVENANTS**, the land with any buildings thereon situated at 29 Alice Court Portland, County of Cumberland and State of Maine, described as follows:

See Attached Exhibit A

Meaning and intending to convey the same premises conveyed to Helen F. Anderson by virtue of a Deed from David L. Leborgne and Adele C. Leborgne dated October 14, 2009 and recorded in the Cumberland County Registry of Deeds in Book 27322, Page 147.

Witness my hand and seal this 10th day of June, 2010.

MAINE REAL ESTATE TAX PAID



Witness




Helen F. Anderson

STATE OF MAINE
COUNTY OF Cumberland

June 10, 2010

Then personally appeared before me the above named Helen F. Anderson and acknowledged the foregoing instrument to be her free act and deed.

Before me,


Notary Public / Attorney at Law
Printed Name: Matthew J. McDonald
My Comm. Exp:
Matthew J. McDonald
Maine Attorney at Law

EXHIBIT A

A certain lot or parcel of land with the improvements thereon situated in the City of Portland, County of Cumberland and State of Maine, described as follows:

Lot No. 14 as depicted on the Auburn Pines Subdivision Plan recorded in the Cumberland County Registry of deeds in Plan Book 199, Page 393.

The property described herein is conveyed subject to the Declaration of Restrictions and Covenants for Auburn Pines as set forth in instrument dated August 1999 and recorded in Book 14981, Page 172.

Received
Recorded Registrar of Deeds
Jan 14, 2010 12:07:42P
Cumberland County
Penelope E. Louder



September 3, 2010

James H. Freeman
Elizabeth C. Freeman
88 Winding Way
Portland, ME 04102

Thank you for choosing Norway Savings Bank to provide you with financing for a new home. Your Pre-Qualification for a new mortgage has been conditionally approved for the purchase price:

\$466,800.00

This Pre-Qualification has been issued based on the information you provided in our online application and the credit information I obtained with your permission.

Of course, after you decide on a new home, I must still document your income, assets, liabilities and other relevant information (such as property value and title information).

You may want to share this letter with real estate brokers or sellers so they know that you have been pre-qualified for a mortgage.

After you have found the perfect home and are ready to complete the application process, contact me by phone at 207-482-7907 or via e-mail at dtais@norwaysavingsbank.com so that I can begin to prepare for your loan closing.

Please note that this Pre-Qualification expires on 12/03/2010. If you do not find the home you wish to purchase by that date, please contact me for an extension.

I look forward to providing you with home financing. If you have any questions, please feel free to contact me.

A handwritten signature in cursive script that reads "Dana Tait".

Dana Tait
AVP Branch Manager
Norway Savings Bank
Exchange St Office



September 14, 2010

Mr. Rico Spugnardi
Mains, Extensions and New Service Division
Portland Water District
225 Douglass Street
PO Box 3553
Portland, ME 04104-3553

RE: 29 Alice Court, Portland

Dear Mr. Spugnardi,

As required by the reviewing authorities of the City of Portland, we are writing to request a letter indicating the ability of Portland Water District to provide water to this project.

Description of Development Site:

This project is referenced on tax Map 386, Block A, Lot B-014 by the City of Portland. The site is currently undeveloped land within the approved subdivision of Auburn Pines.

Project Description:

Construct a single family colonial style home consisting of 4 bedrooms, 2.5 baths and 2 car garage.

Ability to serve:

In support of the applications to the reviewing authorities, we are writing to request a letter indicating the ability of Portland Water District to service this project.

Please contact me if you have any questions relative to this matter.

Sincerely,

Maria DiMillo
The Vesta Corporation
E-mail: mdimillo@maine-rt.com



September 14, 2010

Mr. Frank Brancely
Senior Engineer
Engineering Division
Portland Public Services
55 Portland Street
Portland, ME 04101

RE: 29 Alice Court, Portland

Dear Mr. Brancely

As required by the reviewing authorities of the City of Portland, we are writing to request a letter indicating the ability of Portland Public Services to provide sewer service to this project.

Description of Development Site:

This project is referenced on tax Map 386, Block A, Lot B-014 by the City of Portland. The site is currently undeveloped land within the approved subdivision of Auburn Pines.

Project Description:

Construct a single family colonial style home consisting of 4 bedrooms, 2.5 baths and 2 car garage.

Ability to serve:

In support of the applications to the reviewing authorities, we are writing to request a letter indicating the ability of Portland Public Services to service this project.

Please contact me if you have any questions relative to this matter.

Sincerely,

Maria Dimillo

The Vesta Corporation

E-mail: mdimillo@maine.rr.com



September 14, 2010

Mr. Paul DuPerre
Energy Services
Central Maine Power
162 Canco Road
Portland, ME 04103

RE: 29 Alice Court, Portland

Dear Mr. DuPerre,

As required by the reviewing authorities of the City of Portland, we are writing to request a letter indicating the ability of Central Maine Power to provide electric power to this project.

Description of Development Site:

This project is referenced on tax Map 386, Block A, Lot B-014 by the City of Portland. The site is currently undeveloped land within the approved subdivision of Auburn Pines.

Project Description:

Construct a single family colonial style home consisting of 4 bedrooms, 2.5 baths and 2 car garage.

Ability to serve:

In support of the applications to the reviewing authorities, we are writing to request a letter indicating the ability of Central Maine Power to service this project.

Please contact me if you have any questions relative to this matter.

Sincerely,

Maria DiMillo

The Vesta Corporation

E-mail: mdimillo@maine.re.com