

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

2005-0037
Application I. D. Number

Milliken Janet A &
Applicant
1851 Washington Ave, Portland, ME 04103
Applicant's Mailing Address

Jane Milliken
Consultant/Agent
Agent Ph: (207)883-3656 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Jay Reynolds

7-7 Alice Ct, Portland, Maine
Address of Proposed Site
386A B013001
Assessor's Reference: Chart-Block-Lot

3/3/2005
Application Date

Alice Ct Single Family Home
Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify)

2815 sqf Proposed Building square Feet or # of Units 29659 Acreage of Site
Zoning

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other

Fees Paid: Site Pla \$50.00 Subdivision Engineer Review \$250.00 Date 3/3/2005

DRC Approval Status:

- Approved
- Approved w/Conditions See Attached
- Denied

Approval Date 4-12-05 Approval Expiration Extension to Additional Sheets Attached
 Condition Compliance signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input checked="" type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

Visit for 14-403 status
Pushing deadline towards approval

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy

2004-0071
Application I. D. Number
4/13/2004
Application Date
Single Family dwelling: Mitton
Project Name/Description

Nappi Ben J &
Applicant
169 Broadway, Portland, ME 04103
Applicant's Mailing Address

Call 5-6
1200 Broadway
228-1272
APPROVAL REVISION

IR
#18

Consultant/Agent
Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

46 - 52 Ninth St, Portland, Maine
Address of Proposed Site
339 L003001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2584 sf + 484 sf gar
Proposed Building square Feet or # of Units
7875 sf
Acreage of Site
R-3
Zoning

Check Review Required:
 Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 4/13/2004

DRC Approval Status: Reviewer Jay Reynolds
 Approved Approved w/Conditions See Attached Denied
Approval Date 5-13-04 Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance signature [Signature] date 5-13-04

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input checked="" type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

Nappi Ben J &
Applicant
169 Broadway, Portland, ME 04103
Applicant's Mailing Address

Consultant/Agent
Agent Ph: **Agent Fax:**
Applicant or Agent Daytime Telephone, Fax

2004-0071
Application I. D. Number
04/13/2004
Application Date
Single Family dwelling: Mitton
Project Name/Description
48 - 48 Ninth St, Portland, Maine
Address of Proposed Site
339 L003001
Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now #48 NINTH STREET, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2005-0250
Application I. D. Number
11/21/2005
Application Date
Meadow Ave Lot 11-12
Project Name/Description

McAndrew Robert R Etal Jts
Applicant
451 Deming St, South Windsor, CT 06074
Applicant's Mailing Address
Leddy Houser
Consultant/Agent
Agent Ph: (207)767-0903 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Jay Reynolds

Meadow Ave, Portland, Maine
Address of Proposed Site
083A B001001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
1452 foundation only 22230
Proposed Building square Feet or # of Units Acreage of Site 12-8 Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 11/21/2005

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date 12-27-05 Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance Jay Reynolds signature 12-27-05 date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input checked="" type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

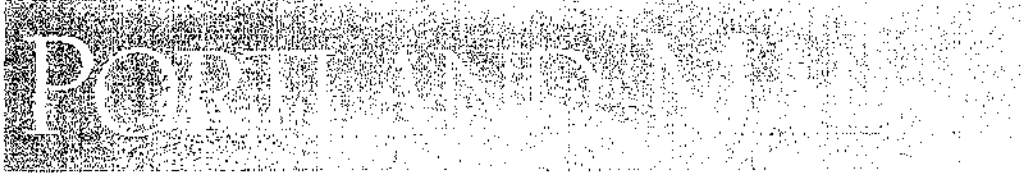
MODE = MEMORY TRANSMISSION START=DEC-06 12:20 END=DEC-06 12:21

FILE NO.=806

STN NO.	COMM.	ABBR NO.	STATION NAME/TEL NO.	PAGES	DURATION
001	OK		97670961	001/001	00:00:35

-CITY OF PORTLAND -

***** -PLANNING DEPT. - ***** 2077568258 *****



Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Mr. J. eddy Houser
429 Preble Street
South Portland, ME 04103

December 6, 2005

Dear Mr. Houser:

RE: Application for Single Family Residence, Meadow Avenue, Great Diamond Island

Upon review of the site plans, the City's Planning Division has the following comments:

1. It appears that this lot falls within the shoreland zone. Please show the water line, 75 foot and 250 foot setbacks.
2. Shoreland zoning has guidelines regarding soil disturbance and tree clearing. Please indicate your limits of tree clearing, or show areas of preservation.
3. It is unclear whether any changes in ground elevation/contours is proposed. Also, there is no proposed topography change around the subsurface/septic system. Please clarify.
4. Please add erosion control/silt fence as appropriate.

Please resubmit 4 copies of the site plan to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Mr. Leddy Houser
429 Preble Street
South Portland, ME 04106

December 6, 2005

Dear Mr. Houser:

RE: Application for Single Family Residence, Meadow Avenue, Great Diamond Island

Upon review of the site plans, the City's Planning Division has the following comments:

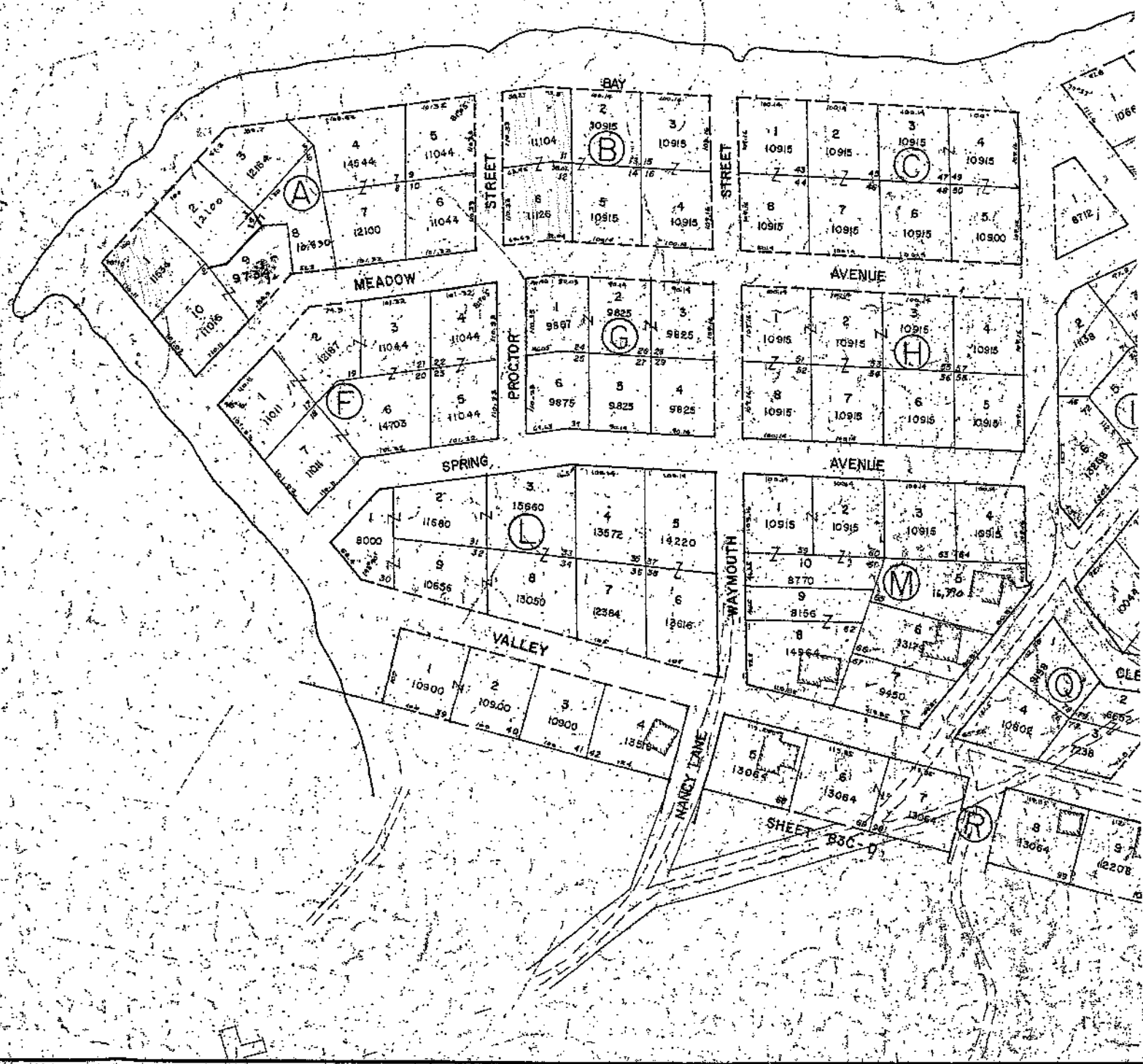
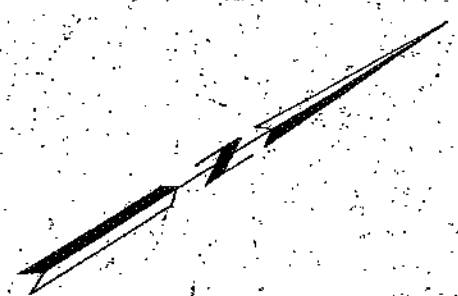
1. It appears that this lot falls within the shoreland zone. Please show the water line, 75 foot and 250 foot setbacks.
2. Shoreland zoning has guidelines regarding soil disturbance and tree clearing. Please indicate your limits of tree clearing, or show areas of preservation.
3. It is unclear whether any changes in ground elevation/contours is proposed. Also, there is no proposed topography change around the subsurface/septic system. Please clarify.
4. Please add erosion control/silt fence as appropriate.

Please resubmit 4 copies of the site plan to my attention.

Sincerely,

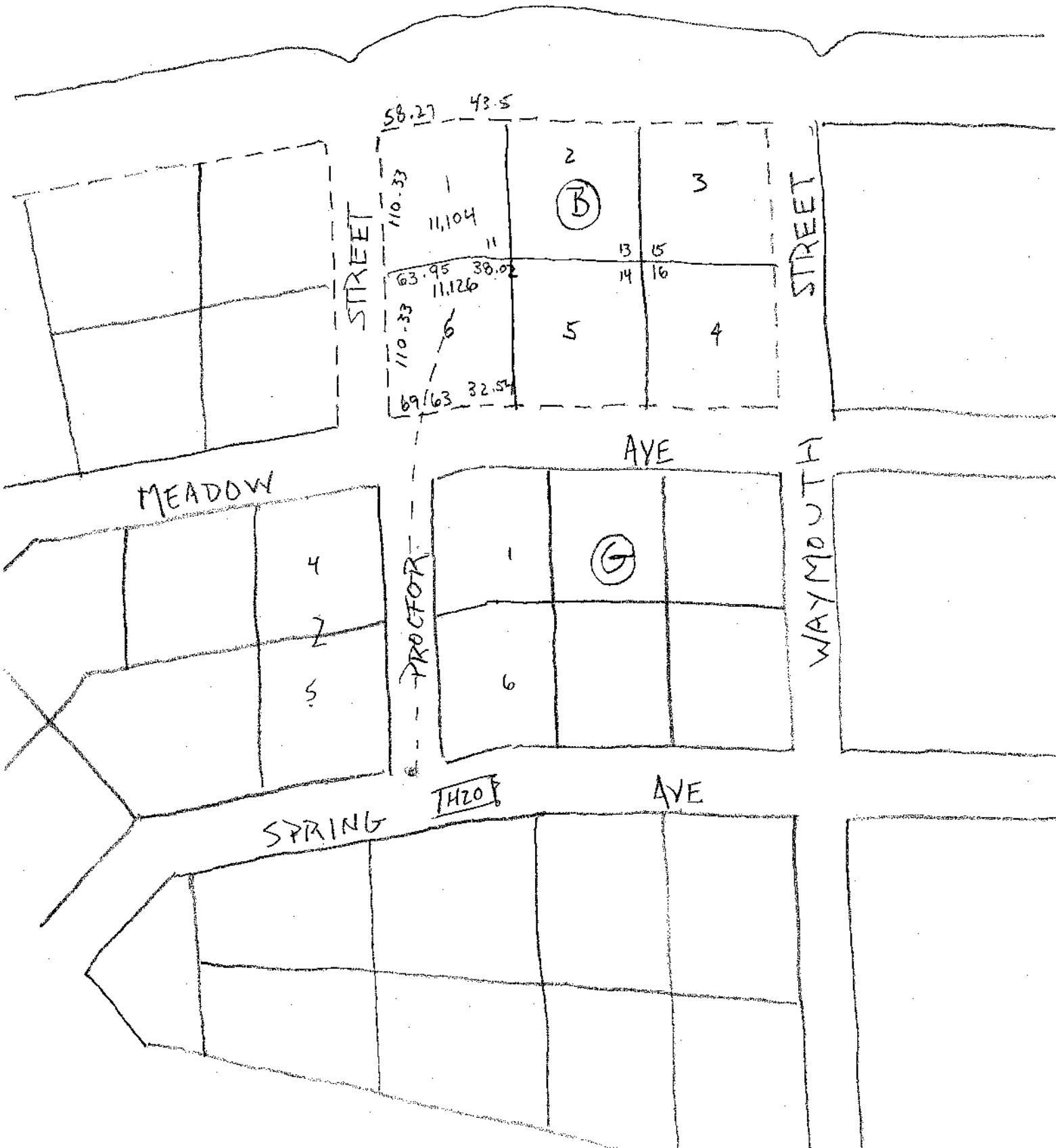
Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager



No 83 A

601





Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Robert and Janet Milliken
368 Pine Point Road
Scarborough, ME 04074

March 11, 2005

Dear Mr. and Mrs. Milliken:

RE: Application for Single Family Residence, 7 Alice Court

Thank you for your application for a single-family house at 7 Alice Court. In addition to the Zoning Administrator's memo dated March 8, 2005, the City's Planning Division has the following review comments:

- a. Please revise the site plan to show any proposed topography changes. The submitted site plan shows no change in grades, which indicates a front yard graded back toward the building and also indicates a daylight basement in the rear. The building elevations do not reflect this.
- b. One of the required street trees appears to be directly in front of the entrance, approximately 3 feet from the house. Please relocate this tree so that it is along the street frontage/property line.

Please resubmit 4 copies of the site plan to my attention.

I can be reached at 874-8632 if you have any questions or comments.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life - www.portlandmaine.gov

Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

March 8, 2005

Robert & Janet Milliken
368 Pine Point Road
Scarborough, ME 04074

RE: 7 Alice Court (lot #13B) - 386A-B-013 - R-2 Zone - application #05-0217

Dear Mr. & Mrs. Milliken:

I am in receipt of your permit application at 7 Alice Court. Your permit is denied because it is not meeting the Land Use Zoning requirements.

Section 14-80(d)3 of the Zoning ordinance requires a minimum of fourteen (14) feet from the property line to a two story building. I am scaling only twelve (12) feet from the property line to the left side of the building.

Section 14-80(f) requires a minimum lot width of eighty (80) feet. I am scaling sixty-five (65) feet through the narrowest part of the lot where the principal structure is placed. Lot width is defined as the distance parallel to the front of the building measured between side lot lines through that part of the principal building where the lot is narrowest.

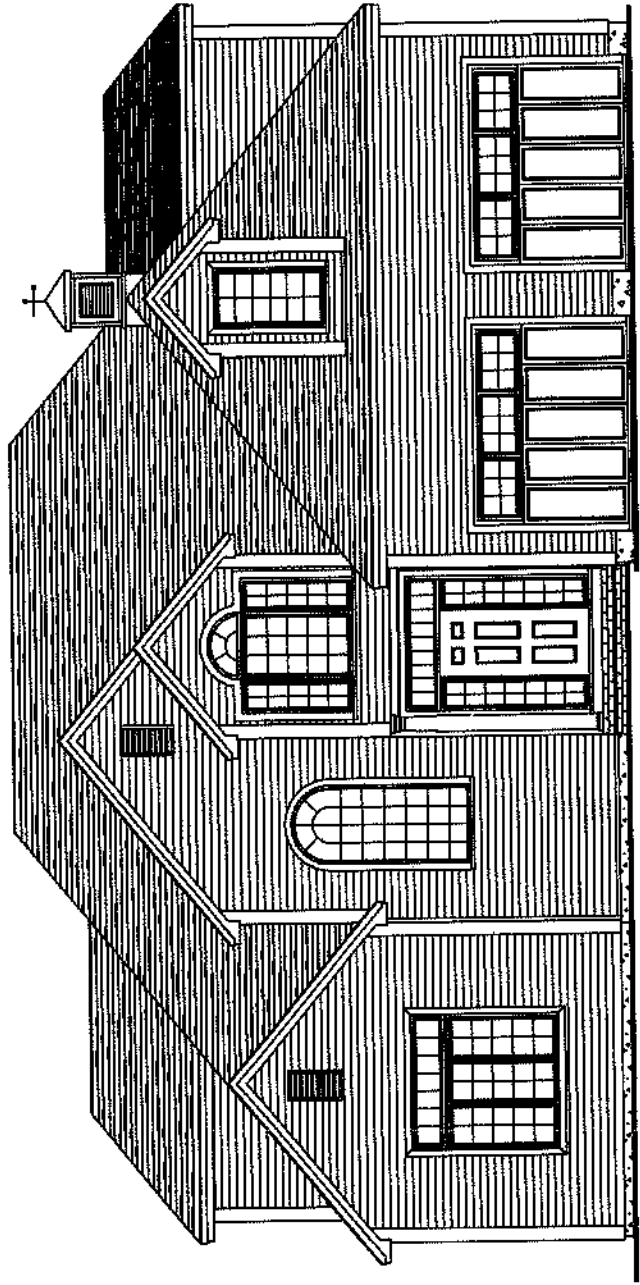
Your permit is on hold until you submit revised plans. Your permit application cannot be reviewed for building codes until such time zoning thresholds have been met.

If you have any questions regarding this matter, please call this office.

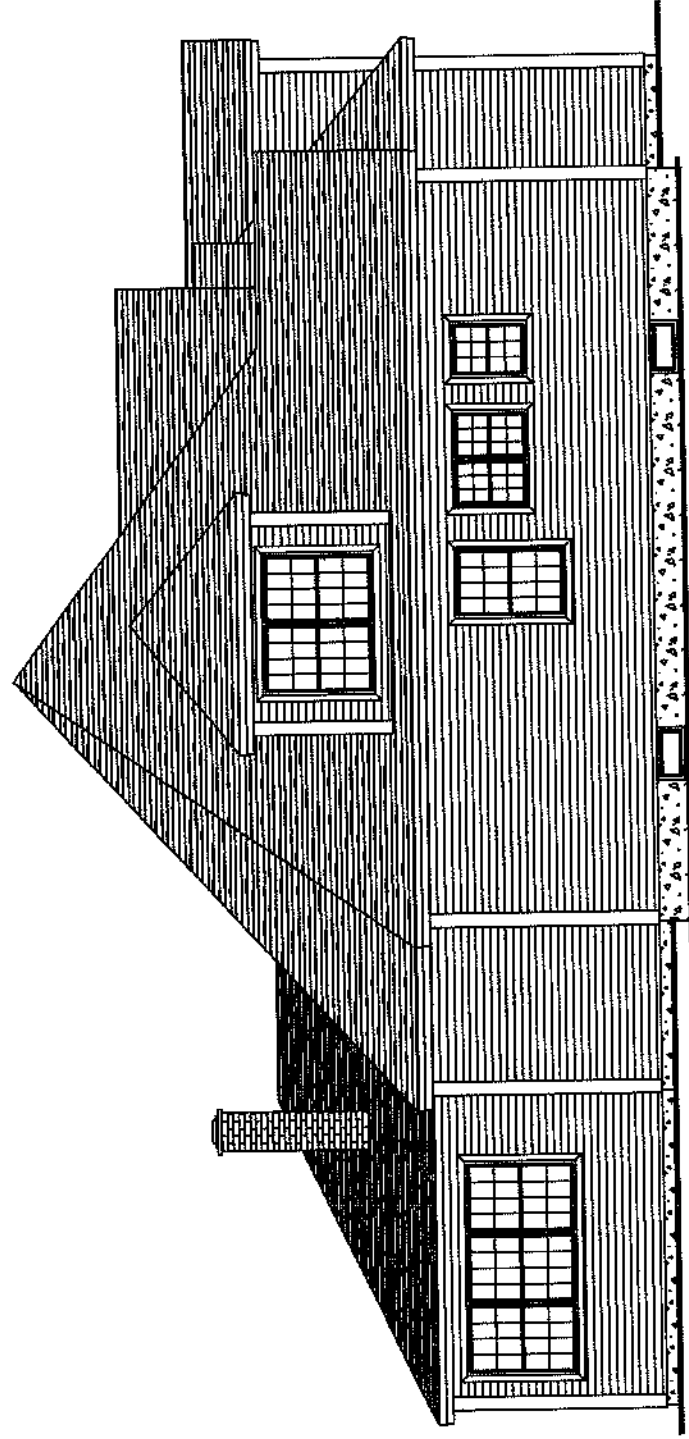
Very truly yours,

Marge Schmuckal
Zoning Administrator

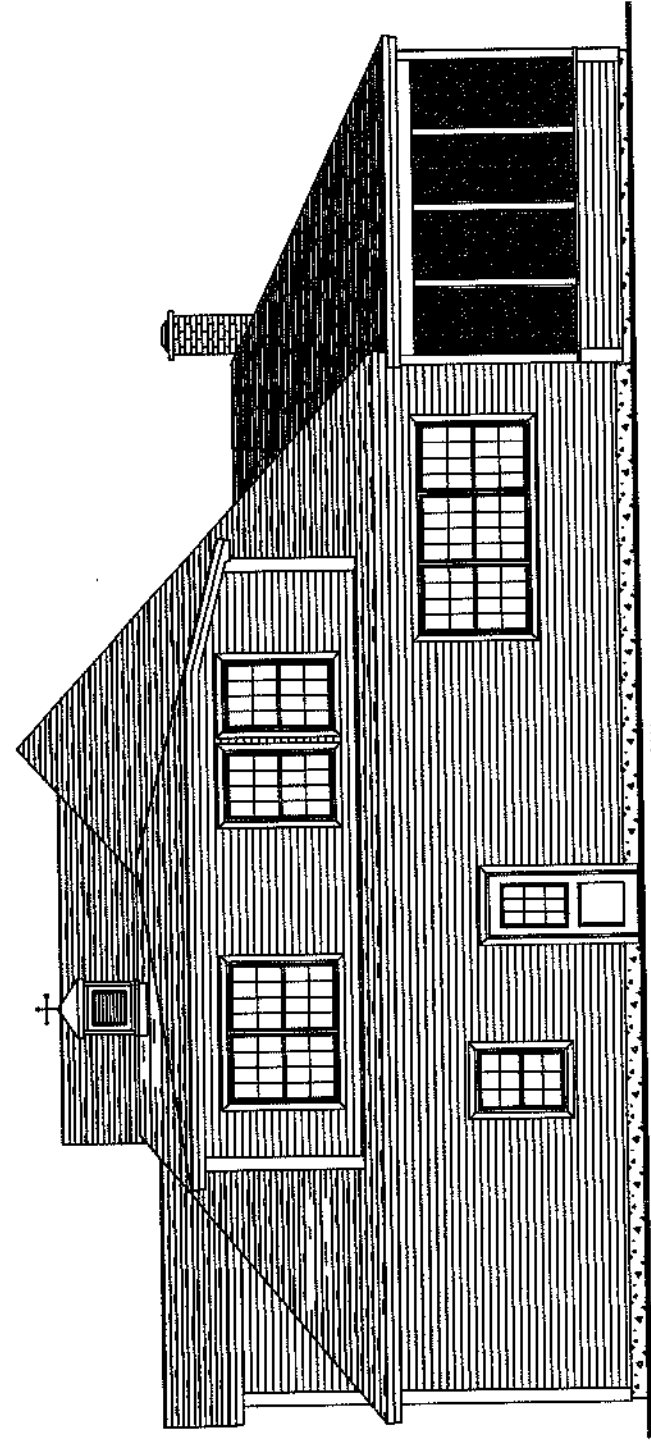
Cc: Larry with Donatello Builders Inc., PO Box 684, Portland, ME
Jay Reynolds, Planning
file



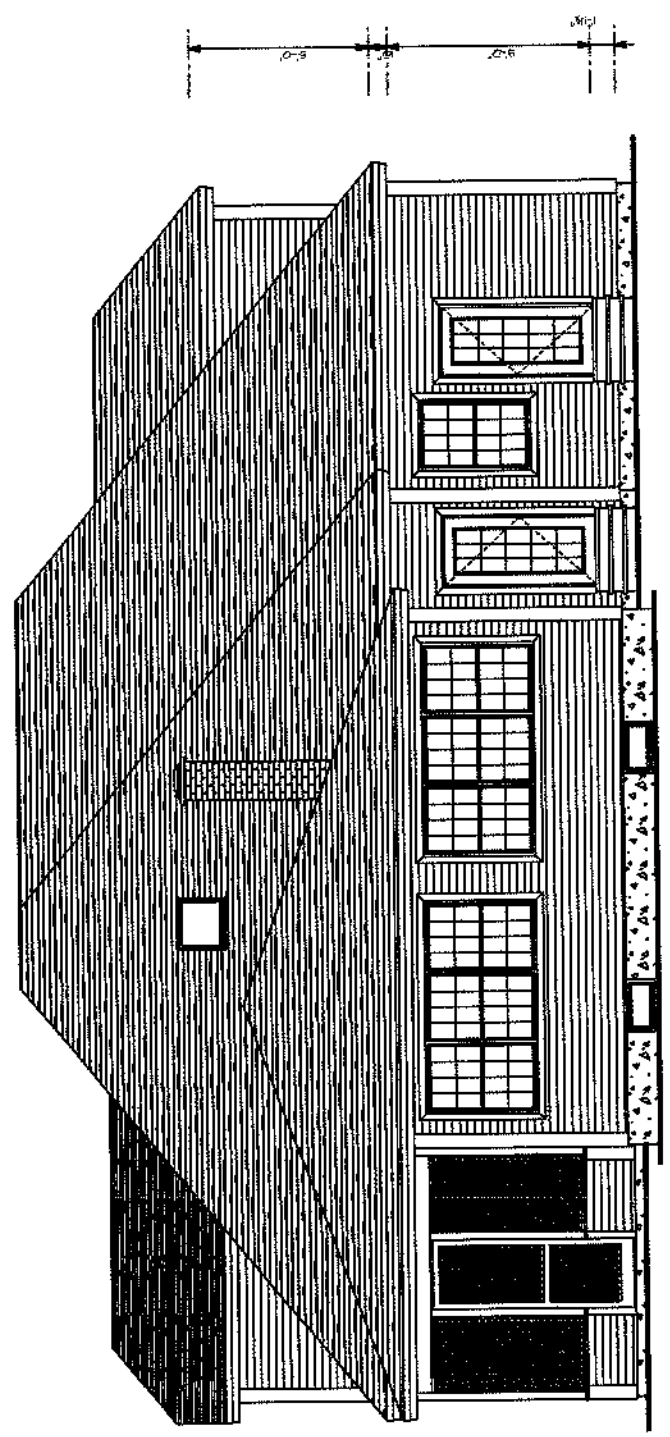
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



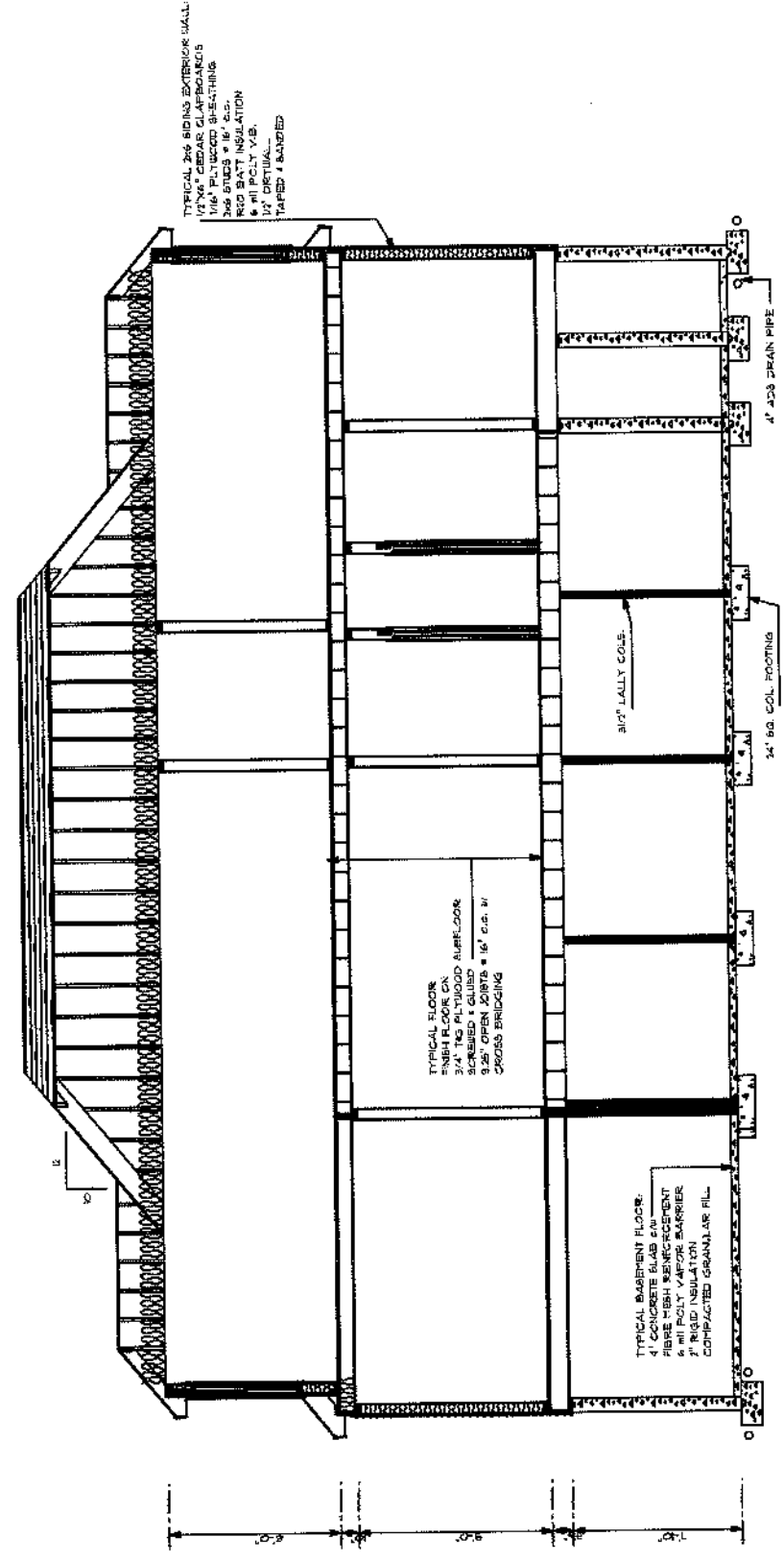
LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/2" = 1'-0"



TYPICAL 2x6 SIDING EXTERIOR WALL:
 1/2" x 6" CEDAR CLAPBOARDS
 1/8" PLYWOOD SHEATHING
 2x6 STUDS @ 16" O.C.
 2" RIGID INSULATION
 1/2" POLY VAPOR BARRIER
 1/2" DRYWALL
 TAPED & BANDED

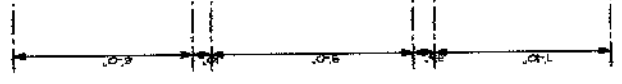
TYPICAL FLOOR:
 FINISH FLOOR ON
 3/4" T&G PLYWOOD SUBFLOOR
 SCREED & GULCH
 3.25" OPEN JOISTS @ 16" O.C. w/
 CROSS BRIDGING

TYPICAL BASEMENT FLOOR:
 4" CONCRETE SLAB ON
 FIBRE FISH REINFORCEMENT
 5" RIGID INSULATION
 2" RIGID INSULATION
 COMPACTED GRANULAR FILL

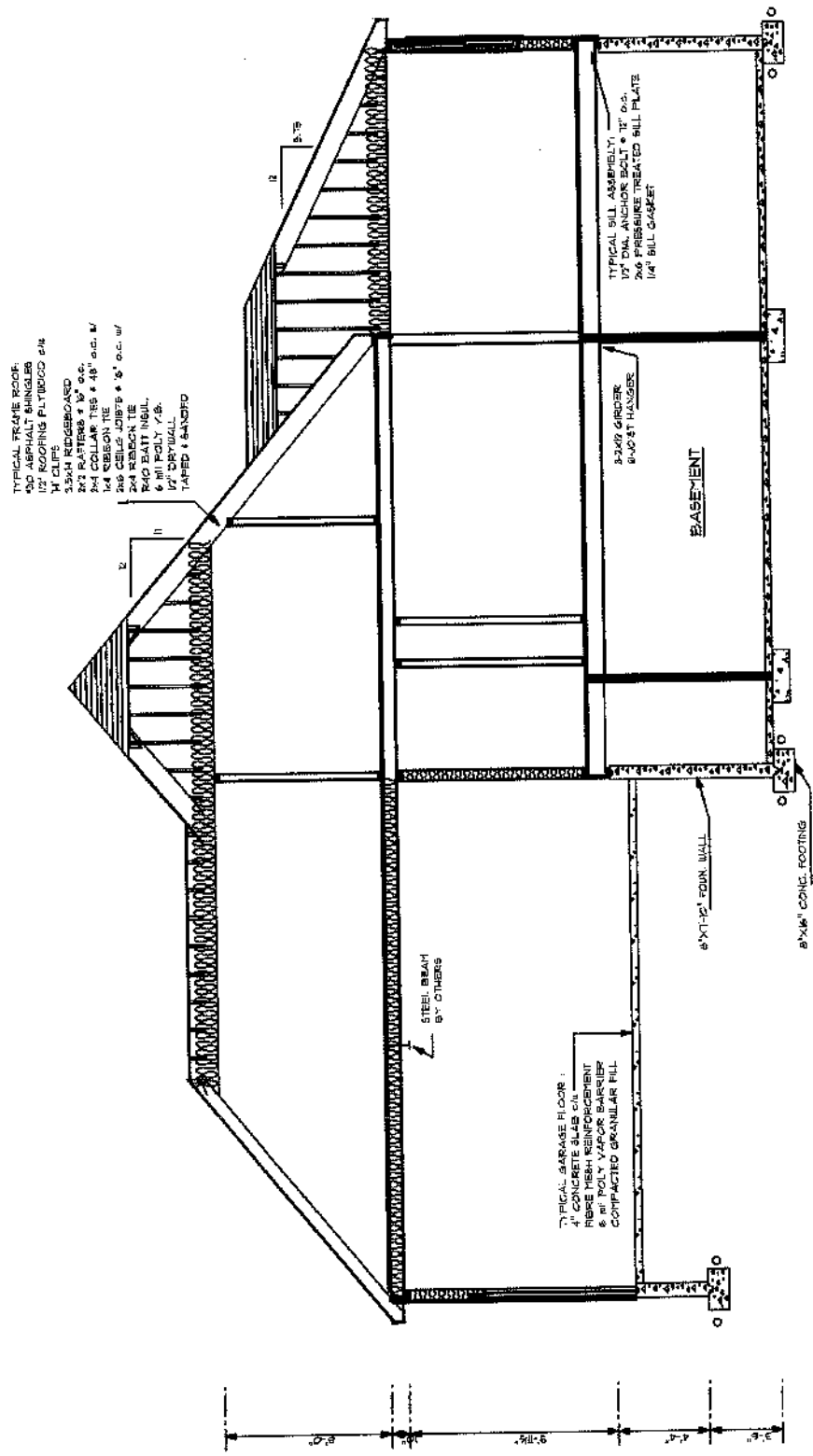
3/4" LALLY COLS.

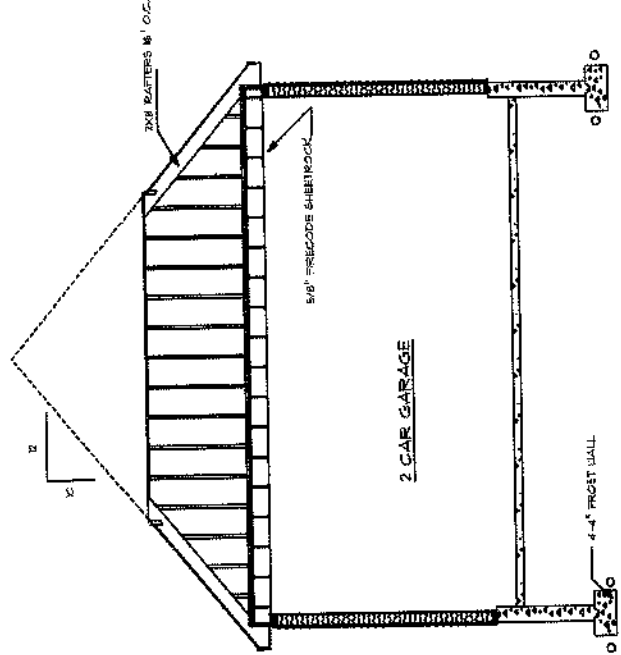
14" 60 COL. PROCTUS

4" 203 DRAIN PIPE

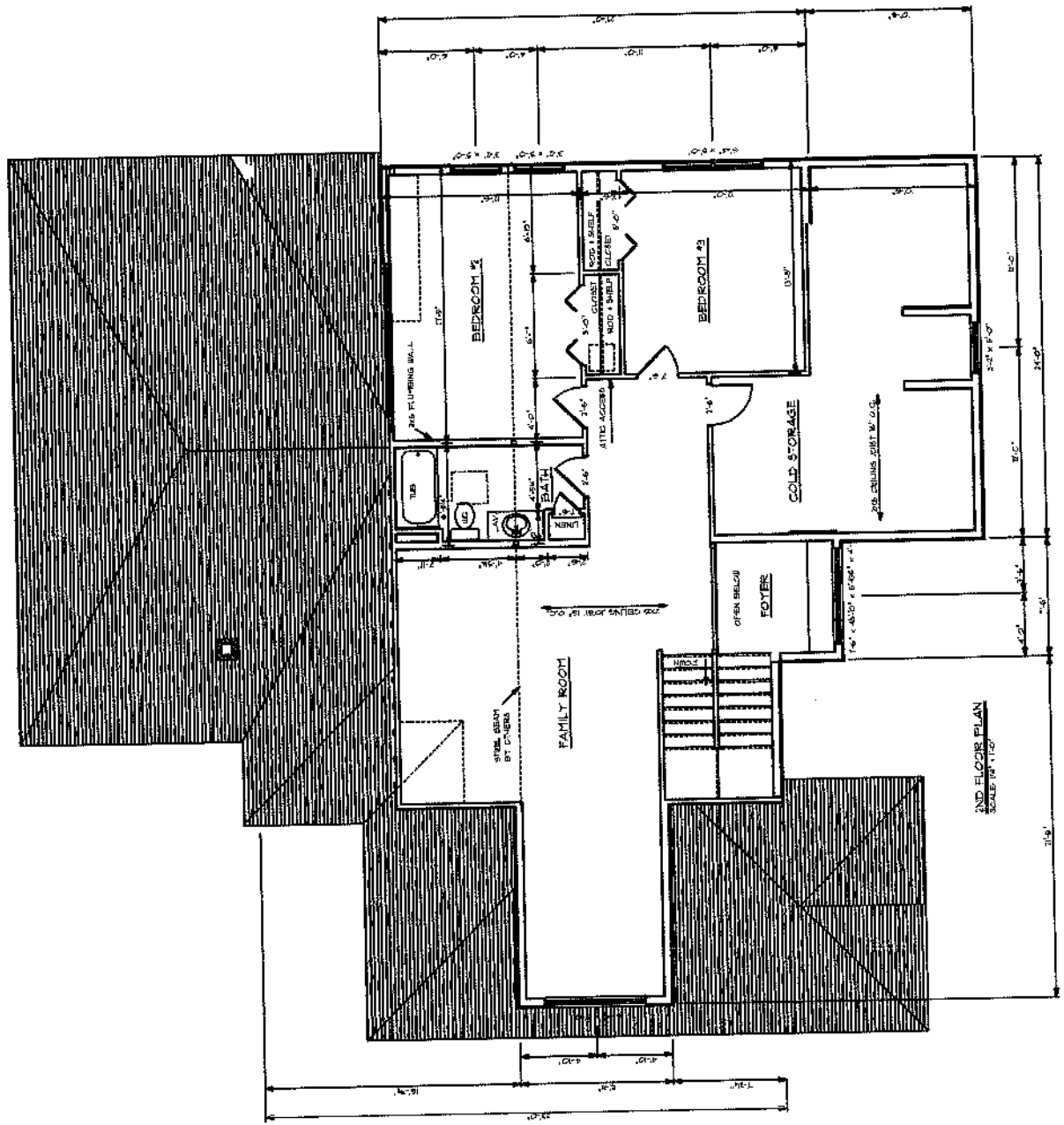


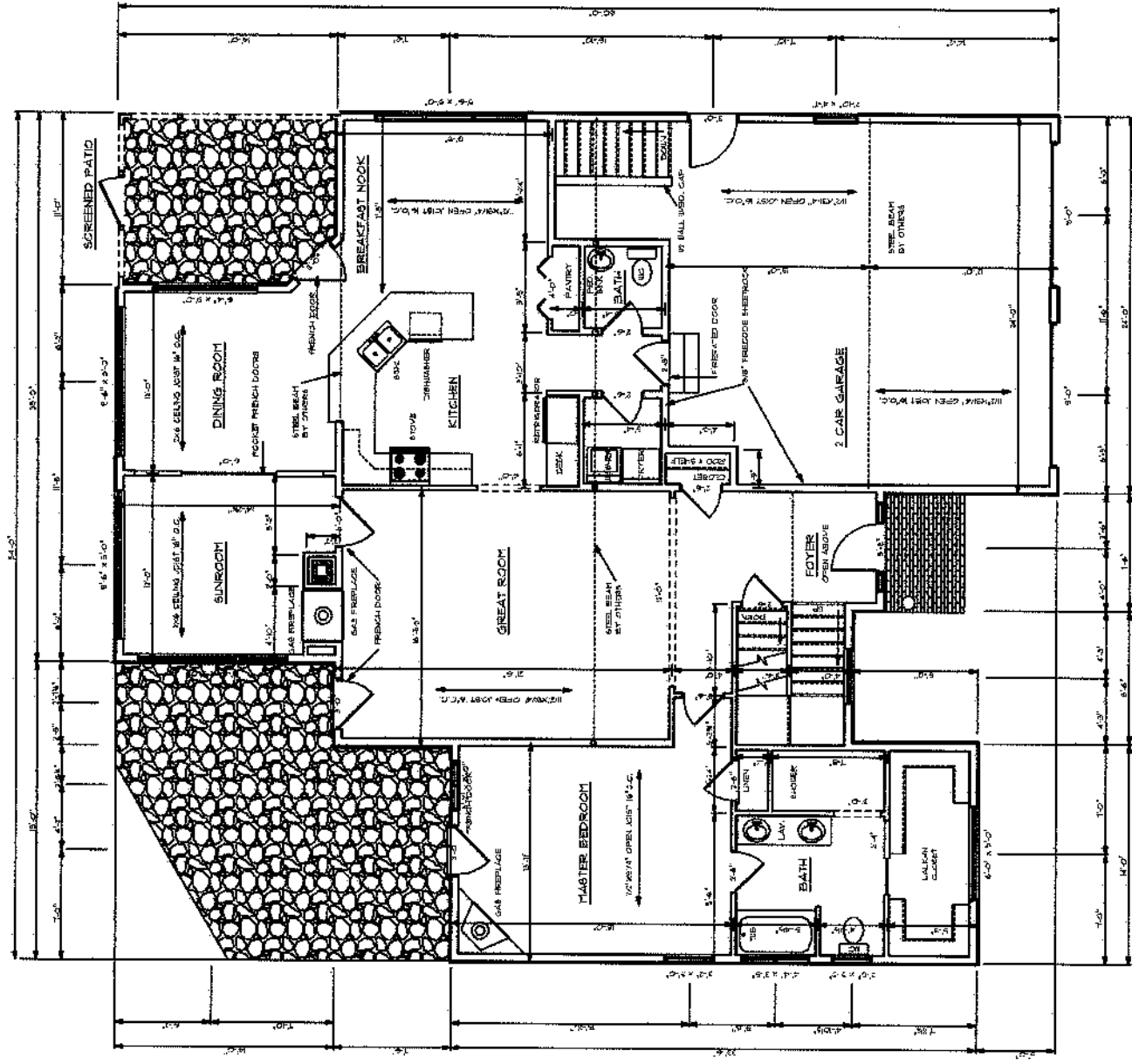
CROSS SECTION A-A
 SCALE: 1/4" = 1'-0"





GROSS SECTION C-C
SCALE: 1/4" = 1'-0"





1ST FLOOR PLAN
SCALE 1/8" = 1'-0"

From:

09/15/2004 12:47 #019 P.002/003

PURCHASE AND SALE AGREEMENT - LAND ONLY

September 14, 2004

9-15-04 Effective Date
Effective Date is defined in Paragraph 20 of this Agreement.

1. PARTIES: This Agreement is made between Janet A. Milliken, Robert G. Milliken (hereinafter called "Buyer") and Chase Custom Homes and Finance, Inc. (hereinafter called "Seller").

2. DESCRIPTION: Subject to the terms and conditions hereinafter set forth, Seller agrees to sell and Buyer agrees to buy (all part of ; If "part of" see paragraph 22 for explanation) the property situated in municipality of Portland County of Cumberland, State of Maine, located at 7 Alice Court and described in deed(s) recorded at said County's Registry of Deeds Book(s) 20917, Page(s) 095

3. CONSIDERATION: For such Deed and conveyance Buyer is to pay the sum of PRICE \$ 130,000.00 of which DEPOSIT \$ 1,000.00 is included herewith as an earnest money deposit, and an additional amount of DEPOSIT \$ 124,000.00 will be paid. FINANCE DUE \$ 129,000.00
The balance due amount is to be paid by certified or bank check, upon delivery of the deed.

This Purchase and Sale Agreement is subject to the following conditions:

4. EARNEST MONEY/ACCEPTANCE: Keller Williams Realty ("Agency") shall hold said earnest money and act as escrow agent until closing; this offer shall be valid until September 15, 2004 (date) 5:00 AM PM; and, in the event of non-acceptance, this earnest money shall be returned promptly to Buyer. Withdrawals of offers and counteroffers will be effective upon communication, verbally or in writing, to the other party or their agents. In the event that the Agency is made a party to any lawsuit by virtue of acting as escrow agent, Agency shall be entitled to recover reasonable attorney's fees and costs which shall be assessed as court costs in favor of the prevailing party.

5. TITLE AND CLOSING: A deed, conveying good and merchantable title in accordance with the Standards of Title adopted by the Maine Bar Association shall be delivered to Buyer and this transaction shall be closed and Buyer shall pay the balance due and execute all necessary papers on October 15, 2004 (closing date) or before, if agreed in writing by both parties. If Seller is unable to convey in accordance with the provisions of this paragraph, then Seller shall have a reasonable time period, not to exceed 30 days, from the time Seller is notified of the defect, unless otherwise agreed to by both Buyer and Seller, to remedy the title, after which time, if such defect is not corrected so that there is a merchantable title, Buyer may, at Buyer's option, withdraw said earnest money and be relieved from all obligations. Seller hereby agrees to make a good-faith effort to cure any title defect during such period.

6. DEED: The property shall be conveyed by a Warranty deed, and shall be free and clear of all encumbrances except covenants, conditions, easements and restrictions of record which do not materially and adversely affect the continued current use of the property.

7. POSSESSION: Possession of premises shall be given to Buyer immediately at closing unless otherwise agreed in writing.

8. RISK OF LOSS: Until the closing, the risk of loss or damage to said premises by fire or otherwise, is assumed by Seller. Buyer shall have the right to view the property within 24 hours prior to closing for the purpose of determining that the premises are in substantially the same condition as on the date of this Agreement.

9. PRORATIONS: The following items, where applicable, shall be prorated as of the date of closing: rent, association fees, (other) none. Real estate taxes shall be prorated as of the date of closing (based on municipality's fiscal year). Seller is responsible for any unpaid taxes for prior years. If the amount of said taxes is not known at the time of closing, they shall be apportioned on the basis of the taxes assessed for the preceding year with a reapportionment as soon as the new tax rate and valuation can be ascertained, which latter provision shall survive closing. Buyer and Seller will each pay their transfer tax as required by State of Maine.

10. PROPERTY DISCLOSURE FORM: Buyer acknowledges receipt of Seller's Property Disclosure Form and is encouraged to seek information from professionals regarding any specific issue or concern.

11. INSPECTIONS: Buyer is encouraged to seek information from professionals regarding any specific issue or concern.

From:

09/15/2004 12:43 #019 P.003/009

Agent makes no warranties regarding the condition, permitted use or value of Sellers' real property. This Agreement is subject to the following contingencies, with results being satisfactory to Buyer:

CONTINGENCY	YES	NO	DAYS FOR COMPLETION	OBTAINED BY	TO BE PAID FOR BY
1. SURVEY Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
2. SOILS TEST Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
3. SEPTIC SYSTEM DESIGN Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
4. LOCAL PERMITS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
5. HAZARDOUS WASTE REPORTS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
6. UTILITIES Purpose: <u>written confirm. from PWD that water and sewer lines are stubbed on lot</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>5</u>	<u>Seller</u>	_____
7. WATER Purpose: <u>see above</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____	_____	_____
8. SUB-DIVISION APPROVAL Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
9. DEPLURC APPROVALS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
10. ZONING VARIANCE Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
11. MDOT DRIVEWAY/ ENTRANCE PERMIT Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
12. DEED RESTRICTION Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
13. TAX EXEMPT STATUS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
14. OTHER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____

Further specifications regarding any of the above:

Unless otherwise specified above, all of the above will be obtained and paid for by Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, Buyer will declare the Agreement null and void by notifying Seller in writing within the specified number of days, and any earnest money shall be returned to Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, and Buyer wishes to pursue remedies other than voiding the Agreement, Buyer must do so to full resolution within the time period set forth above; otherwise this contingency is waived. If Buyer does not notify Seller that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by Buyer. In the absence of inspection(s) mentioned above, Buyer is relying completely upon Buyer's own opinion as to the condition of the property.

12. FINANCING: This Agreement is is not subject to Financing. If subject to Financing:
- a. This Agreement is subject to Buyer obtaining a conventional loan of 80 % of the purchase price, at an interest rate not to exceed prevailing % and amortized over a period of 20 years.
 - b. Buyer to provide Seller with letter from lender showing that Buyer has made application and, subject to verification of information, is qualified for the loan requested within 5 days from the Effective Date of the Agreement. If Buyer fails to provide Seller with such letter within said time period, Seller may terminate this Agreement and the earnest money shall be returned to Buyer.
 - c. Buyer to provide Seller with loan commitment letter from lender showing that Buyer has secured the loan commitment within 21 days of the Effective Date of the Agreement. If Buyer fails to provide Seller with this loan commitment letter within said time period, Seller may deliver notice to Buyer that this Agreement is terminated three business days after delivery of such notice unless Buyer delivers the loan commitment letter before the end of the three-day period. If the Agreement is terminated under the provision of this sub-paragraph, the earnest money shall be returned to Buyer.
 - d. Buyer hereby authorizes, instructs and directs its lender to communicate the status of the Buyer's loan application to Seller or Seller's agent.
 - e. After (b) and (c) are met, Buyer is obligated to notify Seller in writing if the lender notifies Buyer that it is unable or unwilling to proceed under the terms of the loan commitment. Any failure by Buyer to notify Seller within 48 hours of receipt by Buyer of notice from the lender shall be a default under this Agreement.
 - f. Buyer agrees to pay no more than 0 points. Seller agrees to pay \$ -0- toward Buyer's pre-paid, points and/or closing costs.
 - g. Buyer's ability to obtain financing is is not subject to the sale of another property. See addendum Yes No .
 - h. Buyer may choose to pay cash instead of obtaining financing. If so, buyer shall notify seller in writing and the Agreement shall no longer be subject to financing, and Seller's right to terminate pursuant to the provisions of paragraph 15 shall be void.

13. AGENCY DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following relationships:

Leanne Barschdorf of Keller Williams Realty is a Seller Agent Buyer Agent
 Licensee Agency Disc Dual Agent Transaction Broker

Kim Watson of Prudential Northeast Prop. is a Seller Agent Buyer Agent
 Licensee Agency Disc Dual Agent Transaction Broker

If this transaction involves Disclosed Dual Agency, the Buyer and Seller acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the Buyer and Seller acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

14. MEDIATION: Any dispute or claim arising out of or relating to this Agreement or the property addressed in this Agreement shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules. Buyer and Seller are bound to mediate in good faith and pay their respective mediation fees. If a party does not agree first to go to mediation, then that party will be liable for the other party's legal fees in any subsequent litigation regarding that same matter in which the party who refused to go to mediation loses in that subsequent litigation. This clause shall survive the closing of the transaction. Earnest money disputes are subject to release options in license law and the default clause contained herein.

15. DEFAULT: In the event of default by the Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this Agreement and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including without limitation, termination of this Agreement and return to Buyer of the earnest money. Agency acting as escrow agent has the option to require written releases from both parties prior to disbursing the earnest money to either Buyer or Seller. In the absence of signed releases, earnest money deposit disputes will be submitted to small claims court if the dispute meets the criteria for being handled by that jurisdiction.

16. PRIOR STATEMENTS: Any representations, statements and agreements are not valid unless contained herein. This Agreement completely expresses the obligations of the parties.

17. HEIRS/ASSIGNS: This Agreement shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the Seller and the assigns of the Buyer.

18. COUNTERPARTS: This Agreement may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

19. ADDENDA: Yes Explain: _____ No

20. EFFECTIVE DATE: This Agreement is a binding contract when signed by both Buyer and Seller and when that fact has been communicated to Buyer and Seller or to their agents. Agent is authorized to complete Effective Date on Page 1 of this Agreement. Except as expressly set forth to the contrary, the use of "by (date)" or "within x days" shall refer to calendar days being counted from the Effective Date as noted on Page 1 of the Agreement, beginning with the first day after the Effective Date and ending at 5:00 p.m. Eastern Time on the last day counted.

21. CONFIDENTIALITY: Buyer and Seller understand that the terms of this Agreement are confidential but authorize the disclosure of the information herein to the agents, attorneys, lenders, appraisers, inspectors and others involved in the transaction necessary for the purpose of closing this transaction. Buyer and Seller authorize the lender and/or closing agent preparing the entire closing statement to release a copy of the closing statement to the parties and their agents prior to, at and after the closing.

Page 3 of 4 - P&S-LO Buyer(s) Initials [Signature] Seller(s) Initials [Signature]

From:

09/15/2004 12:50 #019 P.005/009

22. OTHER CONDITIONS:

A copy of this Agreement is to be received by all parties and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.

Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Bureau of Taxation.

Buyer acknowledges that Maine law requires continuing interest in the property and any back up offers to be communicated by the listing agent to the Seller.

Janet A. Milliken
 BUYER Janet A. Milliken SS# OR TAXPAYER ID#
Robert G. Milliken
 BUYER Robert G. Milliken SS# OR TAXPAYER ID# 005-50-9294

Buyer's Mailing address is 1851 Washington Ave. Extension, Portland, ME 04103

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth and agrees to pay Agency a commission for services as specified in the listing agreement.

Seller's Mailing address is 1 Perry Hawkes Rd, Windham, ME 04062
Thomas D. Porter
 SELLER Chase Costello Home and Finance DATE SS# OR TAXPAYER ID# 010507636

SELLER _____ DATE _____ SS# OR TAXPAYER ID# _____

Offer reviewed and refused on _____ day of _____

SELLER _____ SELLER _____

COUNTER-OFFER: Seller agrees to sell on the terms and conditions as detailed herein with the following changes and/or conditions:

The parties acknowledge that until signed by Buyer, Seller's signature constitutes only an offer to sell on the above terms and the offer will expire unless accepted by Buyer's signature with communication of such signature to Seller by (date) _____ (time) _____ AM _____ PM.

SELLER _____ DATE _____ SELLER _____ DATE _____

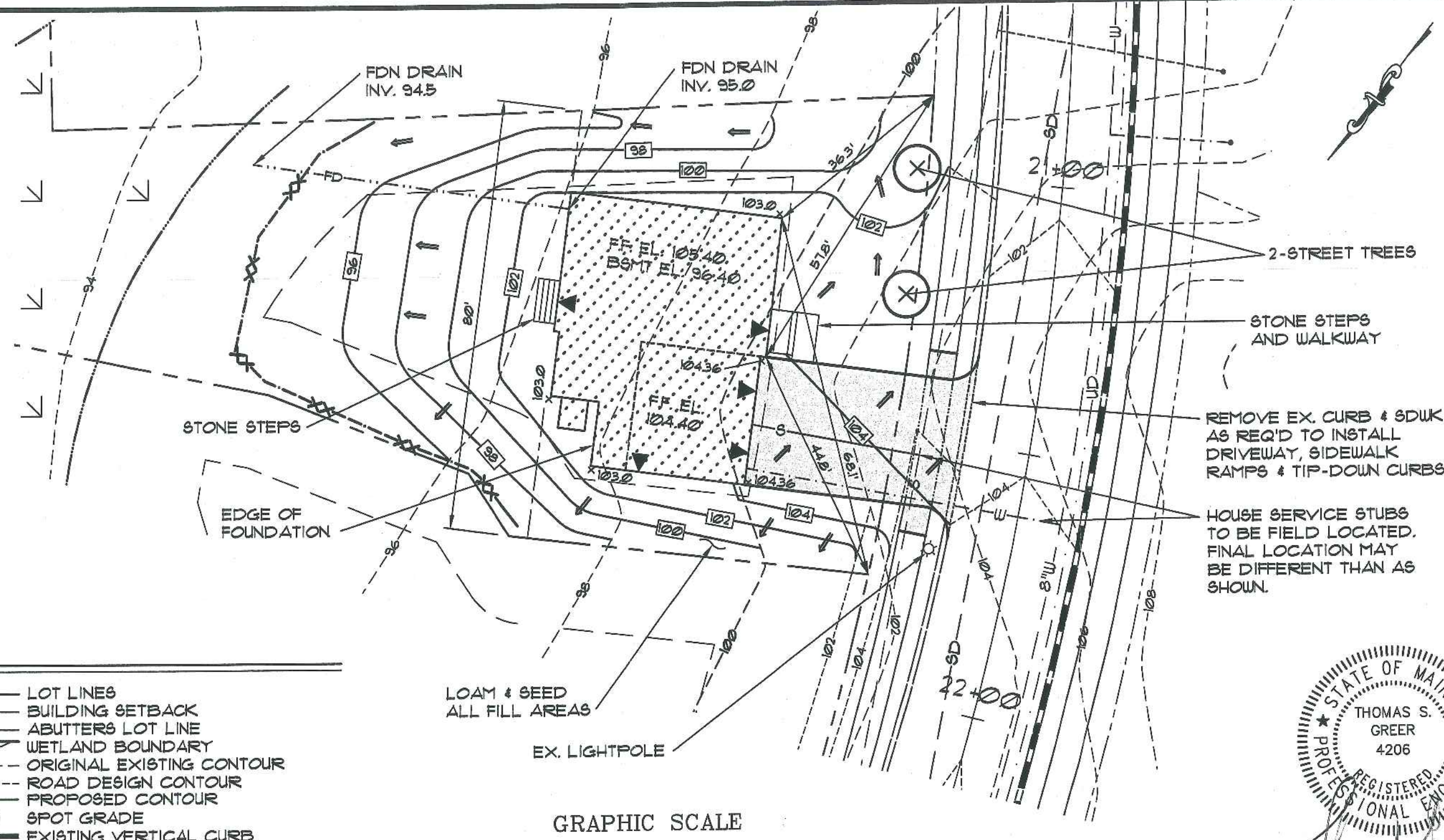
The Buyer hereby accepts the counter offer set forth above.

BUYER _____ DATE _____ BUYER _____ DATE _____

EXTENSION: The time for the performance of this Agreement is extended until _____ DATE _____

BUYER _____ DATE _____ SELLER _____ DATE _____

BUYER _____ DATE _____ SELLER _____ DATE _____



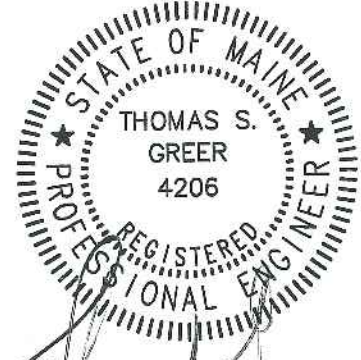
LEGEND

- LOT LINES
- BUILDING SETBACK
- ABUTTERS LOT LINE
- - - WETLAND BOUNDARY
- - - 100 ORIGINAL EXISTING CONTOUR
- - - 102 ROAD DESIGN CONTOUR
- - - 100 PROPOSED CONTOUR
- x 100.5 SPOT GRADE
- EXISTING VERTICAL CURB
- S EXISTING SLOPED CURB
- SD EXISTING SANITARY SEWER
- U EXISTING STORMDRAIN
- W EXISTING WATER LINE
- UD EXISTING UNDERDRAIN
- ⊙ EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- EDGE OF DRIVEWAY
- FD --- HOUSE SERVICE, FOUNDATION
- S --- HOUSE SERVICE, SEWER
- W --- HOUSE SERVICE, WATER
- > DIRECTION OF SURFACE DRAINAGE
- XX --- SILT FENCE

LOAM & SEED
ALL FILL AREAS

EX. LIGHTPOLE

GRAPHIC SCALE



Thomas S. Greer
4/8/05

SITE PLAN DETAIL

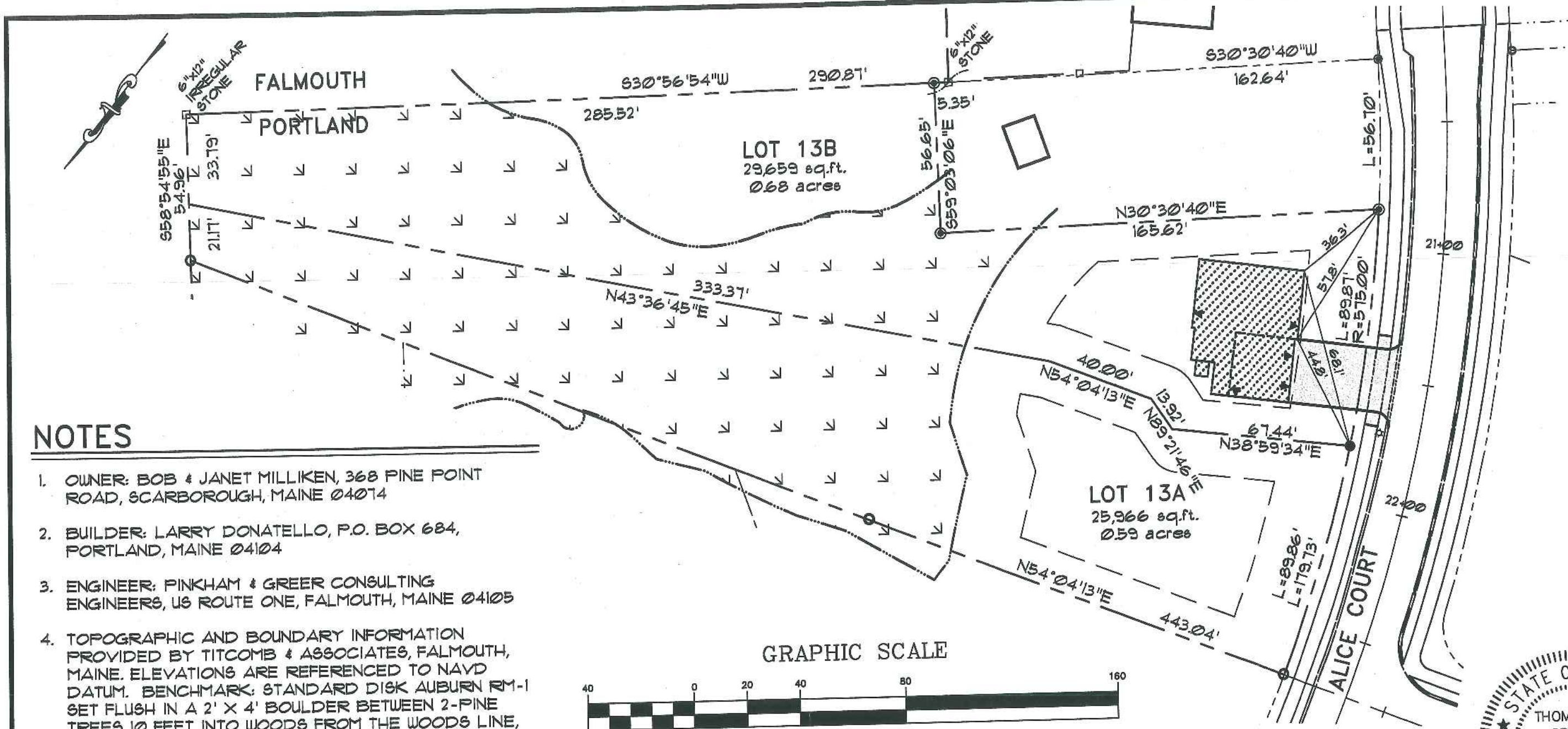
PINKHAM & GREER
CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

ALICE COURT
LOT 13B, PORTLAND, MAINE

SCALE: 1"=20'
DATE: FEB. 22, 2005
DESG BY: TSG
PROJECT: 04155

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 4/2/05

REV. 1	4/6/05	REV'D HOUSE FOOTPRINT
--------	--------	-----------------------



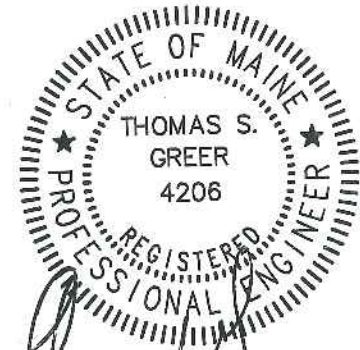
NOTES

1. OWNER: BOB & JANET MILLIKEN, 368 PINE POINT ROAD, SCARBOROUGH, MAINE 04074
2. BUILDER: LARRY DONATELLO, P.O. BOX 684, PORTLAND, MAINE 04104
3. ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, US ROUTE ONE, FALMOUTH, MAINE 04105
4. TOPOGRAPHIC AND BOUNDARY INFORMATION PROVIDED BY TITCOMB & ASSOCIATES, FALMOUTH, MAINE. ELEVATIONS ARE REFERENCED TO NAVD DATUM. BENCHMARK: STANDARD DISK AUBURN RM-1 SET FLUSH IN A 2' X 4' BOULDER BETWEEN 2-PINE TREES 10 FEET INTO WOODS FROM THE WOODS LINE, 198 FEET SOUTHEASTERLY FROM THE CENTERLINE OF THE FALMOUTH SPUR EASTBOUND, 83.95 FEET SOUTHEAST OF THE STATION MARK, 84.25 FEET NORTHEAST OF RM-2, 25 FEET SOUTHEAST OF THE RIGHT-OF-WAY FENCE, 61 FEET SOUTHWEST OF GRANITE TOWN LINE MONUMENT. ELEVATION = 122.31 FEET.
5. ROAD GRADES ARE BASED ON ALICE COURT DESIGN DRAWINGS. ACTUAL GRADES MAY VARY. ADJUST PROPOSED GRADES TO MATCH EXISTING CONDITIONS.
6. THIS PLAN IS FOR LOT 13B. GRADING, BUILDING LOCATION OR GENERAL DRAINAGE FOR ADJACENT LOTS IS NOT INCLUDED.
7. EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.

8. A SUMP PUMP FOR THE FOUNDATION DRAIN WILL BE REQUIRED IF A DAYLIGHT BASEMENT IS INCLUDED.
9. CONNECT WATER AND SEWER TO EXISTING STUBS.
10. LOAM & SEED ALL DISTURBED AREAS.
11. FOUNDATION TO BE LAID OUT BY A PROFESSIONAL SURVEYOR.

REV. 1	4/6/05	REV'D HOUSE FOOTPRINT
--------	--------	-----------------------

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 4-12-05



Thomas S. Greer
4/8/05

SITE PLAN

ALICE COURT
LOT 13B, PORTLAND, MAINE

SCALE: 1"=40'
DATE: FEB. 22, 2005
DESG BY: TSG
PROJECT: 04155

PINKHAM & GREER
CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

01

LEGEND

- LOT LINES
- BUILDING SETBACK
- ABUTTERS LOT LINE
- WETLAND BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT GRADE
- EDGE OF DRIVEWAY
- FOUNDATION DRAIN
- PATH OF SURFACE DRAINAGE
- SILT FENCE

NOTES

1. THIS PLAN IS FOR LOT 13B. GRADING, BUILDING LOCATION OR GENERAL DRAINAGE FOR ADJACENT LOTS IS NOT INCLUDED.
2. EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.
3. A SUMP PUMP FOR THE FOUNDATION DRAIN WILL BE REQUIRED IF A DAYLIGHT BASEMENT IS INCLUDED.
4. CONNECT WATER AND SEWER TO EXISTING STUBS.
5. LOAM & SEED ALL DISTURBED AREAS.

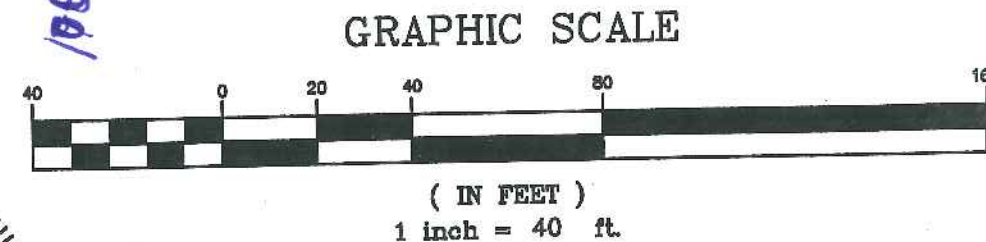
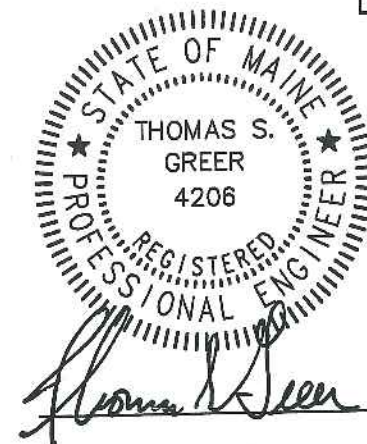
OWNER: BOB & JANET MILLIKEN
 368 FINE POINT ROAD
 SCARBOROUGH, MAINE 04074

BUILDER: LARRY DONATELLO
 P.O. BOX 684
 PORTLAND, MAINE 04104

ENGINEER: PINKHAM & GREER
 CONSULTING ENGINEERS
 FALMOUTH, MAINE

TOPOGRAPHIC AND BOUNDARY INFORMATION PROVIDED BY TITCOMB & ASSOCIATES, FALMOUTH, MAINE. Elevations are referenced to NAVD datum. Location of benchmark: Standard disk Auburn RM-1 set flush in a 2' X 4' boulder between two pine trees 10 feet into woods from the woods line, 198 feet southeasterly from the centerline of the Falmouth Spur eastbound, 83.95 feet southeast of the station mark, 84.25 feet northeast of RM-2, 25 feet southeast of the right-of-way fence, 61 feet southwest of granite town line monument. Elevation = 122.31 feet.

TOPOGRAPHIC DATA IS BASED ON DESIGN DRAWINGS. ACTUAL TOPO WILL VARY. ADJUST GRADES TO MATCH EXISTING CONDITIONS.



AUBURN PINES

ALICE COURT
LOT 13B, PORTLAND, MAINE

SCALE: 1"=40'
 DATE: FEB. 22, 2005
 DESG BY: TSG
 PROJECT: 04155

PINKHAM & GREER
 CONSULTING ENGINEERS, INC.
 FALMOUTH, MAINE

FILE NO: 04155



Sebago Technics
 Engineering Expertise You Can Build On

One Chobot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

GRADING PLAN LOT 9

OF: **AUBURN ESTATES**
 AUBURN STREET/LONGVIEW DRIVE
 PORTLAND, MAINE

FOR: **NIAL CONSTRUCTION**
 191 STATE ROAD, SUITE 2
 KITTERY, MAINE 03904

DESIGN BY:	DLR
DRAWN BY:	MAL
CHECKED BY:	DLR
DATE:	11-10-04
SCALE:	1"=30'
FIELD BK:	778
PROJ. NO:	03453
DRAWING:	03453G6
SHEET 1 OF 2	

24" STORM DRAIN
 BY OTHERS
 SEE NOTE 15

8" SAN SEWER BY
 OTHERS
 S= 0.005
 VERIFY AS BUILT
 INVERT

FOUNDATION DRAIN
 TO STUB BY OTHERS
 SEE NOTE 15

SANITARY SEWER STUB
 BY OTHERS APPROXIMATE
 INVERT EL. = 136.5
 SEE NOTE 15

EXISTING MANHOLE TO
 BE REPLACED BY
 OTHERS
 INV. OUT = 139.87

INSTALL SILT FENCE
 AT LIMITS OF
 DISTURBANCE

25' SETBACK
 4' SETBACK

GROUND FLOOR SLAB
 EL = 153.8
 1st FLOOR
 FFE. = 162.3

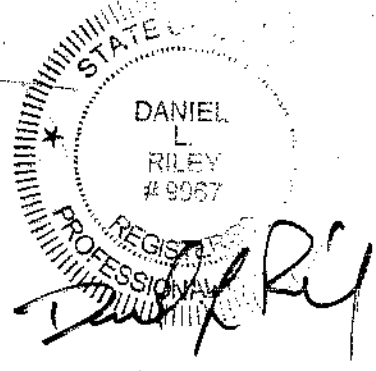
GARAGE SLAB EL = 160.8

INSTALL MODULAR CONCRETE
 BLOCK RETAINING WALL ANCHOR
 DIAMOND BLOCK OR EQUIVALENT.
 PROVIDE SHOP DRAWINGS
 PREPARED BY WALL VENDOR'S
 ENGINEER SEE SHEET 2 NOTE 14

20' SETBACK
 FOUNDATION DRAIN STUB
 BY OTHERS
 APPROX INVERT EL. = 139.8
 SEE NOTE 15

10" PVC STORM DRAIN
 BY OTHERS
 SEE NOTE 15

382AD29

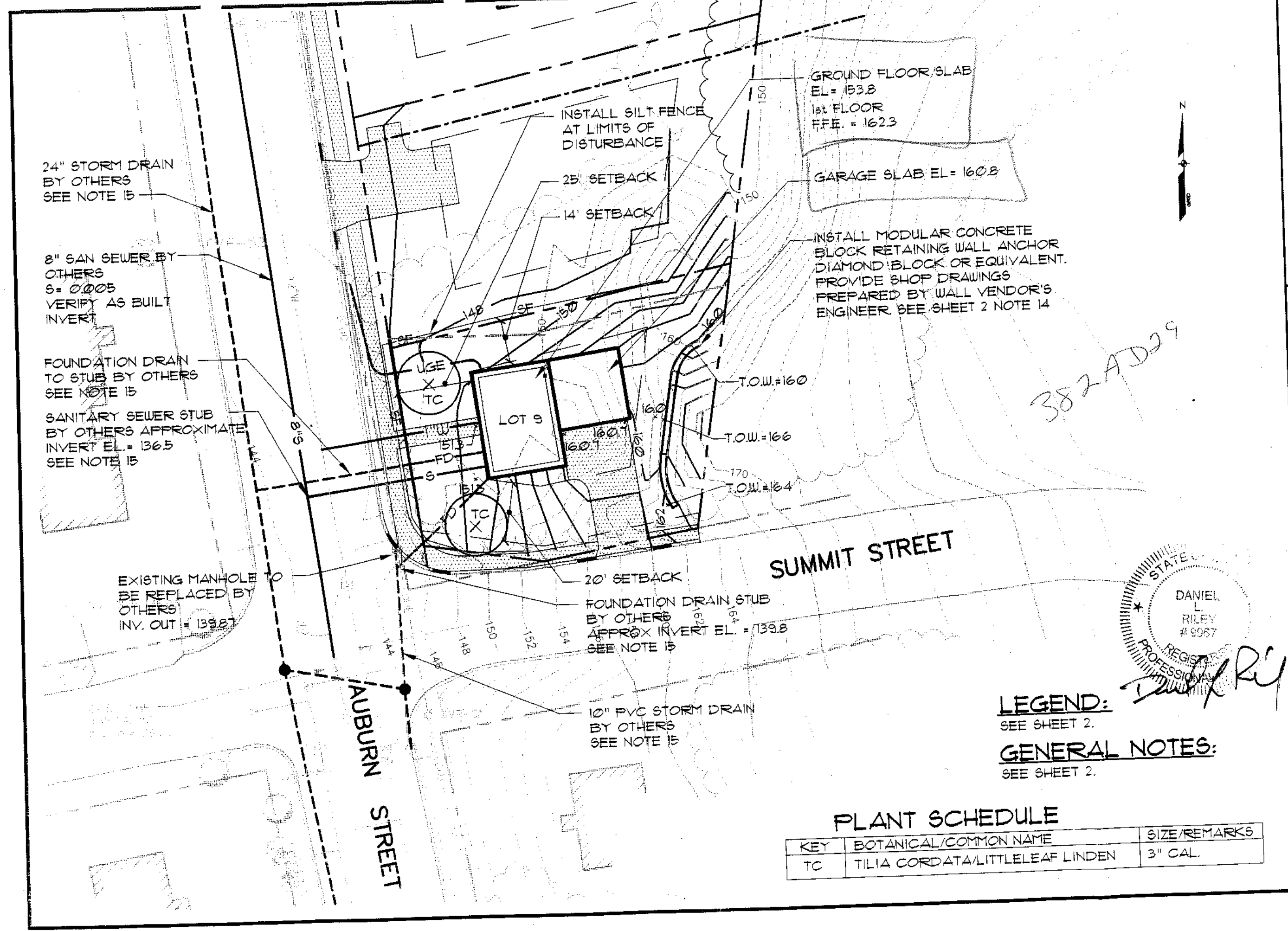


LEGEND:
 SEE SHEET 2.

GENERAL NOTES:
 SEE SHEET 2.

PLANT SCHEDULE

KEY	BOTANICAL/COMMON NAME	SIZE/REMARKS
TC	TILIA CORDATA/LITTLELEAF LINDEN	3" CAL.



GENERAL NOTES

1. APPLICANT: LAWRENCE STURDIVANT
NAIL CONSTRUCTION, INC.
191 STATE ROAD, SUITE 2
KITTERY, ME 03904
2. THE PROPERTY IS SHOWN AS LOT 9 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
3. TOTAL AREA OF PARCEL: 8,383 SQUARE FEET (0.19 ACRES).
4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929). VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.
6. PLAN REFERENCES:
A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.
7. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 ZONE. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

	R-3 ZONE
MIN. LOT SIZE	6,500 SF.
MIN. AREA PER DWELLING UNIT	6,500 SF.
MIN. STREET FRONTAGE	50 FT.
MIN. FRONT YARD SETBACK	25 FT.
MIN. REAR YARD SETBACK	25 FT.
MIN. SIDE YARD SETBACK	
1 STORY	8 FT.
1½ STORY	8 FT.
2 STORY	14 FT.
2½ STORY	16 FT.
MIN. SIDE YARD SETBACK ON SIDE STREET	20 FT.
MAX. LOT COVERAGE (BLDG. FOOTPRINT)	25%
MIN. LOT WIDTH	75 FT.
MAX. BLDG. HEIGHT (PRINCIPAL)	35 FT.
MAX. BLDG. HEIGHT (DETACHED ACCESSORY)	18 FT.

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET.

8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.

12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HEREON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.

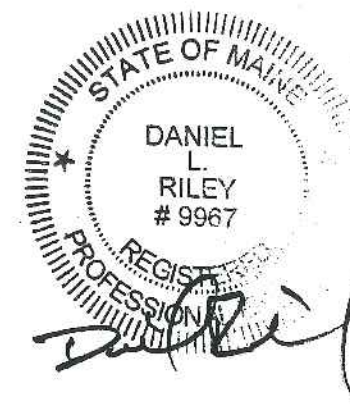
13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.

14. THE PROPOSED RETAINING WALL SHALL BE A MODULAR CONCRETE BLOCK WALL WITH GEOGRID REINFORCED BACKFILL. WALL SHALL BE "ANCHOR DIAMOND" AS MANUFACTURED BY ANCHOR RETAINING WALL SYSTEMS, INC. OR AN ENGINEER APPROVED EQUIVALENT. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE PROPOSED WALL SYSTEM PROVIDING DETAILS OF THE WALL CONSTRUCTION, BACKFILL REINFORCEMENT AND DRAINAGE SYSTEM. SHOP DRAWINGS SHALL BE PREPARED BY THE WALL MANUFACTURER AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MAINE AND FAMILIAR WITH THE DESIGN OF MECHANICALLY STABILIZED EARTH RETAINING WALL SYSTEMS.

15. THE SANITARY SEWERS, STORM DRAINS, MANHOLES CATCH BASINS, AND FOUNDATION DRAIN STUBS IN AUBURN STREET ARE PROPOSED FOR CONSTRUCTION BY THE CITY OF PORTLAND AS PART OF THE AUBURN STREET COMBINED SEWER SEPARATION PROJECT. THE SERVICE STUB LOCATIONS AND ELEVATIONS SHOWN HEREON ARE BASED ON DESIGN PLANS AND DO NOT REFLECT THE AS BUILT CONDITION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE SERVICE STUBS WITH THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO THE CONSTRUCTION OF BUILDING FOUNDATIONS.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	PROPERTY/ROW	
	SETBACK	
	BUILDING	
	SIGN	
	EDGE PAVEMENT	
	GRAVEL ROAD	
	CURBLINE	
	TREELINE	
	CONTOURS	
	WATER	
	SEWER	
	STORM DRAIN	
	FORCE MAIN	
	UNDERDRAIN	
	UNDERGROUND ELEC. & TEL.	
	GATE VALVE	
	LIGHT POLE	
	HYDRANT	
	MANHOLE	
	SPOT GRADE	
	DECIDUOUS TREE	
	CONIFEROUS TREE	
	ZONE LINE	



NOTES

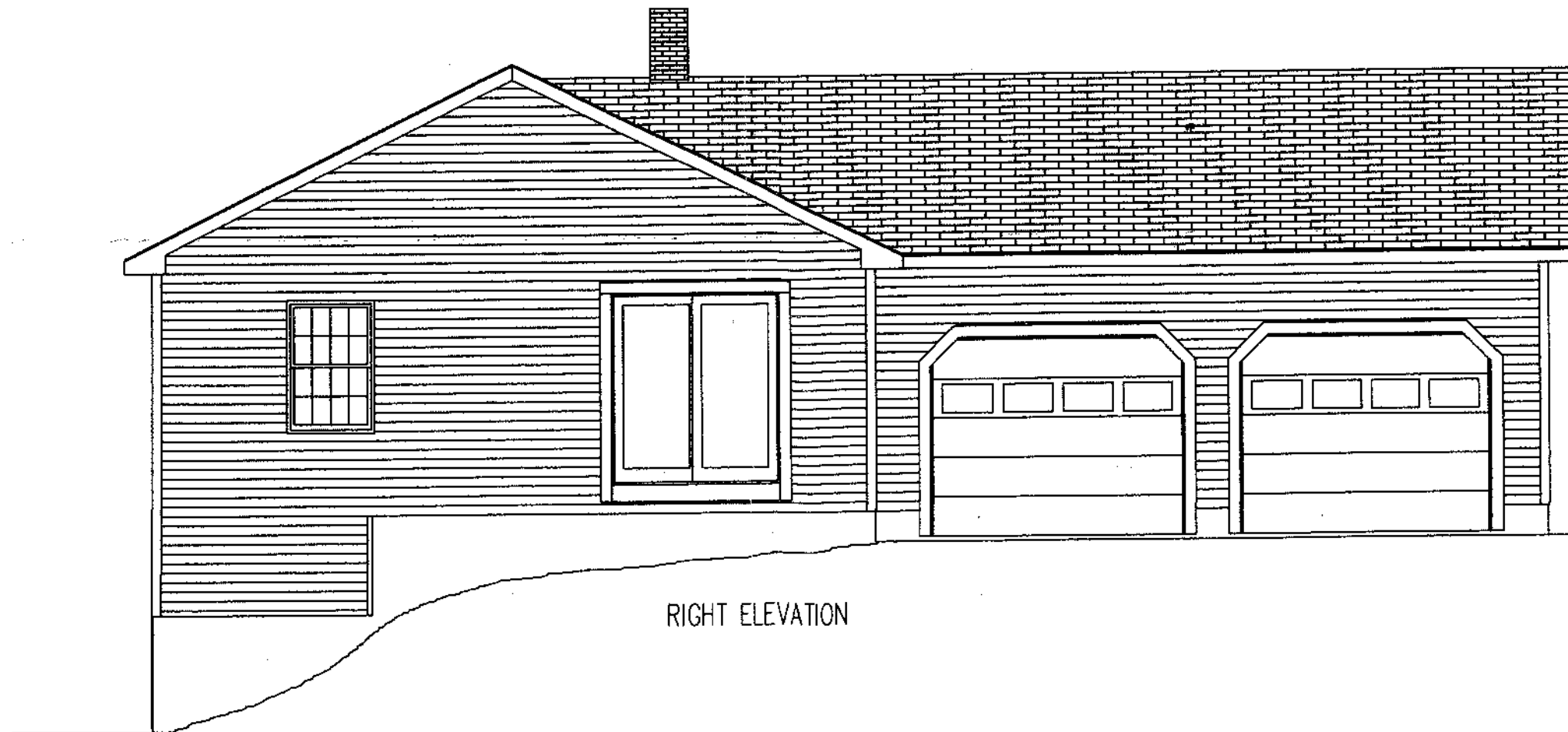
OF: **LOT 9 AUBURN ESTATES**
AUBURN STREET/LONGVIEW DRIVE
PORTLAND, MAINE
FOR: **NIAL CONSTRUCTION**
191 STATE ROAD, SUITE 2
PORTLAND, ME 03904

DESIGN BY:	DLR
DRAWN BY:	FCL
CHECKED BY:	DLR
DATE:	11-10-04
SCALE:	-
FIELD BK:	778
PROJ. NO:	03453
DRAWING:	0345306.DWG
SHEET 2 OF 2	

Sebago Technics
Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

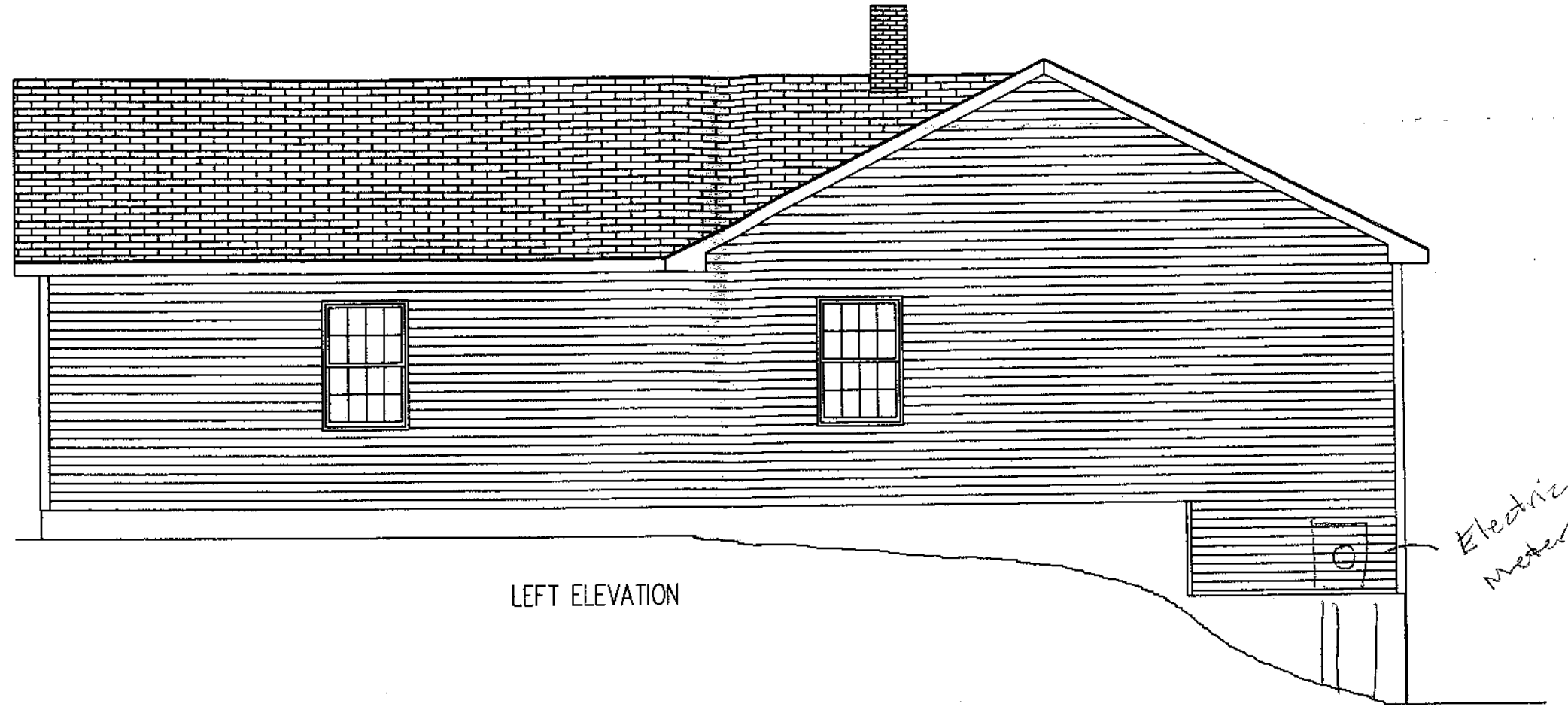


FRONT ELEVATION

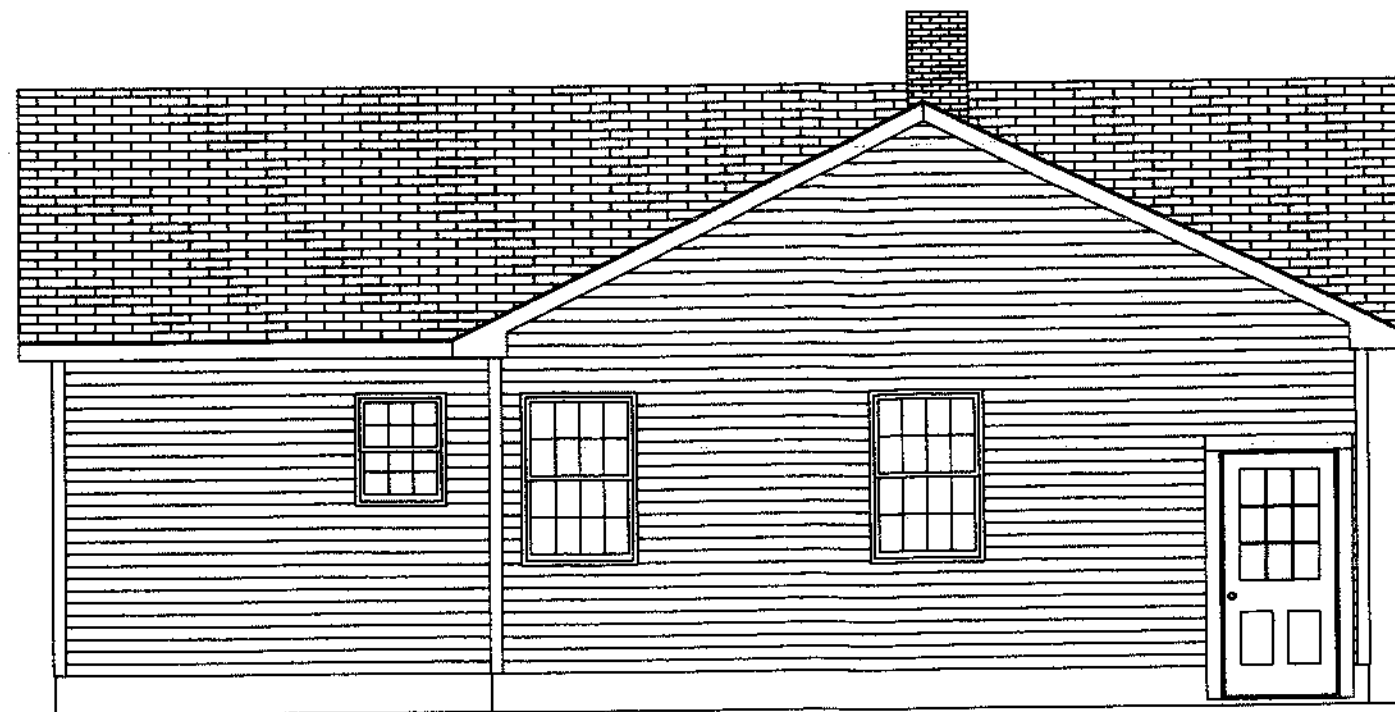


RIGHT ELEVATION

26'x36' RANCH W/24'x24' GARAGE
HANCOCK LUMBER CASCO



LEFT ELEVATION



REAR ELEVATION

26'x36' RANCH W/24'x24' GARAGE
HANCOCK LUMBER CASCO
SCALE: 3/16"=1'-0" DATE: 8/04 DRAWN BY: MAC

KEY	BOTANICAL/Common Name	TC	TILIA CORDATA/LITTLELEAF LINDEN
SIZE/REMARKS		3" CAL.	

PLANT SCHEDULE

LEGEND:
 SEE SHEET 2.
GENERAL NOTES:
 SEE SHEET 2.

GRADING PLAN LOT 9

OF:
AUBURN ESTATES
 AUBURN STREET/LONGVIEW DRIVE
 PORTLAND, MAINE
 FOR:
FINAL CONSTRUCTION
 191 STATE ROAD, SUITE 2
 KITTERY, MAINE 03904

DESIGN BY:	DLR
DRAWN BY:	MAL
CHECKED BY:	DLR
DATE:	4-28-05
SCALE:	1" = 30'
FIELD BK:	778
PROJ. NO:	03453
DRAWING:	0345306

RECEIVED MAY 02 2005

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 5-7



INSTALL TYPICAL CONCRETE BLOCK RETAINING WALL ANCHOR DIAMOND BLOCK OR EQUIVALENT. PROVIDE SHOP DRAWINGS PREPARED BY WALL VENDORS. ENGINEER SEE SHEET 2 NOTE 14. INSTALL TEMPORARY EROSION CONTROL MESH ON SLOPES STEEPER THAN 3:1. ANY RETAINING WALL WITH A VERTICAL DROP GREATER THAN 4' REQUIRES SAFETY FENCING OR RAILING PER APPLICABLE BUILDING CODES.

GROUND FLOOR SLAB
 EL. = 153.5
 1st FLOOR
 EL. = 162.3
 GARAGE SLAB EL. = 160.5

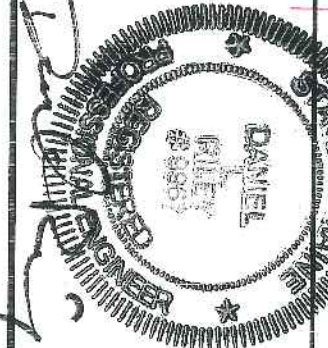
20' SETBACK
 FOUNDATION DRAIN STUB BY OTHERS APPROX INVERT EL. = 139.5
 10" PVC STORM DRAIN BY OTHERS SEE NOTE 15

5' SIDEWALK EASEMENT TO CITY OF PORTLAND SEE PLAN REFERENCED IN NOTE 6
 SEE NOTE 15
 SEE NOTE 15

24" STORM DRAIN BY OTHERS SEE NOTE 15
 8" SAN SEWER BY OTHERS VERIFY AS BUILT S = 0.005
 INVERT
 FOUNDATION DRAIN TO STUB BY OTHERS SEE NOTE 15
 SANITARY SEWER STUB BY OTHERS APPROXIMATE INVERT EL. = 136.5
 SEE NOTE 15

EXISTING MANHOLE TO BE REPLACED BY OTHERS INV. IN = 139.87
 EXIST. 5MH
 INV. IN = 136.20
 INV. IN = 143.85
 INV. IN = 136.20

INSTALL SILT FENCE AT LIMITS OF DISTURBANCE
 25' SETBACK
 14' SETBACK



Sebago Technics
 Engineering Expertise You Can Build On
 One Chebot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

GENERAL NOTES

1. APPLICANT: LAURENCE STURDIVANT
 NIAL CONSTRUCTION, INC.
 191 STATE ROAD, SUITE 2
 KITTERY, ME 03904

2. THE PROPERTY IS SHOWN AS LOT 9 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.

3. TOTAL AREA OF PARCEL: 8,383 SQUARE FEET (0.19 ACRES).

4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH, HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.

5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929), VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERN SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.

6. PLAN REFERENCES:

A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.
 7. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 ZONE. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

R-3 ZONE	
MIN. LOT SIZE	6,500 SF.
MIN. AREA PER DWELLING UNIT	6,500 SF.
MIN. STREET FRONTAGE	50 FT.
MIN. FRONT YARD SETBACK	25 FT.
MIN. REAR YARD SETBACK	25 FT.
MIN. SIDE YARD SETBACK	5 FT.
1 STORY	8 FT.
1½ STORY	8 FT.
2 STORY	14 FT.
2½ STORY	16 FT.
MIN. SIDE YARD SETBACK	20 FT.
MAX. LOT COVERAGE	25%
(BLDG. FOOTPRINT)	75 FT.
MIN. LOT WIDTH	35 FT.
MAX. BLDG. HEIGHT	18 FT.
(PRINCIPAL)	
MAX. BLDG. HEIGHT	18 FT.
(DETACHED ACCESSORY)	

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET.

8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.

9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.

10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MANE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.

12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HEREON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.

13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.

14. THE PROPOSED RETAINING WALL SHALL BE A MODULAR CONCRETE BLOCK WALL WITH GEGRID REINFORCED BACKFILL. WALL SHALL BE "ANCHOR DIAMOND" AS MANUFACTURED BY ANCHOR RETAINING WALL SYSTEMS, INC. OR AN ENGINEER APPROVED EQUIVALENT. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE PROPOSE WALL SYSTEM PROVIDING DETAILS OF THE WALL CONSTRUCTION, BACKFILL REINFORCEMENT AND DRAINAGE SYSTEM. SHOP DRAWINGS SHALL BE PREPARED BY THE WALL MANUFACTURER AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MAINE AND FAMILIAR WITH THE DESIGN OF MECHANICALLY STABILIZED EARTH RETAINING WALL SYSTEMS. ANY RETAINING WALL WITH A VERTICAL DROP GREATER THAN 4' REQUIRES SAFETY RAILING OR FENCING PER APPLICABLE BUILDING CODES.

15. THE SANITARY SEWERS, STORM DRAIN, MANHOLES CATCH BASINS, AND FOUNDATION DRAIN STUBS IN AUBURN STREET ARE PROPOSED FOR CONSTRUCTION BY THE CITY OF PORTLAND AS PART OF THE AUBURN STREET COMBINED SEWER SEPARATION PROJECT. THE SERVICE STUB LOCATIONS AND ELEVATIONS SHOWN HEREON ARE BASED ON DESIGN PLANS AND DO NOT REFLECT THE AS BUILT CONDITION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE SERVICE STUBS WITH THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO THE CONSTRUCTION OF BUILDING FOUNDATIONS.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	PROPERTY/ROW	
	SETBACK	
	BUILDING	
	SIGN	
	EDGE PAVEMENT	
	GRAVEL ROAD	
	CURBLINE	
	TREE LINE	
	CONTOURS	
	WATER	
	SEWER	
	STORM DRAIN	
	FORCE MAIN	
	UNDERDRAIN	
	UNDERGROUND	
	ELEC. & TEL.	
	LIGHT POLE	
	HYDRANT	
	MANHOLE	
	SPOT GRADE	
	DECIDUOUS TREE	
	CONIFEROUS TREE	
	ZONE LINE	

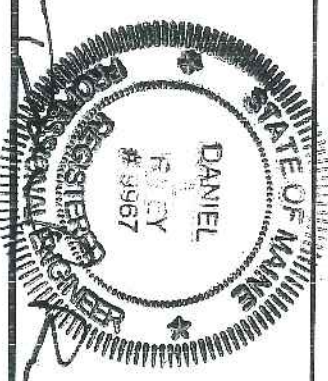
CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 5/2

RECEIVED MAY 02 2005

NOTES

OF:
LOT 9 AUBURN ESTATES
 AUBURN STREET/LONGVIEW DRIVE
 PORTLAND, MAINE
 FOR:
NIAL CONSTRUCTION
 191 STATE ROAD, SUITE 2
 PORTLAND, ME 03904

DESIGN BY: DLR
 DRAWN BY: FCL
 CHECKED BY: DLR
 DATE: 4-28-05
 SCALE: -
 FIELD BK: 778
 PROJ. NO: 03453
 DRAWING: 0345366.DWG
SHEET 2 OF 2



Sebago Technics
 Engineering Expertise You Can Build On
 One Chdot Street
 Westbrook, Me 04098-1339
 Tel (207) 566-0277

KEY	BOTANICAL/Common Name	SIZE/REMARKS
TC	TILIA CORDATA/LITTLELEAF LINDEN	3" CAL.

PLANT SCHEDULE

LEGEND:
 SEE SHEET 2.
 SEE SHEET 2.

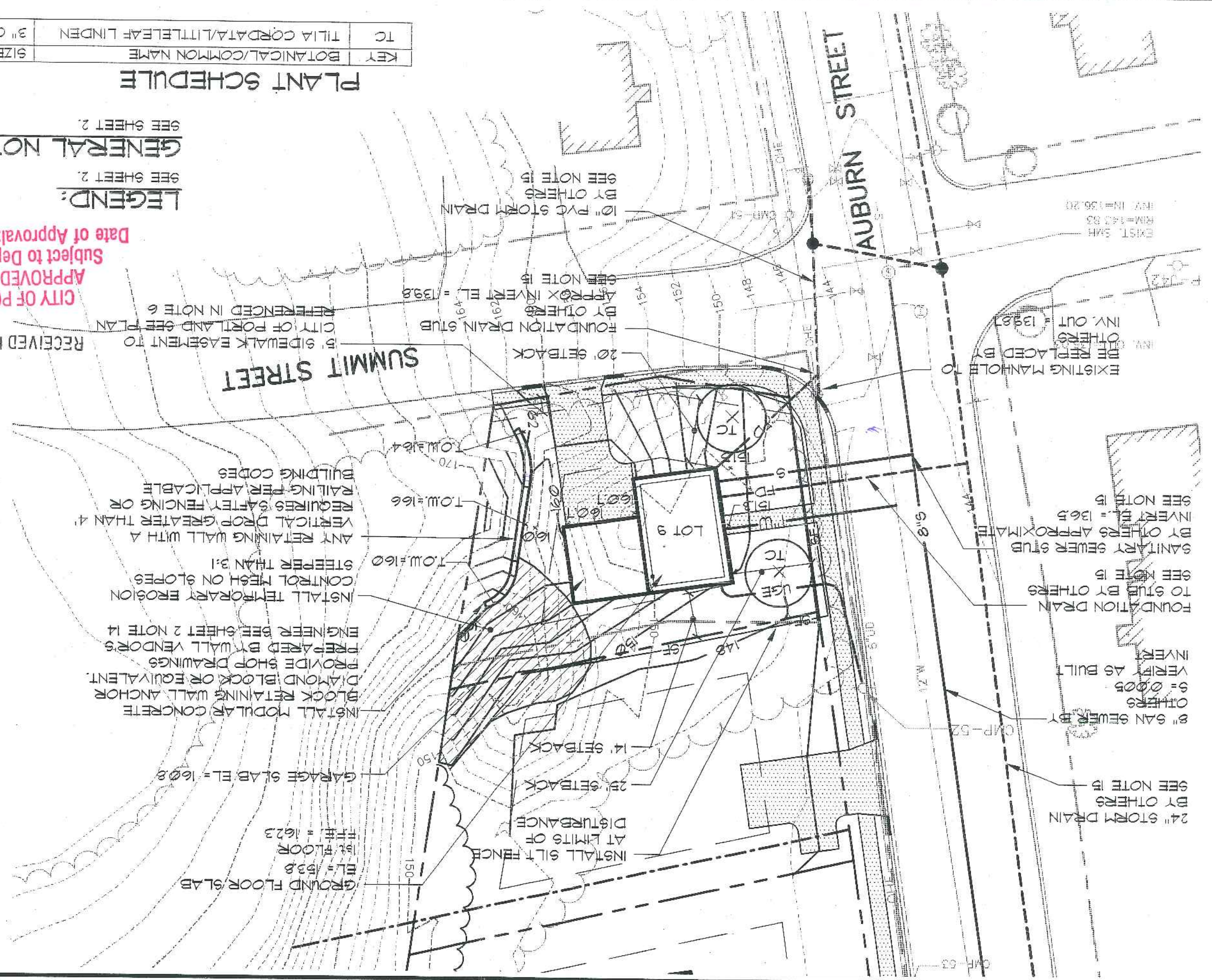
GENERAL NOTES:

CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 5-2

RECEIVED MAY 02 2005

SUMMIT STREET

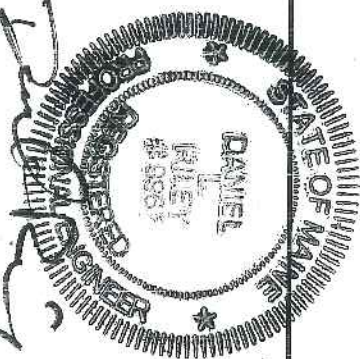
INSTALL MODULAR CONCRETE BLOCK RETAINING WALL ANCHOR DIAMOND BLOCK OR EQUIVALENT. PROVIDE SHOP DRAWINGS PREPARED BY WALL VENDORS. ENGINEER SEE SHEET 2 NOTE 14. INSTALL TEMPORARY EROSION CONTROL MESH ON SLOPES STEEPER THAN 3:1. ANY RETAINING WALL WITH A VERTICAL DROP GREATER THAN 4' REQUIRES SAFETY FENCING OR RAILING PER APPLICABLE BUILDING CODES.



GRADING PLAN LOT 9

OF:
AUBURN ESTATES
 AUBURN STREET/LONGVIEW DRIVE
 PORTLAND, MAINE
 FOR:
RESIDENTIAL CONSTRUCTION
 191 STATE ROAD, SUITE 2
 KITTERY, MAINE 03904

DESIGN BY: DLR
 DRAWN BY: MAL
 CHECKED BY: DLR
 DATE: 4-28-05
 SCALE: 1"=30'
 FIELD BK: 778
 PROJ. NO: 03453
 DRAWING: 0345366
SHEET 1 OF 2



Sebago Technics
 Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, Me 04098-1339
 Tel (207) 855-0277

GENERAL NOTES

1. APPLICANT: LAWRENCE STURDIVANT
 NAIL CONSTRUCTION, INC.
 191 STATE ROAD, SUITE 2
 KITTERY, ME 03904

2. THE PROPERTY IS SHOWN AS LOT 9 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.

3. TOTAL AREA OF PARCEL: 8,383 SQUARE FEET (0.19 ACRES)

4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.

5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 11, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929) VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 102.86 FEET.

6. PLAN REFERENCES:
 A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC. DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.
 1. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 ZONE. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

R-3 ZONE

- MIN. LOT SIZE 6,500 SF.
- MIN. AREA PER DWELLING UNIT 6,500 SF.
- MIN. STREET FRONTAGE 50 FT.
- MIN. FRONT YARD SETBACK 25 FT.
- MIN. REAR YARD SETBACK 25 FT.
- MIN. SIDE YARD SETBACK 8 FT.
- 1 STORY 8 FT.
- 1 1/2 STORY 8 FT.
- 2 STORY 14 FT.
- 2 1/2 STORY 16 FT.
- MIN. SIDE YARD SETBACK 20 FT.
- ON SIDE STREET
- MAX. LOT COVERAGE 25%
- (BLDG. FOOTPRINT)
- MIN. LOT WIDTH 15 FT.
- MAX. BLDG. HEIGHT 35 FT.
- (PRINCIPAL)
- MAX. BLDG. HEIGHT 18 FT.
- (DETACHED ACCESSORY)

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET.

8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.

9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.

10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MANE DEPARTMENT OF ENVIRONMENTAL PROTECTION. BEST MANAGEMENT PRACTICES A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES. CONTRACTOR TO POSSES A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.

12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HEREON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.

13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.

14. THE PROPOSED RETAINING WALL SHALL BE A MODULAR CONCRETE BLOCK WALL WITH GEGRID REINFORCED BACKFILL. WALL SHALL BE "ANCHOR DIAMOND" AS MANUFACTURED BY ANCHOR RETAINING WALL SYSTEMS, INC. OR AN ENGINEER APPROVED EQUIVALENT. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE PROPOSE WALL SYSTEM PROVIDING DETAILS OF THE WALL CONSTRUCTION, BACKFILL REINFORCEMENT AND DRAINAGE SYSTEM. SHOP DRAWINGS SHALL BE PREPARED BY THE WALL MANUFACTURER AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MAINE AND FAMILIAR WITH THE DESIGN OF MECHANICALLY STABILIZED EARTH RETAINING WALL SYSTEMS. ANY RETAINING WALL WITH A VERTICAL DROP GREATER THAN 4' REQUIRES SAFETY RAILING OR FENCING PER APPLICABLE BUILDING CODES.

15. THE SANITARY SEWERS, STORM DRAINS, MANHOLES CATCH BASINS, AND FOUNDATION DRAIN STUBS IN AUBURN STREET ARE PROPOSED FOR CONSTRUCTION BY THE CITY OF PORTLAND AS PART OF THE AUBURN STREET COMBINED SEWER SEPARATION PROJECT. THE SERVICE STUB LOCATIONS AND ELEVATIONS SHOWN HEREON ARE BASED ON DESIGN PLANS AND DO NOT REFLECT THE AS BUILT CONDITION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE SERVICE STUBS WITH THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO THE CONSTRUCTION OF BUILDING FOUNDATIONS.

LEGEND

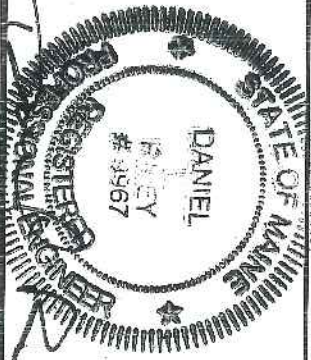
EXISTING	DESCRIPTION	PROPOSED
	PROPERTY/ROW	
	SETBACK	
	BUILDING	
	SIGN	
	EDGE PAVEMENT	
	GRAVEL ROAD	
	CURBLINE	
	TREELINE	
	CONTOURS	
	WATER	
	SEWER	
	STORM DRAIN	
	FORCE MAIN	
	UNDERGROUND	
	ELEC. & TEL.	
	GATE VALVE	
	LIGHT POLE	
	HYDRANT	
	MANHOLE	
	SPOT GRADE	
	DECIDUOUS TREE	
	CONIFEROUS TREE	
	ZONE LINE	

CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 5-2

RECEIVED MAY 02 2005

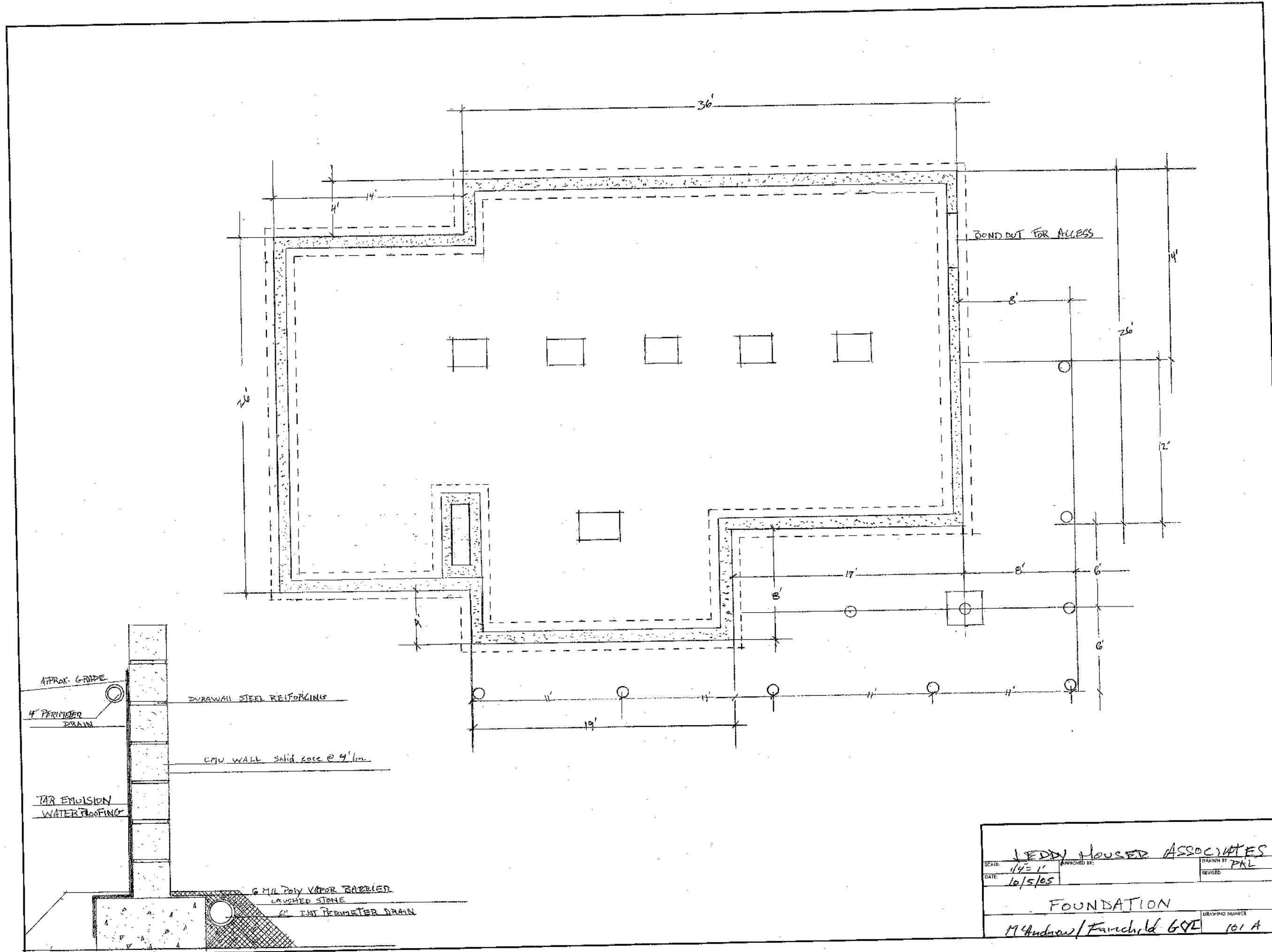
NOTES

OF:
LOT 9 AUBURN ESTATES
 AUBURN STREET/LONGVIEW DRIVE
 PORTLAND, MAINE
 FOR:
NIAL CONSTRUCTION
 191 STATE ROAD, SUITE 2
 PORTLAND, ME 03904



Sebago Technics
 Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277

DESIGN BY: DLR
 DRAWN BY: FCL
 CHECKED BY: DLR
 DATE: 4-28-05
 SCALE: -
 FIELD BK: 778
 PROJ. NO: 03453
 DRAWING: 0345366.DWG
SHEET 2 OF 2



APPROX. GRADE
4" PERIMETER DRAIN

DURAWALL STEEL REINFORCING

CMU WALL solid core @ 4" lin.

TAR EMULSION WATERPROOFING

6 MIL Poly VAPOR BARRIER
CRUSHED STONE
6" INT PERIMETER DRAIN

BOND OUT FOR ACCESS

LEDDY HOUSE ASSOCIATES	
SCALE: 1/4" = 1'	APPROVED BY: PKL
DATE: 10/5/05	REVISED:
FOUNDATION	
M. Andrew / Fairchild GPE	DRAWING NUMBER: 101 A