

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED		CBL:
Permit No: 01-0560	Issue Date: Q 2001	386A A003001

Location of Construction: 27 Garsoe Dr	Owner Name: Matthews F John &	Owner Address: 3 Candlewyck Ter Portland, ME	Phone: 207-871-7750
Business Name: n/a	Contractor Name: no contractor/self	Contractor Address: n/a n/a	Phone:
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	Zone: R-2

Past Use: Vacant Lot	Proposed Use: Amendment to permit # 01-0367 Single Family Construction; Foundation ONLY. Call F. John Matthews at 797-7171 when ready.	Permit Fee:	Cost of Work: \$130,000.00	CEO District: 2
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 COC PERMIT ISSUED 5/2 WITH REQUIREMENTS
Signature:	Signature:

Proposed Project Description:
 Amend Permit #01-0367 for New 37' X 42' Single Family Home (Foundation Only)

Already Issued

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: cjh	Date Applied For: 05/17/2001	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 2 zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan # 2001-0062 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK per ne daylight</i> Date: <i>base ment</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>S</i>
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S 6/7/01

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$130,000.00 Plan Review # _____

Fee: \$804.00 Date: 19 MAY 2001

Building Location: 27 Garsoe Drive CBL: 386-AA-003

Building Description: Single Family dwelling/private garage.

Reviewed By: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 5B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site plan and building Code requirements shall be completed before a certificate of occupancy can or will be issued	111.0 118.0
2.	Before any work is started a complete framing detail shall be submitted of approval	107.0
3.	Private garages shall comply with section 407.0	407.0
4.	Chimneys, vents & fireplaces shall comply with NFPA 211 (Chimneys, Ch. 5) (Fireplaces Ch. 8)	NFPA 211
5.	Guardrails and handrails shall comply with sections 1021.0/1022.0	1021.0 1022.0
6.	Stair construction shall comply with section 1014.0	1014.0
7.	Sleeping room egress or rescue window shall comply with section 1010.4	1010.4
8.	Smoke detectors shall comply with section 920.3.2	920.3.2
9.	Ventilation and access to crawl or attic spaces, shall comply with sections 1210/1211	1210.0 1211.0
10.	Building element/ Fastening shall comply with Table 2305.2	2305.2
11.	Boring, Cutting and Notching shall comply	

REV: PSH 4-7-00

Foundations (Chapter 18)

Wood Foundation (1808)

NA Design
NA Installation

Footings (1807.0)

X Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
NA Insulated footing provided
X Soil bearing value (table 1804.3)
X Footing width
X Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

X Design (1812.1)
X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
X Water proofing and damp proofing Section 1813
X Sill plate (2305.17)
X Anchorage bolting in concrete (2305.17)
X Columns (1912)
52 Crawl space (1210.2) Ventilation
51 Crawl opening size (1210.2.1)
51 Access to crawl and attic space (1211.0)

Floors (Chapter 16-23)

X Joists - Non sleeping area LL40PSF (Table - 1606)
X Joists - Sleeping area LL30PSF (Table - 1606)
X Grade
X Spacing
X Span
X Girder 4" bearing 2305

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~SR~~ Bridging (2305.16)
- ~~SI~~ Boring and notching (2305.5.1)
- ~~SI~~ Cutting and notching (2305.3)
- ~~SI~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SI~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SI~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SI~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~SR~~ Masonry construction (Chapter 21)
- ~~SI~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~SI~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- SA Roof rafters - Design (2305.15) spans
- X Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- NA Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- SA Approved materials (1404.1)
- SA Performance requirement (1505)
- SA Fire classification (1506)
- SA Material and installation requirements (1507)
- SA Roof structures (1510.0)
- SA Type of covering (1507)

**Chimneys and Fireplaces
 BOCA Mechanical/1993**

- SA Masonry (1206.0)
- NA Factory - built (1205.0)
- SA Masonry fireplaces (1404)
- NA Factory - built fireplace (1403)
- SA NFPA 211

**Mechanical
 1993 BOCA Mechanical Code**

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>40 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

<u>SA</u>	Labeling (2402.1)
_____	Louvered window or jalousies (2402.5)
_____	Human impact loads (2405.0)
_____	Specific hazardous locations (2405.2)
_____	Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

<u>SA</u>	General (407)
_____	Beneath rooms (407.3)
_____	Attached to rooms (407.4)
_____	Door sills (407.5)
_____	Means of egress (407.8)
_____	Floor surface (407.9)

Egress (Chapter 10)

- ~~SA~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~SA~~ EXIT DOOR (1017.3) 36" W 80" H
- ~~SA~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SA~~ Riser (1014.6) 7 3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

Dwelling Unit Separation

Table 602
~~NA~~

BUILDING PERMIT REPORT

DATE: 19 MAY 2001 ADDRESS: 27 Garsoe DRIVE CBL: 386-AA-003

REASON FOR PERMIT: To Construct a 37'x42' Colonial

BUILDING OWNER: The Matthews

PERMIT APPLICANT: /CONTRACTOR SAO

USE GROUP: R-3 CONSTRUCTION TYPE: 5-B CONSTRUCTION COST: 130,000.00 PERMIT FEES: 804.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)


CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *5, *8, *9, *11, *13, *14, *15, *16, *20, *32

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
*3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
*4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
*5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
*6. Precaution must be taken to protect concrete and masonry.
*7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
*8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
*9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
*10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
*11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
*12. Headroom in habitable space is a minimum of 7'6".
*13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise.
*14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
*15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
*16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
*17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
*18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
*19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

5/10

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- *27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- *28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
- *29. All requirements must be met before a final Certificate of Occupancy is issued.
- *30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- *31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
32. Please read and implement the attached Land Use Zoning report requirements. *It is understood that there is no day light basement. The maximum building height is 35 ft.*
- *33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- *34. Bridging shall comply with Section 2305.16.
- *35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- *36. All flashing shall comply with Section 1406.3.10.
37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- *38. ~~IF any steel beams are being used in this proposed construction a design by a structural engineer shall be submitted to this office.~~
- *39. ~~Your plans does not show a framing detail on all framing members - before work is started this information shall be submitted for review and approval.~~
- *40. ~~2x8 @ 16" O.C. max span - 12'3" - 2x10 @ 16" O.C. max span 15'5" (Joists 40PSF)
2x8 @ 16" O.C. max span - 13'6" - 2x10 @ 16" O.C. max span 16'6" (Rafters 40PSF)~~


 P. Samuel Hoffses, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

01-0560
all logged

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: **27 GARSOE DR**

Total Square Footage of Proposed Structure **2277** Square Footage of Lot **1.57 ACER**

Tax Assessor's Chart, Block & Lot Number
Chart# **386** Block# **AA** Lot# **003**
Owner: **F JOHN + PAMELA MATTHEWS**
Telephone#: **871-7750**
797-7171

Lessee/Buyer's Name (If Applicable)
Owner's/Purchaser/Lessee Address: **3 CANDLEWYCKER.**
Cost Of Work **\$130,000** Fee: **804.00**
~~690~~

Current use: **Foundation only**
If the location is currently vacant, what was prior use: **NONE**
Approximately how long has it been vacant:
Proposed use: **S/F** **Amendments to permit # 01-0367**
Project description: **37 X 42 Colonial SF**

Contractor's Name, Address & Telephone: **SELF**
Applicants Name, Address & Telephone: **3 CANDLEWYCKER.**
PORTLAND ME 04012
Who should we contact when the permit is ready: **F. JOHN MATTHEWS**
Telephone: **797-7171** **871 7750 + xcall**
If you would like the permit mailed, what mailing address should we use: **NO**
3/17/01
Gayb
Rec'd By:

REVISIONS	DATE	BY
CLAR 12 15	11 15 2017	

HOMIEPLANS
 1800 LAKE PARK DRIVE, SUITE 101
 BAYTOWN, TEXAS 77528
 770-431-0888

ELEVATIONS
 THE CARMICHAEL

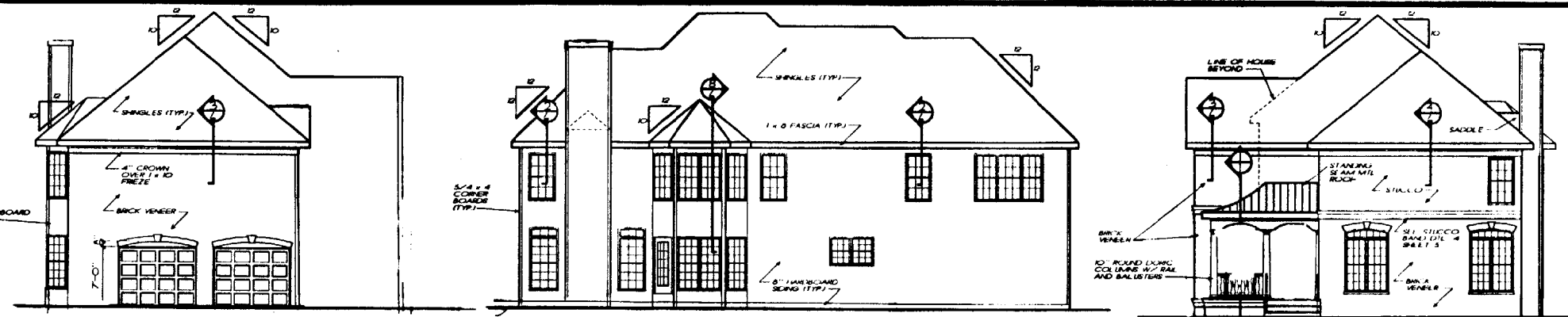
FBA
 FRANK BETZ ASSOCIATES, INC.
 1800 LAKE PARK DRIVE, SUITE 101
 BAYTOWN, TEXAS 77528
 770-431-0888

BY: CCM CK

DATE: 9-2-14

SHEET:
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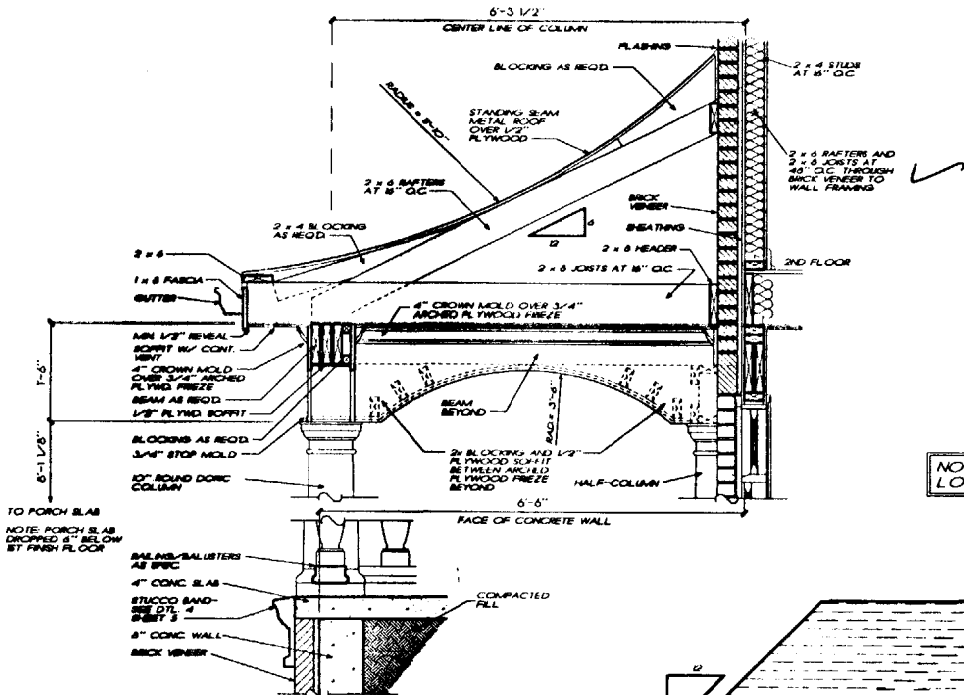
NOTE: ELEVATIONS REFLECT A BASEMENT FOUNDATION. IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN.



LEFT ELEVATION
 1/8" = 1'-0"

REAR ELEVATION
 1/8" = 1'-0"

RIGHT ELEVATION
 1/8" = 1'-0"

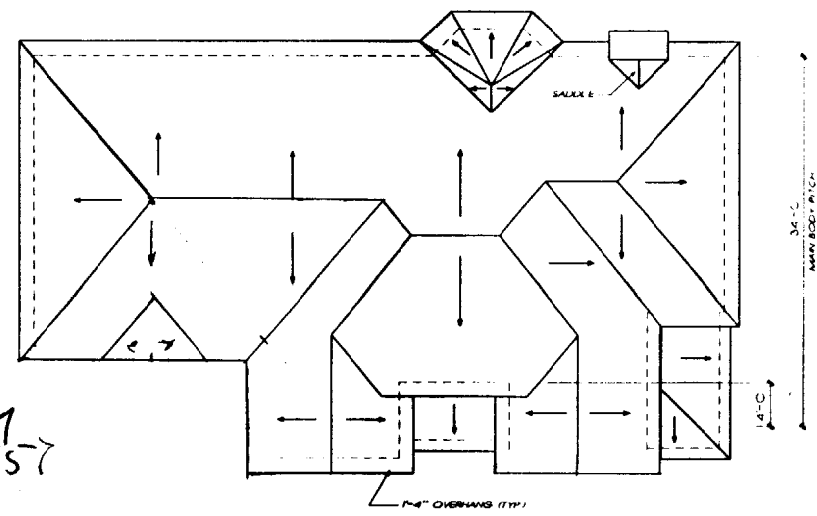


SIDE PORCH DETAIL
 3/4" = 1'-0"

NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS
 Sec. 1210.4

NOTE: WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQ'D, TO LINE UP FASCIAS AT A MINIMUM OF 1'-0" OVERHANG

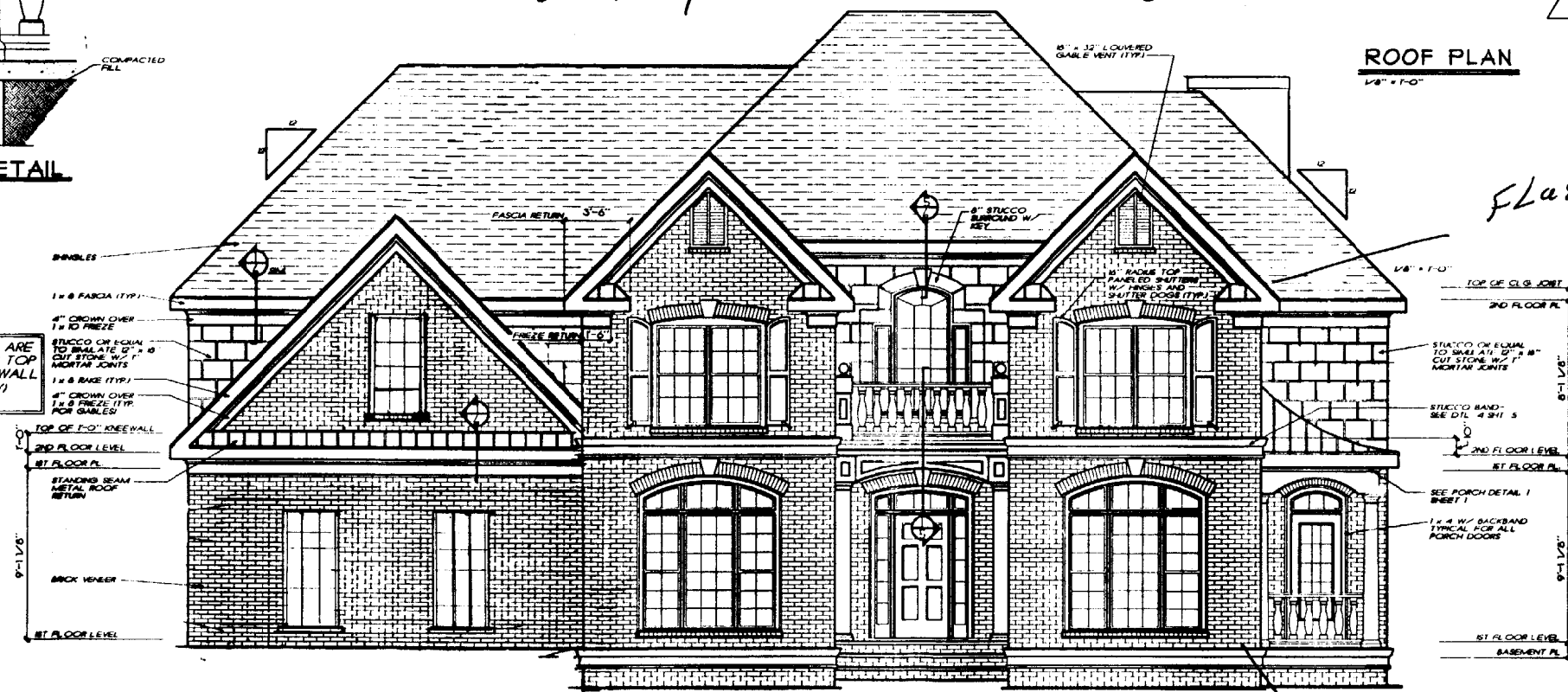
Roof 1:27
 Ch. 157



ROOF PLAN
 1/8" = 1'-0"

Flashing Sec. 1406.3.1

NOTE: RAFTERS ARE PITCHED FROM TOP OF 1'-0" KNEEWALL (GARAGE ONLY) SEE DETAILS



FRONT ELEVATION
 1/8" = 1'-0"

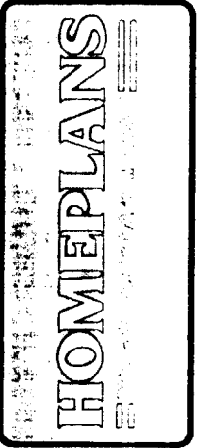
PROVIDE SUPPORT FOR PORCH AND STEPS TO GRADE AS REQ'D

Brick Veneers Sec. 1406.4 ALSO Chapter 21 Masonry

STAIRS TO BE LOCATED IN ASSUMED PLACE FOR REFERENCE FOR MODIFICATION MAX. 10% TO BE PLANNED BY OTHER

REVISIONS	DATE	BY

This drawing is the property of Frank Betz Associates, Inc. and is not to be used without the written consent of Frank Betz Associates.



BASEMENT FOUNDATION PLAN

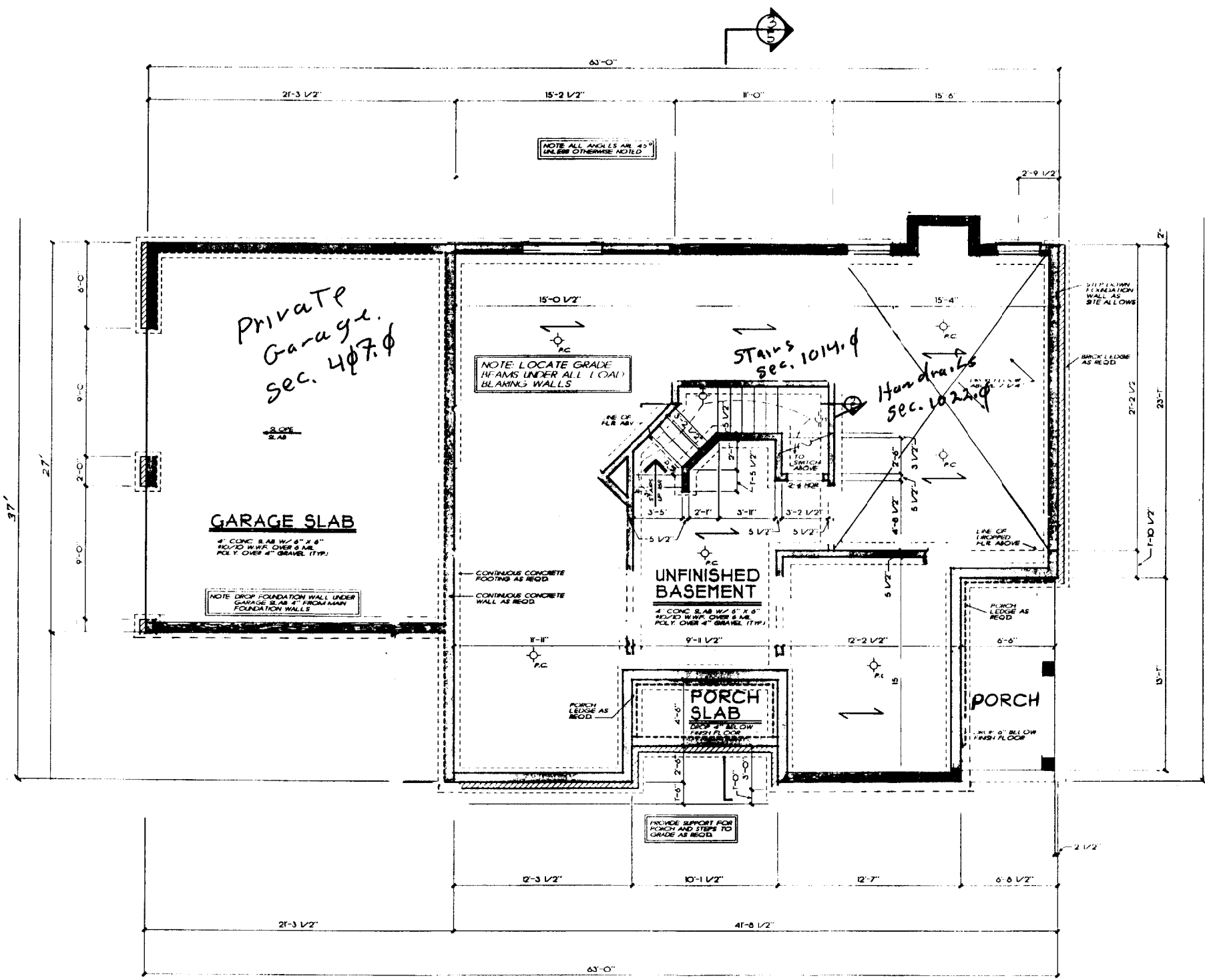
THE CARMICHAEL

FBA
 FRANK BETZ ASSOCIATES, INC.
 1800 LARK PARK DRIVE, SUITE 101
 SMITHSON, IOWA 50081
 770/431-0881

BY: CWA CK AL

DATE: 7-2-94

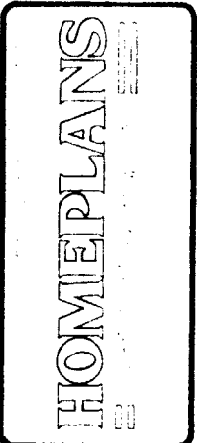
SHEET
2
 OF 3



BASEMENT FOUNDATION PLAN
 1/4" = 1'-0"

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

REVISIONS	DATE	BY



FIRST FLOOR PLAN

THE CARMICHAEL

FBA
FRANK BETZ ASSOCIATES, INC.
1800 LAKE PARK DRIVE, SUITE 101
SMYRNA, GEORGIA 30080
770-431-0600

BY: [Signature]

DATE: 9/1/94

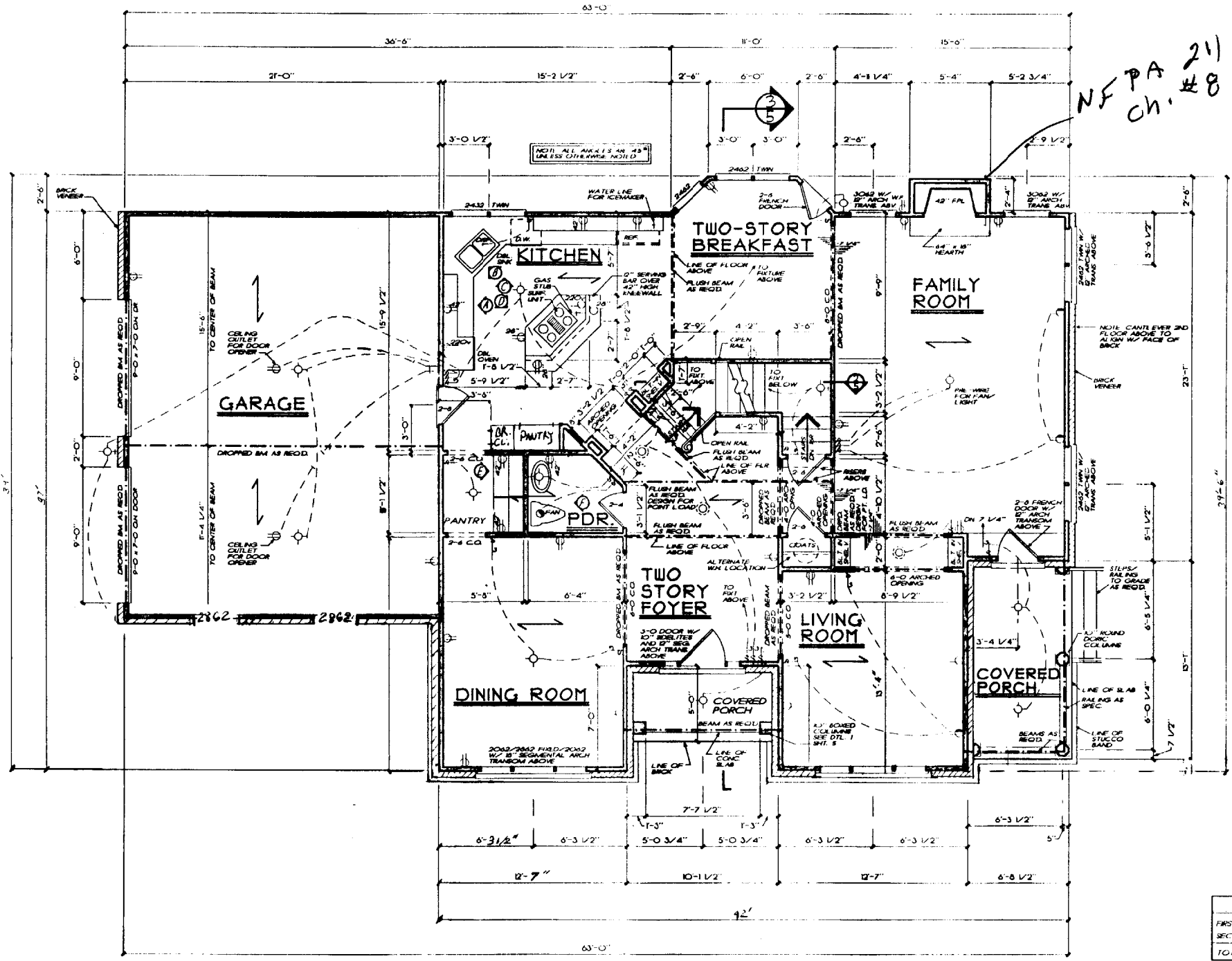
SHEET
3

GENERAL FRAMING NOTES

1. PROVIDE FLOOR AT MID HEIGHT OF ALL WALLS.
2. ALL JOISTS AND RAFTERS SHALL BE ANGLE-IRON STUDS BELOW.
3. ALL HEADS SHALL BE 2" X 4'S WITH 1/2" PLYWOOD FLUSH PLATE UNLESS OTHERWISE NOTED.
4. FRAMER TO INSTALL DOUBLE HOOK JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
5. PROVIDE 1/4" CORNER BRIDGES AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
6. ALL EXTERIOR CORNING BRIDGE AND LINTEL JOISTS SHALL BE BRACED WITH 1/2" X 4" PLYWOOD BRACING. BRACING SHALL BE CORNERS AT 6' O.C. AT ALL EXTERIOR WALLS AND SO CORNERS AT 6' O.C. AT ALL INTERMEDIATE STUDS. BRACING APPROXIMATELY DIAGONAL. CORNER BRACES BOTH DIRECTIONS AT ALL JOISTS.
7. ALL COLUMNS OF BOLD FRAMING SHALL EXTEND DOWN THROUGH ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
8. PROVIDE DOUBLE 2X6 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".
9. PROVIDE COLLAR TIES AT UPPER END OF VERTICAL DISTANCE BETWEEN ROOF BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
10. 1/4" VALLEY BRACES AND RIDGE BOARDS SHALL BE ONE (1) 2" X 4" LARGER THAN BRACES.
11. ROOF DECKING SHALL BE 1/2" X 4" PLYWOOD MINIMUM.
12. WHERE PER ENGINEERED FLOOR AND ROOF JOISTS ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH SHALL BE SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
13. ALL CEILING JOISTS AND RAFTERS BRACING TO NEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOADS THROUGH ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
14. ALL BASEMENT WALLS, BEAMS, AND COLUMNS TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
15. ALL BOLD FRAMING COLUMNS, BEAMS, ETC. TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
16. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2" X 4" STUDS UNLESS OTHERWISE NOTED.

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND PERMITS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINS CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO FRAMER IMMEDIATELY. FRAMER SHALL CORRECT AND/OR CONNECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINS CONSTRUCTION.
3. ALL DIMENSIONS SHOULD BE MEASUREMENTS TO FACE UNLESS OTHERWISE NOTED. ALL FOOTINGS TO BE BELOW FROST LINE PER LOCAL CODES AND MUST REST ON UNDISTURBED SOIL. CAPABLE OF HANDLING THE BEARINGS. CONSULT LOCAL ENGINEER FOR PROPER FOUNDING AND REINFORCING SIZES.
4. CONTRACTOR SHALL VERIFY COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
5. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
6. ALL FOUNDATION AND STRUCTURAL MEMBERS SHALL BE MIXED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CAPACITY, FROST LINE DEPTHS, WIND AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ASSESSING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
7. ALL WOOD, CONCRETE, AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
8. ALL COLUMNS OR BOLD FRAMING SHALL BE USED TO CARRY LOADS AND SHALL EXTEND DOWN THROUGH ALL LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.

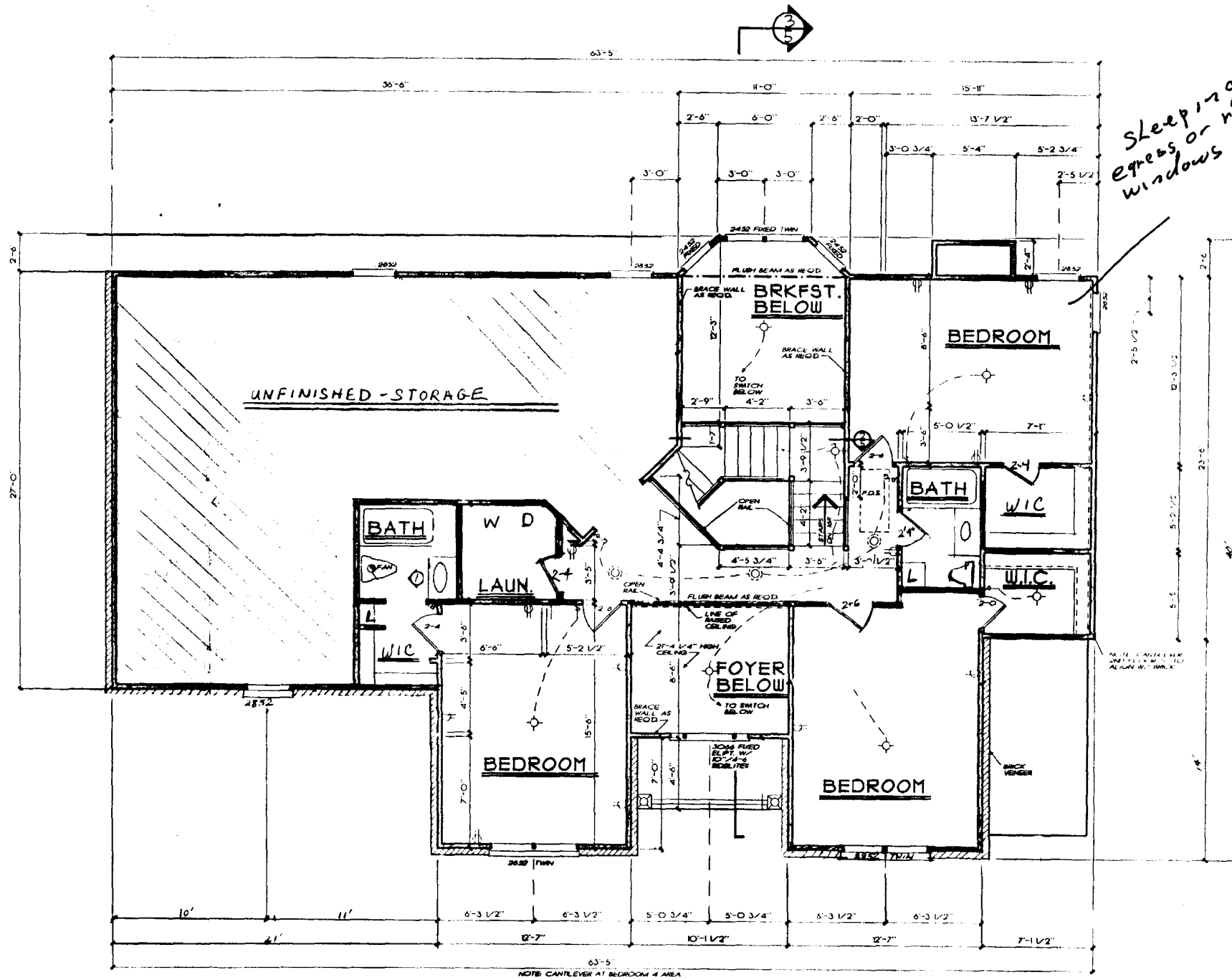


NFPA 211
CH. #8

SQUARE FOOTAGE	
FIRST FLOOR	1405 SQ. FT.
SECOND FLOOR	1679 SQ. FT.
TOTAL	3084 SQ. FT.

FIRST FLOOR PLAN

FRANK BETZ ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY CHANGES OR OMISSIONS MADE TO THIS PLAN BY OTHERS.



SECOND FLOOR PLAN

1/4" = 1'-0"
 FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

NOTE: ALL ANGLES ARE 45° UNLESS OTHERWISE NOTED

NOTE: ALL CEILING JOISTS AND RAFTER BRACKS TO BEAR ON BEARING WALLS DESIGNED TO CARRY LOAD THROUGH ALL LEVELS AND TERMINATE AT FOUNDATION AND BE SUPPORTED BY INCREASED RAMP GARAGE BEAM OR FOOTING DESIGNED TO CARRY LOAD.

Sleeping roof egress or rescue windows Sec. 1916.4

REVISIONS	DATE	BY

HOMIEPLANS

SECOND FLOOR PLAN

THE CARMICHAEL

FBA
 FRANK BETZ ASSOCIATES, INC.
 1800 EAST PARK DRIVE SUITE 101
 SMYRNA, GEORGIA 30080
 770/431-0800

BY: COW CK AJ

DATE: 10/94

SHEET:

4

REVISIONS	DATE	BY

HOMIEPLANS
 ARCHITECTURAL PLANS
 1000 LAKE PARK DRIVE, SUITE 101
 SMYRNA, GEORGIA 30080
 770/431-0811

TRANSVERSE SECTION
 THE CARMICHAEL

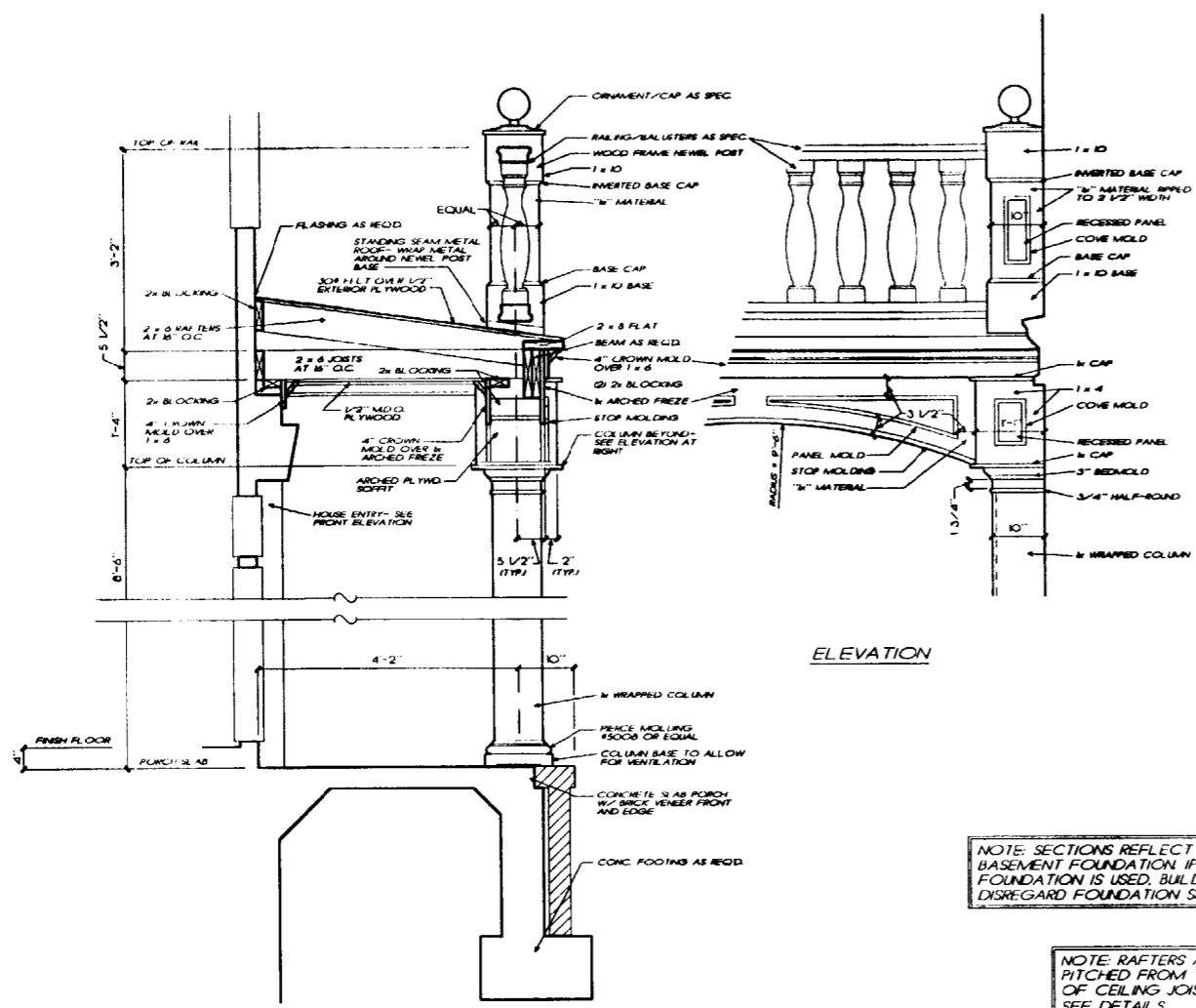
FBA
 FRANK BETZ ASSOCIATES, INC.
 1000 LAKE PARK DRIVE, SUITE 101
 SMYRNA, GEORGIA 30080
 770/431-0811

BY: COW CK

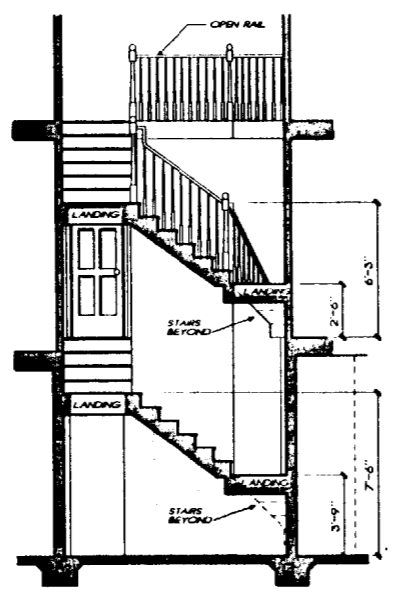
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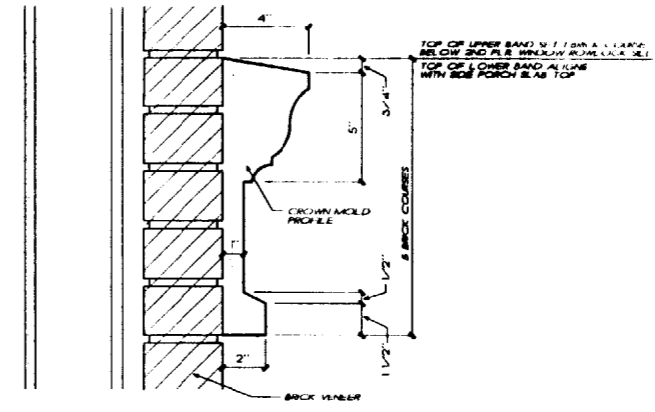


1
5 FRONT PORCH DETAIL
3/4" = 1'-0"



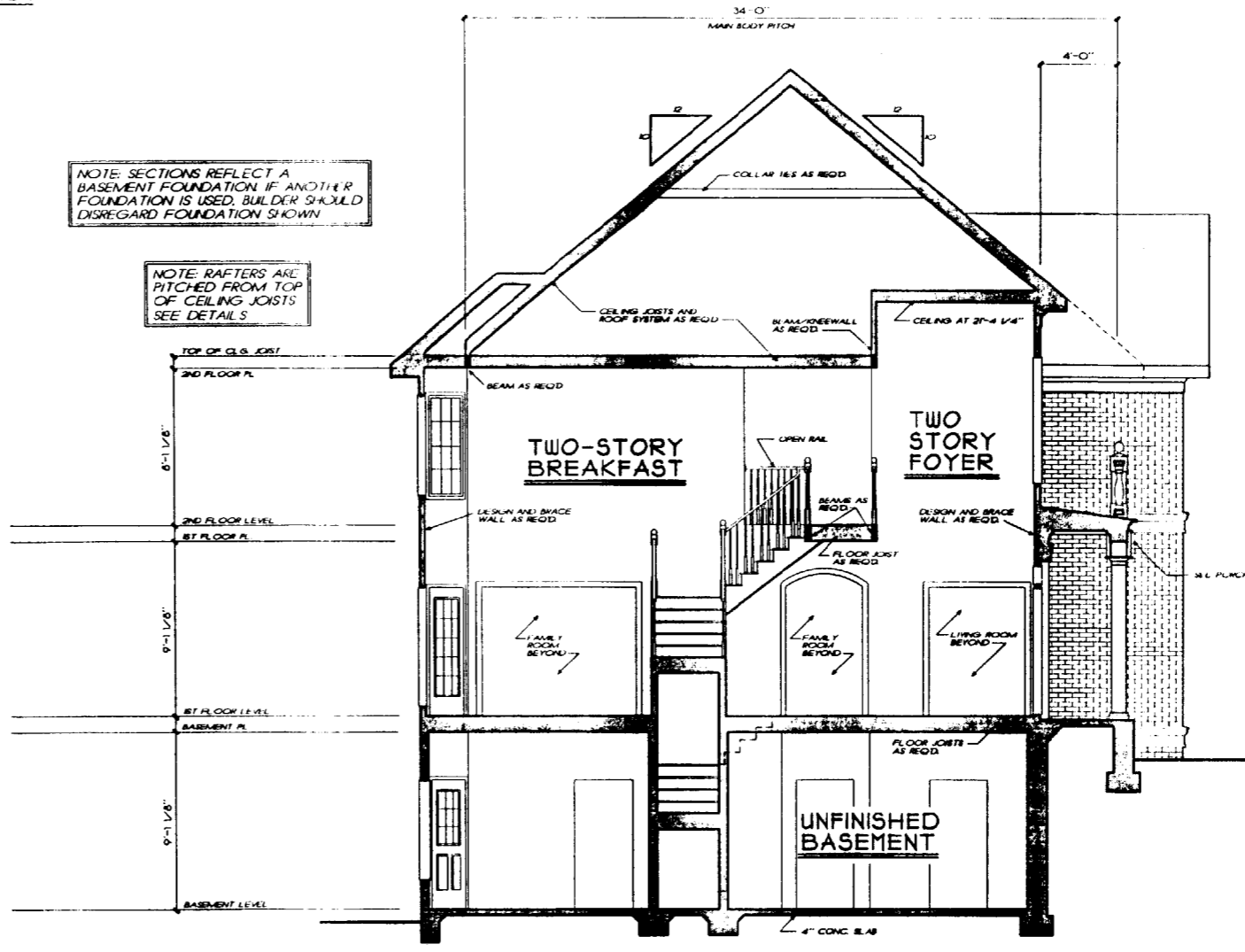
2
5 STAIR SECTION
1/4" = 1'-0"

4
5 STUCCO BAND DETAIL
3/4" = 1'-0"



NOTE: SECTIONS REFLECT A BASEMENT FOUNDATION. IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN

NOTE: RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS. SEE DETAILS



3
5 TRANSVERSE SECTION
1/4" = 1'-0"

FRANK BETZ ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THE PLANS BY OTHERS

