

TO: Inspections

FROM: Jay Reynolds, Development Review Coordinator

DATE: January 17, 2002

RE: C. of O. for # 27 Garsoe Drive  
Lead CBL (386A-A-003) ID# (2001-0062)

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After visiting # 27 Garsoe Drive, I have the following comments:

1. Loam and Seed Incomplete.
2. Unable to verify paved driveway.
3. Grading between #23 and #27 needs to be looked at/addressed in the spring to ensure that runoff is not directed towards the foundation of #23 Garsoe Drive.

Due to the time of year, these items cannot be completed. I anticipate these items can be completed by **June 30, 2002**.

At this time, **I recommend issuing a Temporary Certificate of Occupancy.**

Please contact me if you have any questions or comments.  
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager  
Mike Nugent, Inspection Services Manager  
file

File: O:\drc\27garsoe2.doc

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

Permit No: 01-0357	Issue Date: MAY - 7 2001	CBL: 386 AA003
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Location of Construction: 27 Garsoe Drive (lot 3 Auburn Pines)	Owner Name: Matthews, John & Pamela	Owner Address: 3 Candlewylch	Phone: 207-871-7750
Business Name: n/a	Contractor Name: no contractor/self	Contractor Address: n/a n/a	Phone: 
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Single Family	Zone: R-2

Past Use: Vacant	Proposed Use: New Single Family/Building foundation only. ** Call owner when ready	Permit Fee: \$78.00	Cost of Work: \$9,000.00	CEO District: 2
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Proposed Project Description:  
Build Foundation

*Permit Foundation ONLY*

FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>4</i> Type: <i>PERMIT ISSUED 01/09/01</i> <i>WITH REQUIREMENTS</i>
Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date:

Permit Taken By: gg	Date Applied For: 04/13/2001	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 2 zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <i>X</i> <i>#2001-0662</i> Date: <i>ok with conditions</i> <i>4/26/01</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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**PERMIT ISSUED WITH REQUIREMENTS**

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

200 1-0062

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE  
PERMIT IS ISSUED

## All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 27 GARSOE DR - LOT 3 AUBURN PINES		
Total Square Footage of Proposed Structure 2231 SF	Square Footage of Lot .57 ACERS	
Tax Assessor's Chart, Block & Lot Number Chart# 386 Block# AA Lot# 003	Owner: F. JOHN + PAMELA MATTHEWS	Telephone#: 871-7750 797-7171
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address: 3 CANDLEWYCK TER. PORTLAND 04102	Cost Of Work: \$ 9000. - Fee: \$ 78.00
Current use: LAND		
If the location is currently vacant, what was prior use: NONE		
Approximately how long has it been vacant:		
Proposed use: SINGLE FAMILY		
Project description: HOUSE		
Contractor's Name, Address & Telephone: SELF		
Applicants Name, Address & Telephone: FJOHN MATTHEWS 3 CANDLEWYCK TER. PORTLAND 04102		
X Who should we contact when the permit is ready: F. JOHN MATTHEWS		
Telephone: 797 7171		
If you would like the permit mailed, what mailing address should we use:		
Building fee 78.00 Site Plan 300.00 TOTAL \$378. Rec'd By:		

## BUILDING PERMIT REPORT

DATE: 18 APRIL 2001 ADDRESS: 27 Gursoe Dr. CBL: 386-AA-603  
REASON FOR PERMIT: Foundation only for a new single family home  
BUILDING OWNER: The Matters  
PERMIT APPLICANT: \_\_\_\_\_ /CONTRACTOR SAO

USE GROUP: U CONSTRUCTION TYPE: \_\_\_\_\_ CONSTRUCTION COST: \$9,000.00 PERMIT FEES: \$78.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)  
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

### CONDITION(S) OF APPROVAL

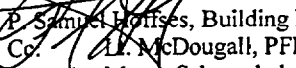
This permit is being issued with the understanding that the following conditions shall be met: \*1, \*2, \*3, \*4, \*5, \*6, \*7

\*32, \*38,

- X1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- X2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- X3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- X4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- X5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- X6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
- X7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
29. All requirements must be met before a final Certificate of Occupancy is issued.
30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
32. Please read and implement the attached Land Use Zoning report requirements. *All the requirements and conditions on the attached Site Development Review permit sh. be met*
33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
34. Bridging shall comply with Section 2305.16.
35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
36. All flashing shall comply with Section 1406.3.10.
37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

\* 38. The Foundation shall be installed in such a manner and have suitable protection for the general public -

  
 P. Samuel Hoffses, Building Inspector  
 Co. L. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator  
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

**\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )**

**\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

**\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

CITY OF PORTLAND MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy

2001-0062

Application I. D. Number

04/18/2001

Application Date

Garsoe Drive (lot 3)

Project Name/Description

Matthews, John F. & Pamela

Applicant

3 Candlewyck Terrace, Portland, ME 04102

Applicant's Mailing Address

n/a

Consultant/Agent

Applicant Ph: (207) 871-7750 Applicant Fax: (207) 222-2222

Applicant or Agent Daytime Telephone, Fax

27 - 27 Garsoe Drive, Portland, Maine

Address of Proposed Site

386 AA003

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential ☐ Office ☐ Retail  
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☒ Other (specify) Foundation only

2231 sf

.57

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 04/13/2001

DRC Approval Status:

Reviewer Jay Reynolds

☐ Approved

☒ Approved w/Conditions  
See Attached

☐ Denied

(Revised Plans Attached)

Approval Date 05/07/2001

Approval Expiration 05/07/2002

Extension to \_\_\_\_\_

☒ Additional Sheets  
Attached

☒ Condition Compliance

Jay Reynolds  
signature

05/07/2001  
date

Performance Guarantee

☐ Required\*

☒ Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted

date

amount

expiration date

☐ Inspection Fee Paid

date

amount

☐ Building Permit Issue

date

☐ Performance Guarantee Reduced

date

remaining balance

signature

☐ Temporary Certificate of Occupancy

date

☐ Conditions (See Attached)

expiration date

☐ Final Inspection

date

signature

☐ Certificate Of Occupancy

date

☐ Performance Guarantee Released

date

signature

☐ Defect Guarantee Submitted

submitted date

amount

expiration date

☐ Defect Guarantee Released

date

signature

**CITY OF PORTLAND, MAINE**  
**DEVELOPMENT REVIEW APPLICATION**  
**PLANNING DEPARTMENT PROCESSING FORM**  
**ADDENDUM**

**2001-0062**

Application I. D. Number

**04/18/2001**

Application Date

**Garsoe Drive (lot 3)**

Project Name/Description

**Matthews, John F. & Pamela**

Applicant

**3 Candlewyck Terrace, Portland, ME 04102**

Applicant's Mailing Address

n/a

Consultant/Agent

**Applicant Ph: (207) 871-7750      Applicant Fax: 2072222222**

Applicant or Agent Daytime Telephone, Fax

**27 - 27 Garsoe Drive, Portland, Maine**

Address of Proposed Site

**386 AA003**

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Insp**

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pools, and/or garage.
- 3 This permit is for FOUNDATION ONLY. BEFORE construction of the structural building, a separate application shall be applied for, reviewed, and approved.
- 4 This application in no way guarantees the issuance of a structural permit. All applicable codes would have to be met based on those submittals.

**Approval Conditions of DRC**

- 1 TWO TREES (REQUIRED) ALONG THE FRONTAGE OF THE PROPERTY ARE NOT SHOWN ON THE PLAN. TREES MUST BE IN PLACE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 2 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 27 Garsoe Drive, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Insp Copy**

2001-0062

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04/18/2001

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Consultant/Agent

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Applicant or Agent Daytime Telephone, Fax

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Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

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|--|---|--|--|
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| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date: 04/13/2001

**Insp Approval Status:**

☐ Approved

☒ Approved w/Conditions  
See Attached

☐ Denied

Approval Date 04/26/2001

Approval Expiration 04/26/2002

Extension to \_\_\_\_\_

☒ Additional Sheets  
Attached

☒ Condition Compliance

Marge Schmuckal  
signature

04/26/2001  
date

Performance Guarantee

☐ Required\*

☐ Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

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date

amount

expiration date

☐ Inspection Fee Paid

date

amount

☐ Building Permit Issued

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date

☐ Performance Guarantee Released

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signature

☐ Defect Guarantee Submitted

submitted date

amount

expiration date

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DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**Matthews, John F. & Pamela**

Applicant

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**2001-0062**

Application I. D. Number

**04/18/2001**

Application Date

**Garsoe Drive (lot 3)**

Project Name/Description

**27 - 27 Garsoe Drive, Portland, Maine**

Address of Proposed Site

**386 AA003**

Assessor's Reference: Chart-Block-Lot

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<b>2001-0062</b>
Application I. D. Number
<b>4/18/01</b>
Application Date
<b>New Single Family Home</b>
Project Name/Description

**27 - 27 Garsoe Drive (Lot 3), Portland, Maine**

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Address of Proposed Site

**386 AA003**

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Assessor's Reference: Chart-Block-Lot

2231 sf	.57	
Proposed Building square Feet or # of Units	Acreage of Site	Zoning

☒ Site Plan (major/minor)     
 ☐ Subdivision # of lots \_\_\_\_\_     
 ☐ PAD Review     
 ☐ 14-403 Streets Review  
☐ Flood Hazard     
 ☐ Shoreland     
 ☐ Historic Preservation     
 ☐ DEP Local Certification  
☐ Zoning Conditional Use (ZBA/PB)     
 ☐ Zoning Variance     
 ☐ Other \_\_\_\_\_

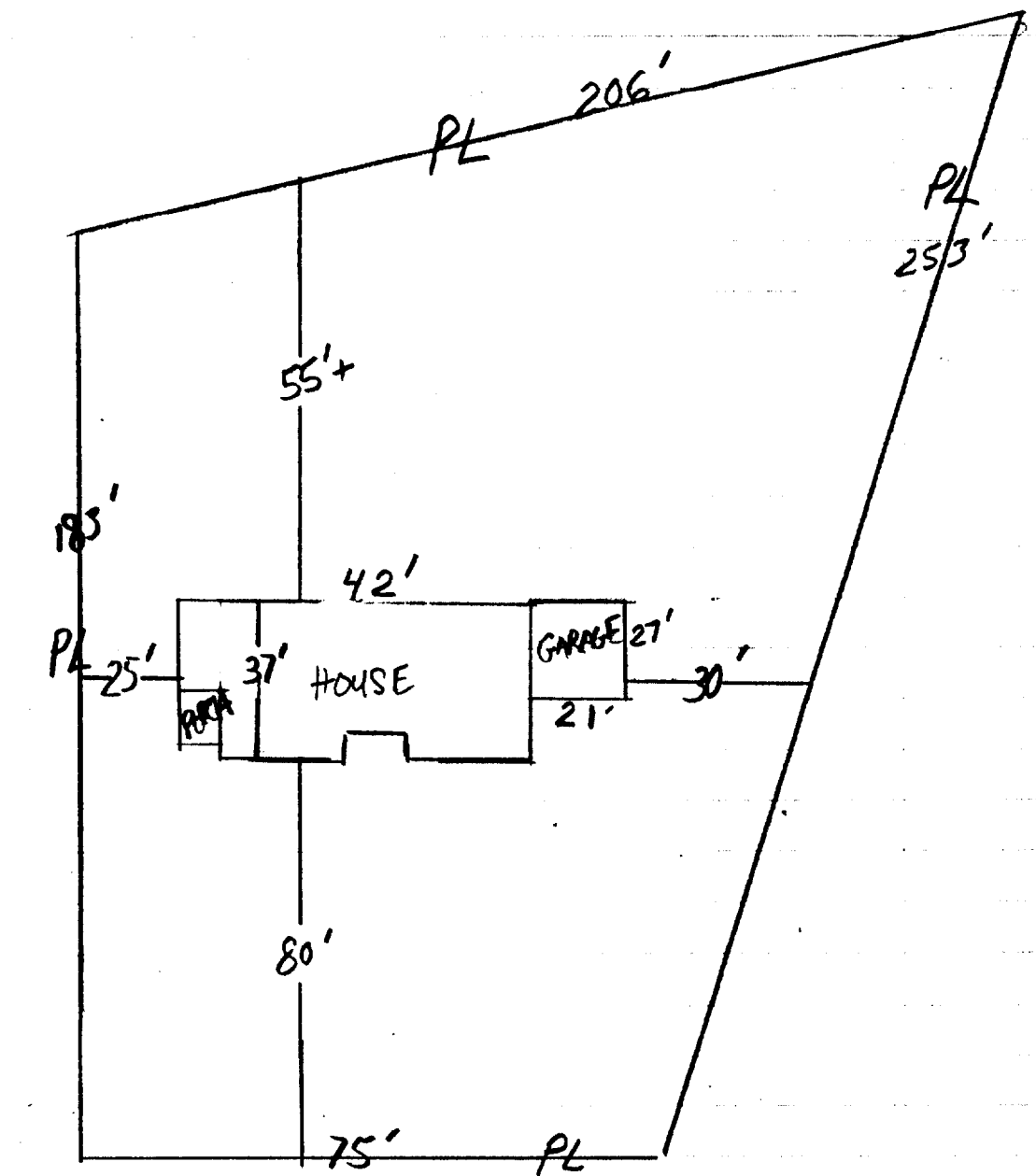
**Insp Approval Status:**

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_ ☐ Additional Sheets Attached

☐ Condition Compliance

Performance Guarantee ☐ Required\* ☐ Not Required

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



SIDEWALK

STREET

LOT 3 AUBURN PINES

MATTHEWS

Applicant: John & Pamela Matthews Date: 4/26/01

Address: 27 GRASCO DR (lot #3) C-B-L: 386A-A-003

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - construct single family home with attached garage

Sevage Disposal - City

Lot Street Frontage - 50' req - 75' shown

Front Yard - 25' req - 80' shown

Rear Yard - 25' req 55' + shown

Side Yard - max - 16' req - 25' & 30' shown  
no house plans submitted

Projections - side porch - inset front porch  
6.5' x 13'

Width of Lot - 80' req -  $\approx 100'$  shown  
watch out if moved forward

Height - 35' max - Nothing Submitted yet - Needs 2nd  
permit showing structural Bldg  
plans

Lot Area - 10,000<sup>sq</sup> ft 24,643<sup>sq</sup> ft

Lot Coverage/ Impervious Surface - 20% max of 4928.6<sup>sq</sup> ft

Area per Family - 10,000<sup>sq</sup> ft

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - minor/minor # 2001-0062

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

foundation only

37' x 41.75'


21.25' x 27'

$$37 \times 41.75' = 1544.75$$

$$21.25 \times 27 = 573.75$$

$$1544.75 + 573.75 = 2118.50$$

TO: Mike Nugent, Inspection Services Manager  
Inspections

FROM: Jay Reynolds, Development Review Coordinator 

DATE: April 26, 2001

RE: 27 Garsoe Drive Site Plan Application  
(#2001-0062) (CBL 386 AA003)

---

After reviewing the #27 Garsoe Drive application, I have the following comments:

1. In order to approve this application, a site plan needs to be submitted.

Typically, the city doesn't issue foundation permits for single family applications. In the past, foundation permits have been granted for commercial site plan applications only after the application has been approved (meeting all requirements).

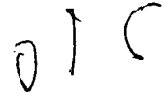
2. At this time, the application doesn't include all the criteria for a site plan, which are the following:
  - A. Scaled plan.
  - B. Existing grades.
  - C. Proposed grades.
  - D. Finish floor Elevation.
  - E. Survey information (property lines/distances/pins) to scale.
  - F. Setback information.
  - G. Erosion Control
  - H. Utilities
  - I. Deck/Porch/Driveway location(s)

Please contact me if you need any additional information.  
Thank You.

CC: Sarah Hopkins, Development Review Services Manager

File: O:\drc\27garsoe1.doc

CAD FILE: 99102C1 FILE SCALE: 1=100 PLOT DATE: 7/7/99



Cara Michael 8/13/90  
Anthony Z. Michael 8/14/91

CURVE	LENGTH	RADIUS
C1	10.00	30.00
C2	10.00	25.00
C3	10.00	20.00
C4	10.00	15.00
C5	10.00	10.00
C6	10.00	5.00
C7	10.00	2.50
C8	10.00	1.25
C9	10.00	0.625
C10	10.00	0.3125
C11	10.00	0.15625
C12	10.00	0.078125
C13	10.00	0.0390625
C14	10.00	0.01953125
C15	10.00	0.009765625
C16	10.00	0.0048828125
C17	10.00	0.00244140625
C18	10.00	0.001220703125
C19	10.00	0.0006103515625
C20	10.00	0.00030517578125
C21	10.00	0.000152587890625
C22	10.00	7.62939453125E-05
C23	10.00	3.814697265625E-05
C24	10.00	1.9073486328125E-05
C25	10.00	9.5367431640625E-06
C26	10.00	4.76837158203125E-06
C27	10.00	2.384185791015625E-06
C28	10.00	1.1920928955078125E-06
C29	10.00	5.9604644775390625E-07
C30	10.00	2.9802322387695312E-07
C31	10.00	1.4901161193847656E-07
C32	10.00	7.450580596923828E-08
C33	10.00	3.725290298461914E-08
C34	10.00	1.862645149230957E-08
C35	10.00	9.313225746154785E-09
C36	10.00	4.656612873077392E-09
C37	10.00	2.328306436538696E-09
C38	10.00	1.164153218269348E-09
C39	10.00	5.82076609134674E-10
C40	10.00	2.91038304567337E-10
C41	10.00	1.455191522836685E-10
C42	10.00	7.275957614183425E-11
C43	10.00	3.637978807091712E-11
C44	10.00	1.818989403545856E-11
C45	10.00	9.09494701772928E-12
C46	10.00	4.54747350886464E-12
C47	10.00	2.27373675443232E-12
C48	10.00	1.13686837721616E-12
C49	10.00	5.6843418860808E-13
C50	10.00	2.8421709430404E-13

ZONE: RD - RESIDENTIAL	
1. MINIMUM LOT SIZE (RESIDENTIAL)	10,000 SQ. FT.
2. MINIMUM AREA PER DWELLING UNIT	10,000 SQ. FT.
3. MINIMUM SETBACK (FRONT)	30 FEET
4. MINIMUM LOT DIMENSION	30 FEET
5. MINIMUM HEIGHT (PRINCIPAL STRUCTURE)	10 FEET
6. REAR YARD (PRINCIPAL STRUCTURE)	25 FEET
7. SIDE YARD:	
1. SIDE YARD	0 FEET
2. 1/2 STORIES	0 FEET
3. 1 STORIES	0 FEET
4. 1 1/2 STORIES	0 FEET
5. 2 STORIES	0 FEET
8. IF ANY FOOT OF ONE SIDE YARD THAT EXCEEDS THE MINIMUM FOOT FOR THE OTHER SIDE OF THE OTHER SIDE YARD IS DISPROPORTIONALLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN 0 FEET.	
9. MAXIMUM LOT COVERAGE:	20% OF LOT
10. MINIMUM LOT COVERAGE:	MINIMUM
11. MINIMUM HEIGHT (PRINCIPAL STRUCTURE)	10 FEET


10

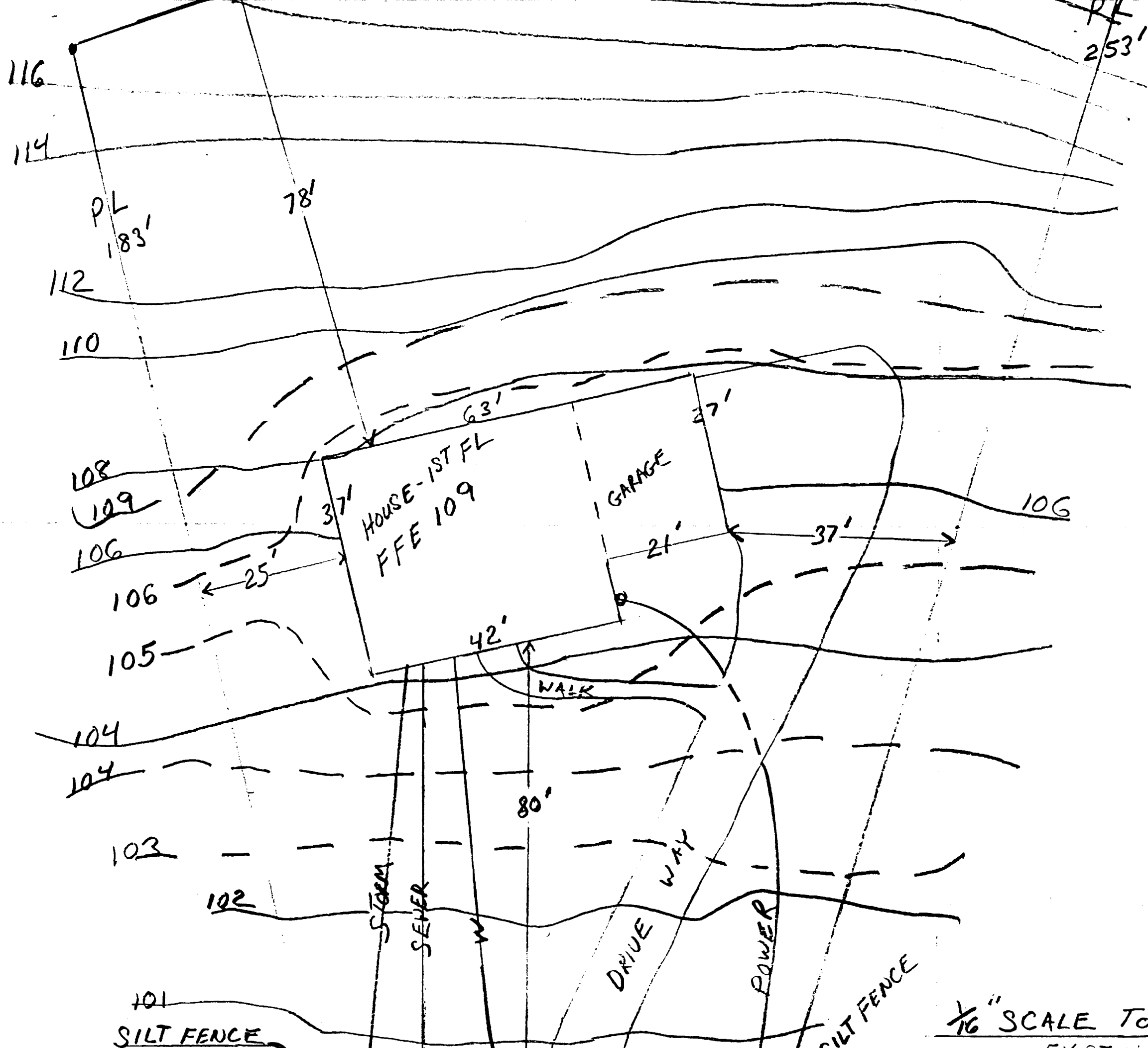
9

10

DATE

THIS PLAN IS THE RESULT OF A STANDARD  
BOUNDARY SURVEY CONFORMING TO THE  
STANDARDS OF THE MAINE BOARD OF  
LICENSURE FOR LAND SURVEYORS FOR  
CATEGORY I CONDITION III.

3	1/1/99	REYD PER PLANNING STAFF COMMENTS
2	6/6/99	REYD DRAINAGE EASEMENTS & LOT LINES
1	8/2/99	ADDED LOT 34, DRAINAGE EASEMENTS & STREET NAMES
REV.	DATE	DESCRIPTION
 <p>NEPTUNE PROPERTIES, INC. 120 EXCHANGE ST., PORTLAND, ME</p> <p>AUBURN PINES SUBDIVISION AUBURN ST., PORTLAND, ME</p> <p>PAWNEE ENGINEER</p>		
<p>CONSULTING ENGINEER, INC. FALMOUTH, ME</p> <p>SUBDIVISION PLAN</p>		
SCALE:	1"=100'	DRAW BY: JUC
DATE:	APRIL 28, 1999	DESIGN BY: TSG
PROJECT:	99-132	CHECK BY: FSG



1/16" SCALE TO 1"

# GARAGE SLAB

4" CONC. SLAB W/ 6" X 6"  
#10/10 W.W.F. OVER 6 MIL.  
POLY. OVER 4" GRAVEL (TYP.)

NOTE: DROP FOUNDATION WALL UNDER  
GARAGE SLAB 4" FROM MAIN  
FOUNDATION WALLS

NOTE: LOCATE GRADE  
BEAMS UNDER ALL LOAD  
BEARING WALLS

# UNFINISHED BASEMENT

4" CONC. SLAB W/ 6" X 6"  
#10/10 W.W.F. OVER 6 MIL.  
POLY. OVER 4" GRAVEL (TYP.)

# PORCH SLAB

DROP 4" BELOW  
FINISH FLOOR

# PORCH

DROP 6" BELOW  
FINISH FLOOR

