

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

20000181

I. D. Number

Auburn Pines Lot #2

9/22/00

Applicant

Application Date

7 Bramhall Terrace, Portland, ME 04103

Auburn Pines Lot#2

Applicant's Mailing Address

Project Name/Description

Ted Libby

23 Garsoe Dr, Portland, Maine 04103

Consultant/Agent

Address of Proposed Site

839-6051

386-AA-002

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential

Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2,183sf

18,758

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review

Flood Hazard Shoreland Historic Preservation DEP Local Certification

Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$200.00** Subdivision _____ Engineer Review **\$100.00** Date: **9/22/00**

DRC Approval Status:

Reviewer **Chris Earle**

Approved Approved w/Conditions see attached Denied

Approval Date **9/26/00** Approval Expiration **9/26/01** Extension to _____ Additional Sheets Attached

Condition Compliance **Chris Earle** **9/26/00**
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released			

Inspection



Engineering & Planning for the Future

One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

FOR: GARSOE DRIVE
PORTLAND, ME
TIM HILTZ/PATTY LAGE
202 WARREN AVE
PORTLAND, ME 04103

LOT 2 AUBURN PINES SUBDIVISION

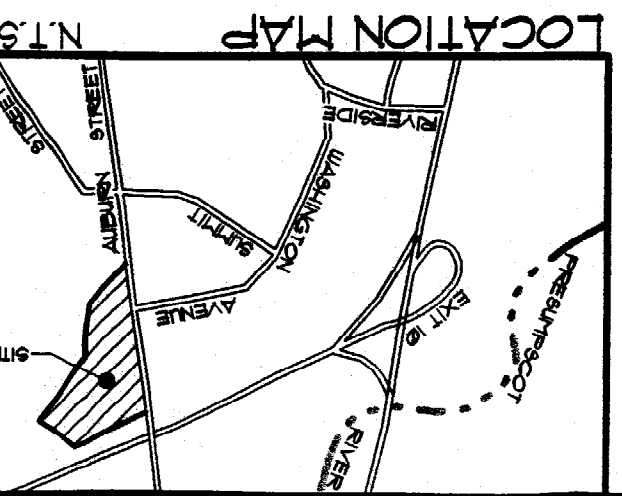
PLOT PLAN

DESIGN BY:	JRS
DRAWN BY:	KAR
CHECKED BY:	
DATE:	9-1-00
SCALE:	1"=30'
FIELD BK:	
PROJ. NO:	00439
DRAWING:	00439LOT2
SHEET 1 OF 1	

1. APPLICANT: TIM HILTZ/PATTY LAGE
202 WARREN AVE
PORTLAND, ME 04103
2. THE LOT SHOWN HEREON IS PART OF A SUBDIVISION SITUATED WITHIN THE CITY OF PORTLAND'S R2 RESIDENTIAL ZONE SINGLE FAMILY HOMES.
3. PLAN REFERENCES:
A) SUBDIVISION PLAN OF AUBURN PINES SUBDIVISION DATED THROUGH JULY 1, 1999 BY PINKHAM & GREER ENGINEERS.
4. EXISTING TOPOGRAPHIC INFORMATION IS BASED UPON SAID PLAN WITH ELEVATIONS THAT ARE REFERENCED TO A STANDARD DISK AUBURN RM-1 ELEVATION 12231 NAVD. DATUM.
5. PROPOSED UTILITY LOCATION AND ELEVATION IS BASED UPON THE PLAN REFERENCED IN NOTE 3A.
6. DURING CONSTRUCTION THE OWNER & CONTRACTOR SHALL UTILIZE ME. DEP. "BEST MANAGEMENT PRACTICES (B.M.P.S.) FOR EROSION CONTROL & SEDIMENTATION CONTROL.
7. IF TWO TREES EXIST WHICH ARE LARGER THAN 2" DIA. TRUNK, THEY MAY BE SUBSTITUTED FOR THE PROPOSED STREET TREES AS LONG AS THE SPECIES IS ON THE CITY'S APPROVED LIST.

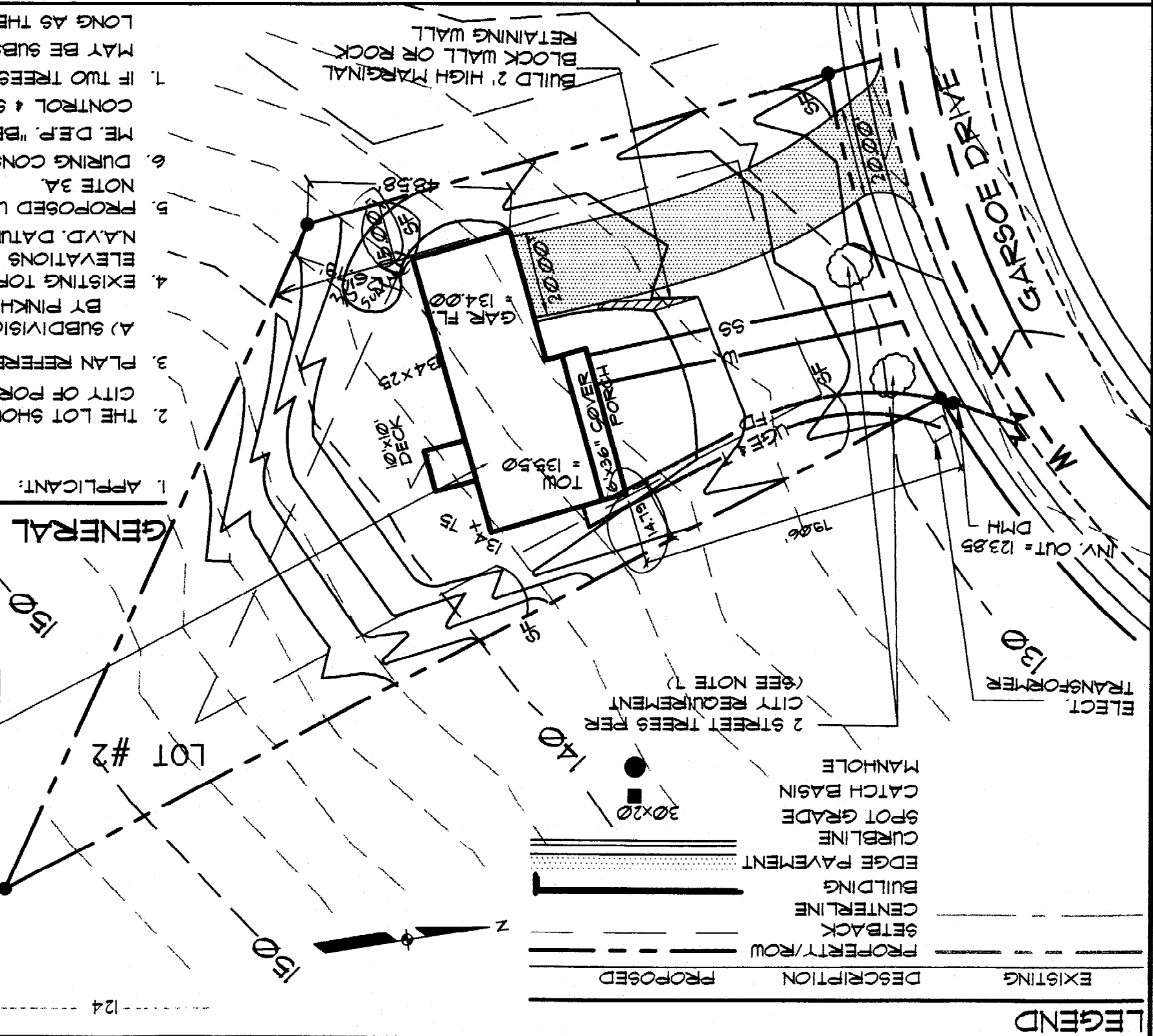
GENERAL NOTES

REQUIRED
R-2 ZONE SETBACKS
FRONT YARD - 25'
SIDE YARD - 14'
REAR YARD - 25'
FROM WETLAND - 25'



CONTOURS	124	---
WATER	W	---
SEWER SERVICE	SS	---
STORM DRAIN	SD	---
FOUND. DRAIN	FD	---
SILT FENCE	SF	---
TOP OF FOUNDATION	TOW	---
WALL ELEVATION	---	---
FINISHED FLOOR	FFE	---

2 STORY HOUSE (44' x 34'/30')
2 CAR GARAGE (24' x 24')



EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	CENTERLINE	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	SPOT GRADE	---
---	CATCH BASIN	---
---	MANHOLE	---

2 STREET TREES PER CITY REQUIREMENT (SEE NOTE 7)

ELECT. TRANSFORMER
DMH
INV. OUT = 123.85

BUILD 2' HIGH MARGINAL BLOCK WALL OR ROCK RETAINING WALL

30' UTILITY EASEMENT FOR WATER & SEWER SERVICE TO LOTS 32, 33 & 34 OVER LOTS 23 & 24.

30' UTILITY EASEMENT FOR WATER & SEWER SERVICE AND DRIVEWAY EASEMENT TO LOT 34 OVER LOT 32 & 33.

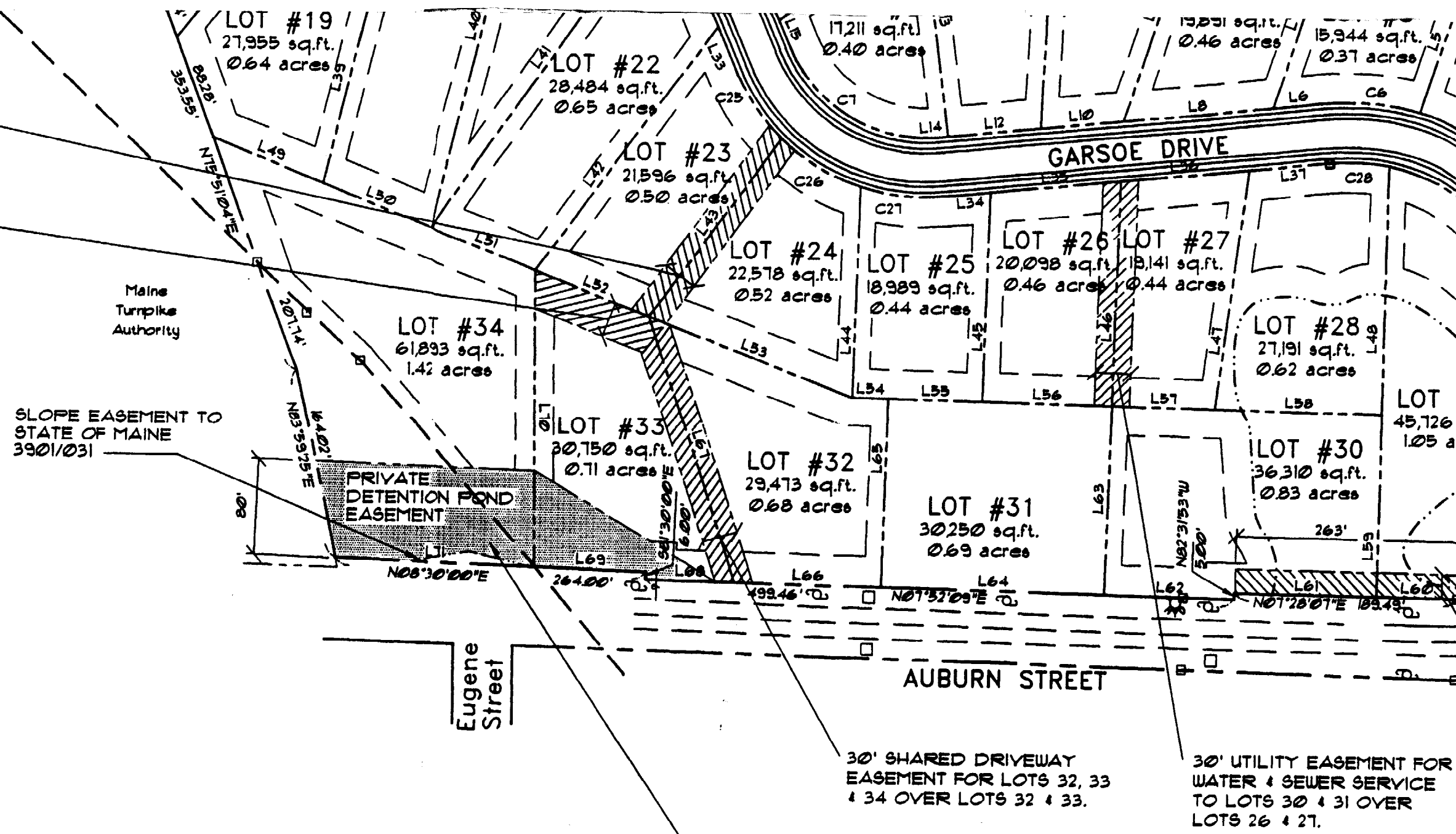
LINE TABLE

LINE	LENGTH	BEARING
L1	169.86	S82°07'19"E
L2	130.50	S09°22'42"E
L3	253.62	S20°58'09"E
L4	153.01	N52°33'49"W
L5	124.46	N65°04'58"W
L6	44.54	N01°06'46"E
L7	150.12	N65°04'58"W
L8	127.56	N01°06'46"E
L9	190.75	N65°04'58"W
L10	70.25	N01°06'46"E
L11	298.89	S80°55'25"E
L12	78.92	N01°06'46"E
L13	203.04	N89°06'49"E
L14	8.59	N01°06'46"E
L15	23.42	N73°32'02"E
L16	193.40	S35°02'28"E
L17	122.61	S35°02'28"E
L18	109.49	N73°32'02"E
L19	159.81	S35°02'03"E
L20	96.06	N73°32'02"E
L21	86.12	N54°51'51"E
L22	99.98	N54°51'51"E
L23	167.31	N73°32'02"E
L24	275.74	N73°32'02"E
L25	100.00	N73°32'02"E
L26	157.31	N34°00'07"W
L27	281.29	N73°32'02"E
L28	223.72	N54°00'26"E
L29	133.26	S02°56'20"W
L30	175.73	N45°33'11"W
L31	70.68	N73°32'02"E
L32	116.07	N73°32'02"E
L33	38.23	N73°32'02"E
L34	40.63	N01°06'46"E
L35	110.81	N01°06'46"E
L36	109.54	N01°06'46"E
L37	68.88	N01°06'46"E
L38	169.84	S82°07'19"E
L39	265.90	N69°39'47"W
L40	346.66	N69°22'53"W
L41	338.99	S40°11'04"E

CURVE TABLE

CURVE	LENGTH	RADIUS
C1	32.74	20.00

DATE: 7/7/99





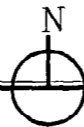
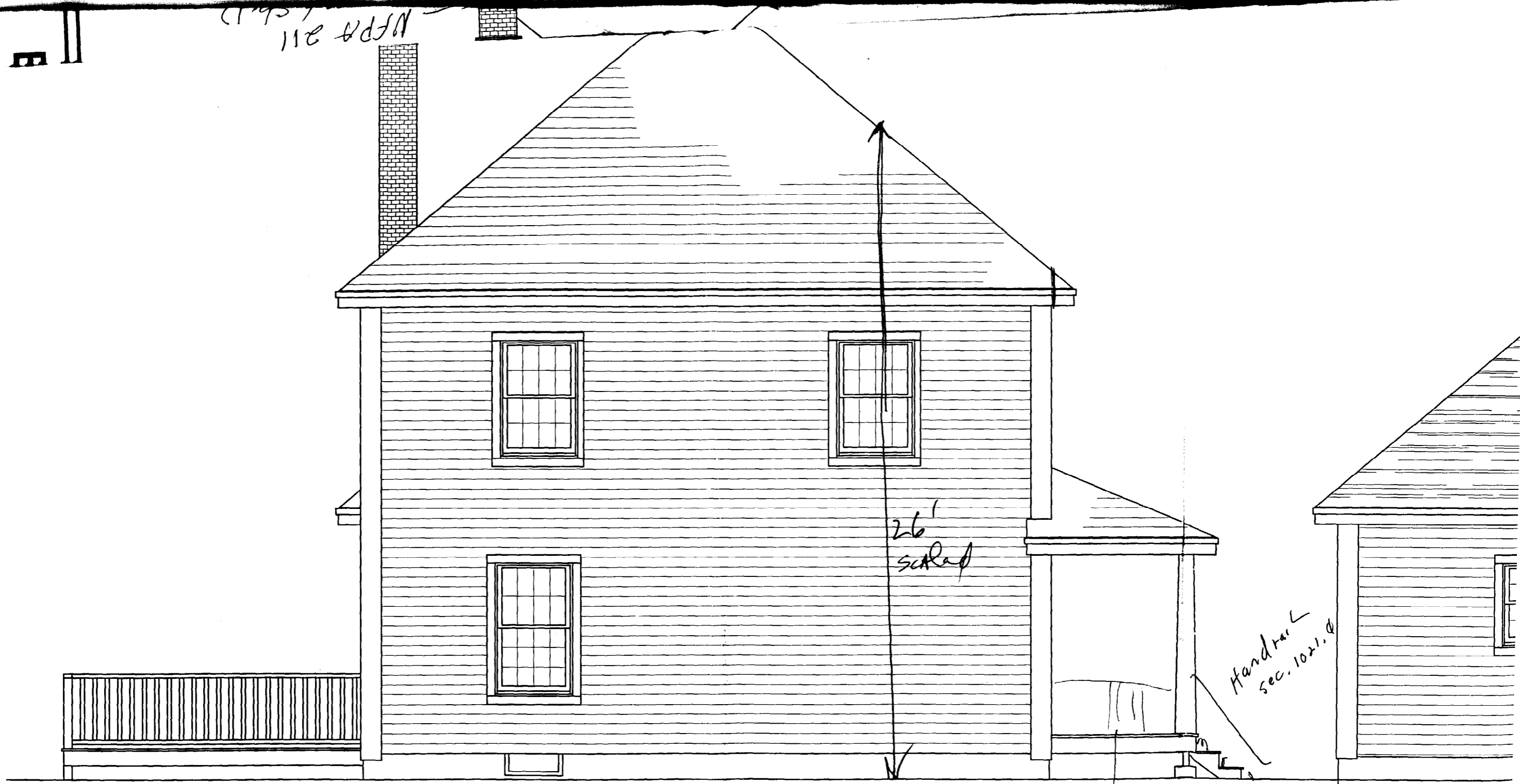
Engineering Resource Center

Copying • Plotting • Scanning

75 Bishop St. Ste 3 • Portland, ME 04103

(207)878-8511 • FAX (207)878-8515

118 8750
MPP 211



LEFT ELEVATION

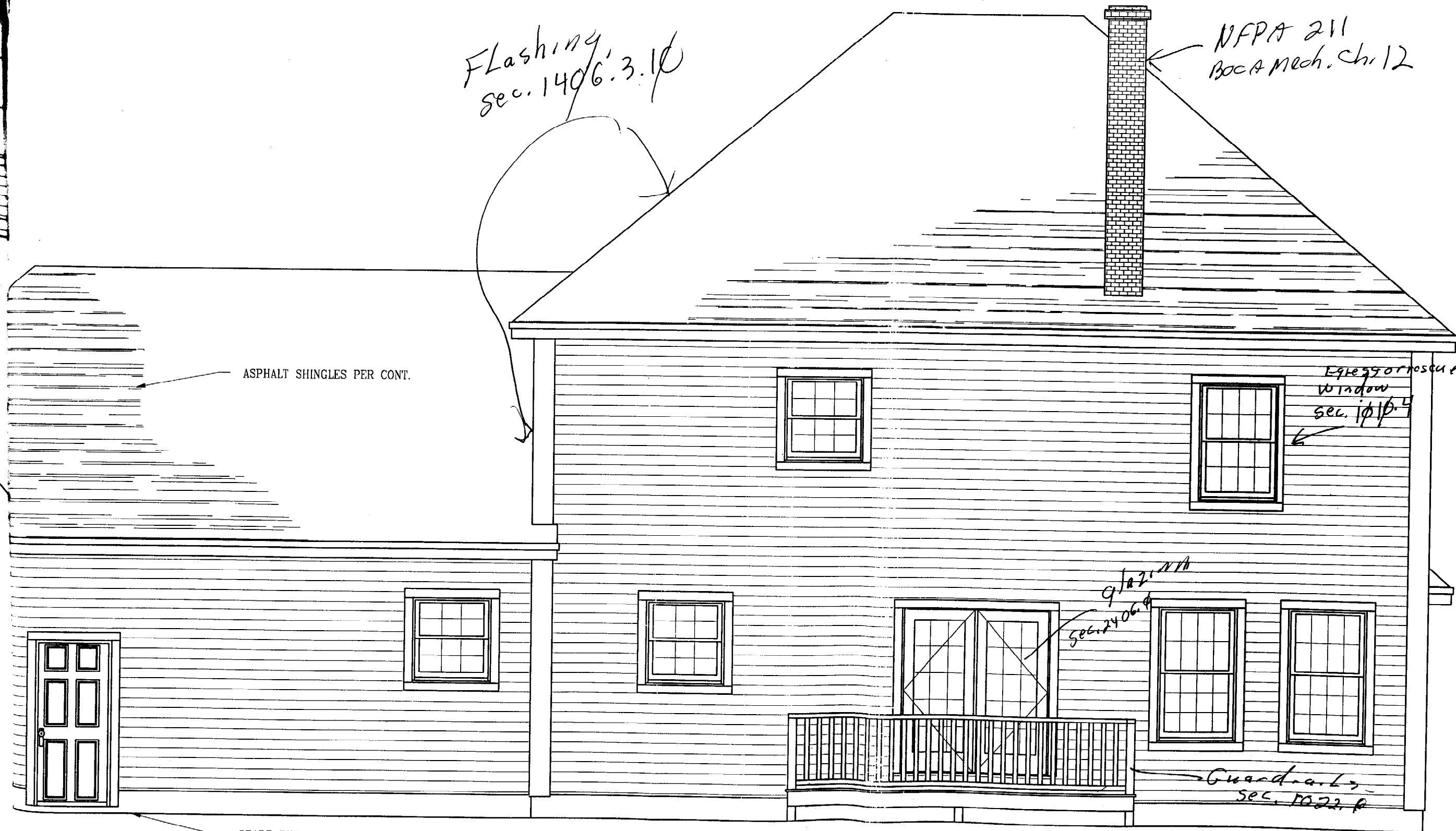
SCALE: 1/4" = 1'-0"

Guardrail

Handrail
sec. 1021.0

NOTE:

THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY
FOR LOCAL CODE COMPLIANCE.
ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT
AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES.



ASPHALT SHINGLES PER CONT.

Flashing,
sec. 1406.3.10

NFPA 211
Boc A Mech. Ch. 12

Egress or rescue
window
sec. 1016.4

9/22/10
sec. 2406.4

Guardrails
sec. 1022.0

GRADE PER CONT. PER SITE CONDITIONS

N
REAR ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS
CODE: '9
PORTLAND