

City of Portland, Maine - Building or Use Permit Application, 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 600 Auburn St		Owner: Blodgett, Douglas & Shirley		Phone: 797-9357		Permit No: 981211	
Owner Address: SAA 04103		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Done With Care (Lee Cummings)		Address: R #5, Box Gorham, ME 04038		Phone: 642-3754		Permit Issued: OCT 26 1998	
Past Use: 1-fam		Proposed Use: Same		COST OF WORK: \$ 26,622.00		PERMIT FEE: \$ 155.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type: 3	
Proposed Project Description: Construct attached mudroom & garage (10 x 16) & (24 x 28)		Signature:		Signature: [Signature]		Zone: CBL: 386-1-026	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: [Signature]	
Permit Taken By: MC		Date Applied For: 19 October 1998		Signature: Date:		Special Zone or Reviews: 10 <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	

PERMIT ISSUED
OCT 26 1998
CITY OF PORTLAND

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: 20 October 1998 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

CEO DISTRICT [Signature]

BUILDING PERMIT REPORT

DATE: 22 OCT, 1998 ADDRESS: 660 Auburn St CBL 386-B-226

REASON FOR PERMIT: To Instruct attached mudroom & garage 10x16-24x28'

BUILDING OWNER: Bradgett
CONTRACTOR: Tone with Care (see Summary)

PERMIT APPLICANT: _____

USE GROUP R-3 Private garage BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: 1*8, 2*6, *5, *8, *10, *24, *26, *29,

- X 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- X 2. Before concrete for foundation is placed, approval from ~~the Department Review Coordinator~~ and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the top of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- X 2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
- 3. Precaution must be taken to protect concrete from freezing. Section 1908.0
- 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- X 5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- X 8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
- 9. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- X 10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- 11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTE** If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 660 Auburn St. Portland ME 04103-2132

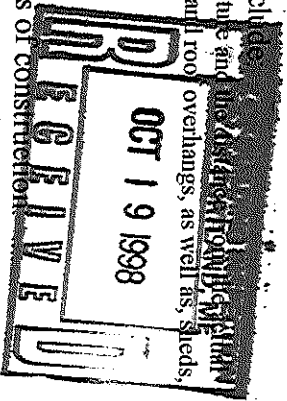
Tax Assessor's Chart, Block & Lot Number		Owner:		Telephone#:	
Chart# <u>386</u>	Block# <u>13</u>	Lot# <u>26</u>	<u>Douglas R. & Shirley A Blodgett</u>		<u>(207) 797-4357</u>
Owner's Address: <u>660 Auburn St Portland ME 04103-2132</u>			Lessor/Buyer's Name (If Applicable)		
Proposed Project Description: (Please be as specific as possible) <u>Attached mudroom and garage, respectively 10'x16 and 24'x24'</u>			Cost Of Work: <u>\$26,622</u>		Fee <u>\$155</u>

Contractor's Name, Address & Telephone REHS BOX 346A, CONHAY ME 04438 Recd By: [Signature]
DONE WITH CARE (See Cummings) (207) 642-3754

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
 - All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
 - All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
 - HVAC(Heating, Ventilation and Air Conditioning) Installation must comply with the 1993 BOCA Mechanical Code.
- You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include the shape and dimension of the lot, all existing buildings (if any), the proposed structure and its location, all setbacks and all roof overhangs, as well as, sheds, pools, garages and any other accessory structures.



- 4) Building Plans (Sample Attached)**
- A complete set of construction drawings showing all of the following elements of construction:
 - Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and dampproofing
 - Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification
I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

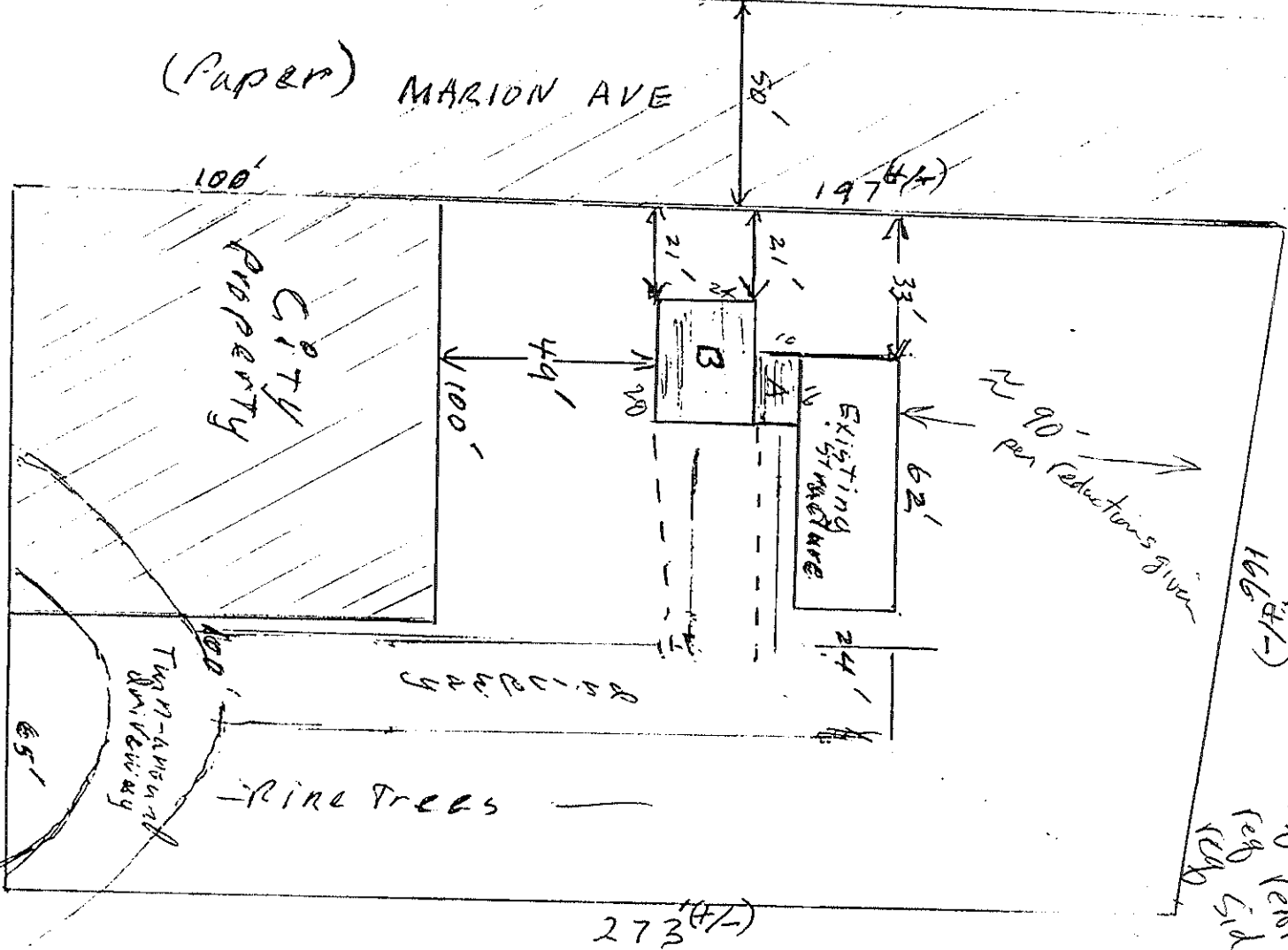
Signature of applicant: Patricia R. Mello [Signature] **Date:** 10/19/98

Building Permit Fee: \$25.00 for the 1st \$1000, cost plus \$5.00 per \$1,000.00 construction cost thereafter.
O:\INSPCORRESP\IN\GENT\VPAD\SPD.WPD

Neighbor's Property

654
 Auburn

(Paper) MARION AVE



Blodgett, Douglas P. & Shirley A.
 JTS
 386-B-26
 656-660 Auburn Street
 Portland, ME 04103-2132

166 1/2'
 90' per Redactions given
 R-2 Zone
 front setback 25' - 19' show
 " " 25' - 90' show
 " " 12' - 21' show
 side " "

OK
 10/20/18

A proposed walkway 10' x 16'
 B proposed garage 24' x 28'
 660 Auburn Street

66-B
 Auburn Street

City's Copy

DONE WITH CARE
QUALITY CONSTRUCTION
R#5 BOX 346A, Gorham, Maine, 04038
(207) 642-3754 - Fax # (207) 642-5979
OWNER: Lee Cummings

Customer: Douglas P. & Shirley Blodgett
Address: 660 Auburn Street
Portland, Maine, 04103

Tel. # 797-9357
Date: 1 Oct. 98
Page 1 of 3

***** **CONTRACT** *****

Job location, Same as the address above.
Starting date, To be determined.
Finishing date, On or before 24 Dec. 98.

"Weather as well as previous obligations may effect the dates."

NOTES

- Up to 6 yds. of 2500 lb. mix concrete, Footing
- Up to 23 yds, of 3000 lb. mix concrete, Walls & Floors
- Up to 100 yds. of sand fill, Parking area & Interior of the garage.
- Up to 28 yds. of gravel, Parking area.
- The exact pitch of the roof on the Breezeway shall be determined at the time of construction. The pitch shall be at least a 4/12 or greater.

GENERAL JOB AND MATERIALS DESCRIPTION AS FOLLOWS
EXCAVATING & FOUNDATION

- See NOTES contained herein.
- Pin out the area to be excavated per the plans
- Excavate for the concrete foundation
- Install 124'± of concrete footing, 2500 lb. mix concrete
- Drill and install re-bar pins in the existing concrete foundation
- Set and pour the 8" x 39" concrete frost wall, 3000 lb. mix concrete
- Install anchor straps in the foundation wall every 6'±
- * The foundation would be inspected at this time.
- Back fill the exterior of the foundation
- Back fill the interior of the foundation compacting the dirt in lifts
- Remove the top soil from the area in front of the garage doors
- Install the parking area in front of the garage doors, 24' x 30'±
- Spread loam from the site on the disturbed areas
- Grade floor areas to make ready for the concrete
- Install poly on the Breezeway floor area
- Install concrete wire in the garage area
- Pour the concrete floor in the Breezeway & garage areas, 3000 lb. mix concrete
- The concrete floors are to have a smooth finish
- This part of the contract would be complete at this time.

STRUCTURES, BREEZEWAY & GARAGE


- See NOTES contained herein.
- Sill seal
- P.T. sill plates
- 2 x 6 K.D. Top & Bottom plates, Breezeway
- 2 x 6 K.D. Studs, 16" o.c., Breezeway
- 2 x 4 K.D. Top & Bottom plates, Garage
- 2 x 4 K.D. Studs, 16" o.c., Garage

12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1013.6)
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
17. In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2
18. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
19. The Fire Alarm System shall be maintained to NFPA #72 Standard.
20. The Sprinkler System shall maintained to NFPA #13 Standard.
21. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
22. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year". The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
25. All requirements must be met before a final Certificate of Occupancy is issued.
26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
28. Please read and implement the attached Land Use-Zoning report requirements.
29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.
30. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
31. _____
32. _____
33. _____


 P. Sannett, P.E., Building Inspector

cc: Lt. McDougall, PFD
 Marge Schmuekel, Zoning Administrator

COMMENTS

11/2/98 Foundation OK 

12/11/98 - Framing insp - OK - Talled to owner about
framing of garage. OK to close in.

Inspection Record

Type

Date

Foundation:

Framing: OK - T.M.

Plumbing:

Final:

Other:

12/11/98

- See NOTES contained herein.
- 7/16 O.S.B. exterior sheathing
- Tymar house wrap
- 2 x 8 Headers
- 2 x 6 K.D. Roof rafters, 24" o.c., Breezeway
- 5/12 pitch Trusses, 24" o.c., Garage
- ~~5/8 CDX Pine roof sheathing~~
- 1 x 6 Facia & Rake, # 2 pine
- 1 x 3 Freezie board, # 2 pine
- Galvanized drip edge
- Ice & Water shield on the eves
- Asphalt roof shingles
- Aluminum step flashing
- Ridge vent, Breezeway
- Gable end vents, Garage
- * The electrical would be done at this time.
- * The electrical would be inspected at this time. If required.
- 5 White Vinyl windows, with half screens, 36" x 54" R.O.
- 2 Nine lite steel entry doors & Lock sets
- 1 Fire code door & Lock set
- 2 - 9' x 7' Steel Garage doors with glass
- 1 Set of pull down stairs in the garage
- White Vinyl siding
- Proper vents in all eves
- Fiberglass insulation, R - 19 Walls, R - 30 Ceiling, Breezeway
- Fiberglass insulation, R - 11 Walls & Ceiling, Garage
- ½" Sheet rock
- Sheet rock taped & Sanded
- Colonial casing, Windows & Walk in doors
- Colonial base molding, Breezeway
- This Contract would be complete at this time.

"We propose to furnish labor and materials as described herein."

* The law requires any and all deviations from this Contract as described herein to have written change orders to be signed by the Customer prior to the work being done. There shall be a Twenty five dollar, (\$ 25.00) fee charged for each and every change order written.

* " The Customer hereby waives the written change orders. Upon signing and dating this waiver excepts verbal change orders to be legal and binding. "

Customer's signature: _____ Date: _____

* All work is warranted for one year from the date on this contract.

* To the best of our knowledge all work meets or exceeds the State of Maine Uniform Commercial Building Code.

* It is understood that the ;

Customer is liable for any and all permits required.

Customer is liable for any and or all expense incurred by the contractor in collecting any moneys owed for work or materials.

Customer is liable to set any and all elevation reference points required.

Customer shall provide electricity, water and telephone when necessary.

Customer shall permit a job sign to be placed in a visible area of the job site.

Contractor is not liable for the drive way or the surrounding landscape except as described herein.

Contractor is not liable to hook up any electricity or plumbing.

Contractor is not liable for any unforeseen problems.

Contractor offers and participates in the BBB Line Program administered by the Better Business Bureau. The BBB Line Program offers Mediation and Arbitration.

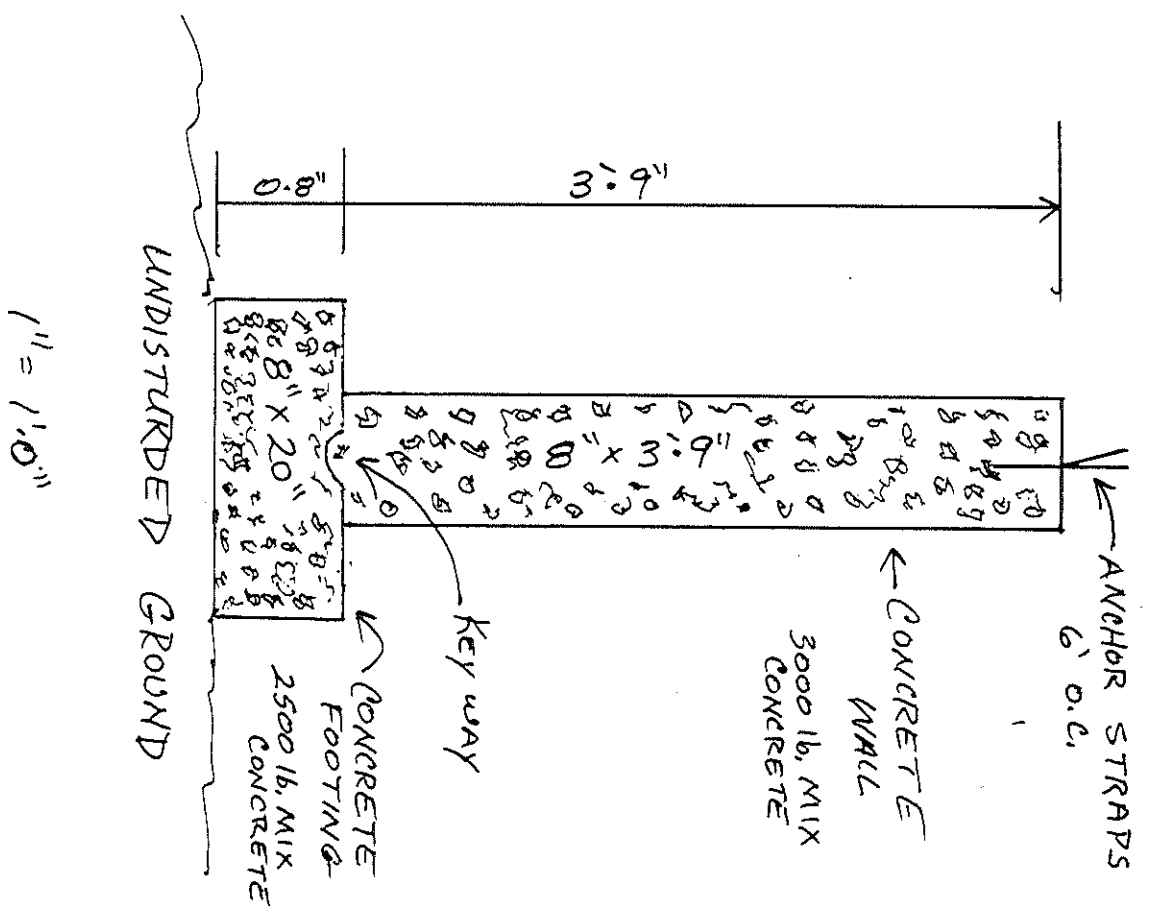
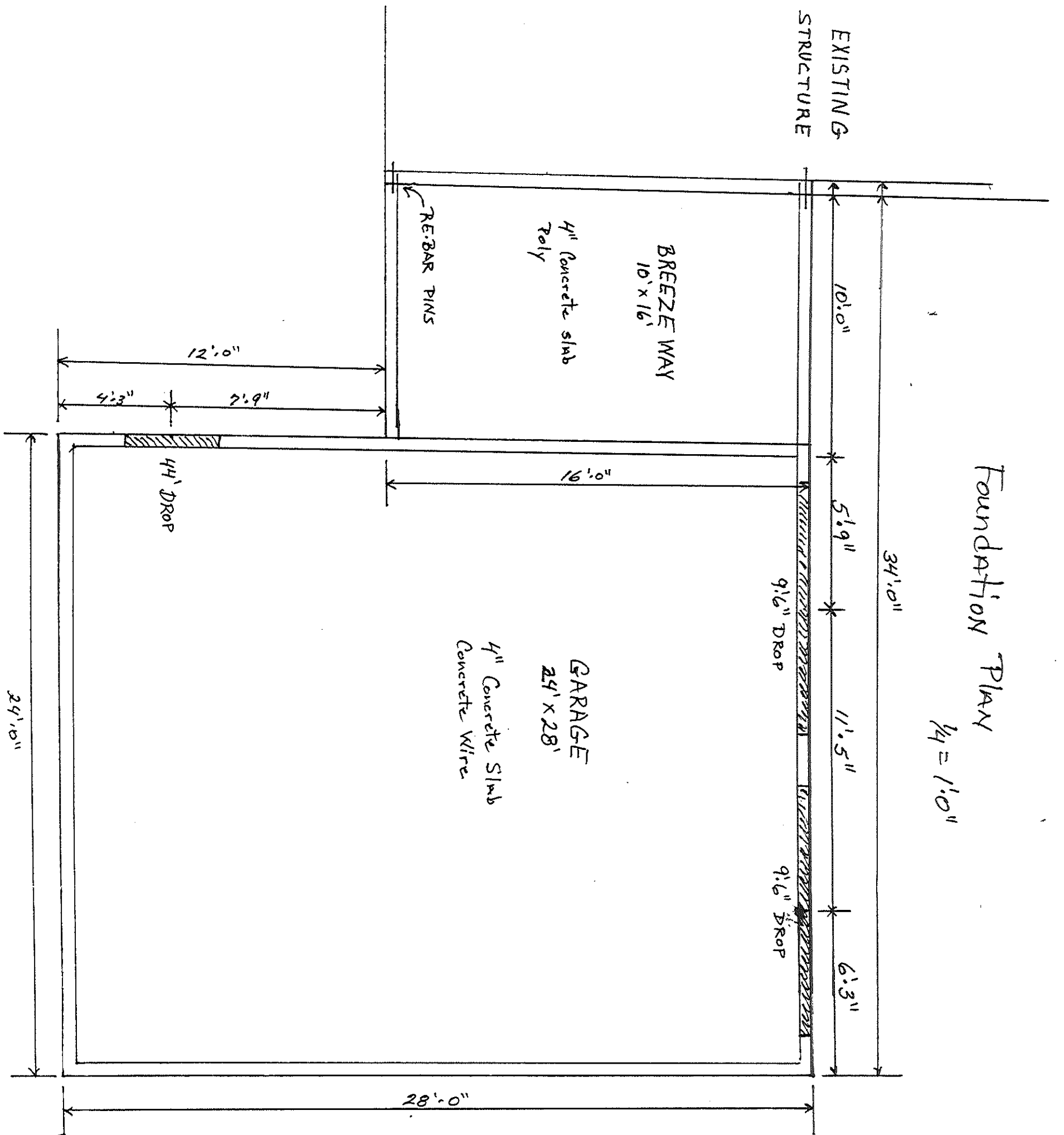
Customer agrees to use the BBB Line Program should a dispute arise.

The specifications and conditions contained herein are satisfactory and are hereby accepted. Upon signing this Contract the Contractor is authorized to do the work described herein.

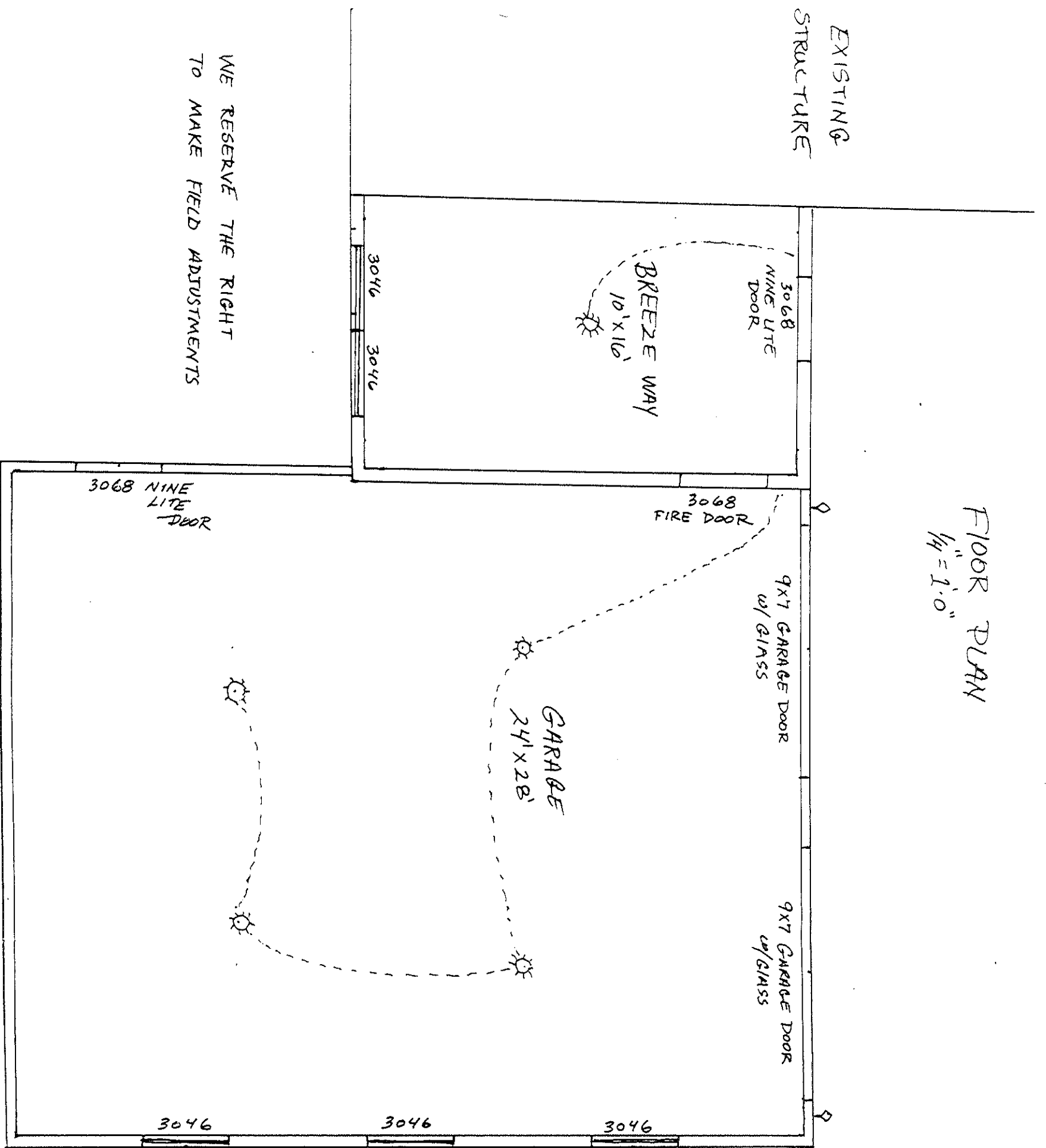
Customer's signature: _____ Date _____

Customer's signature: _____ Date _____

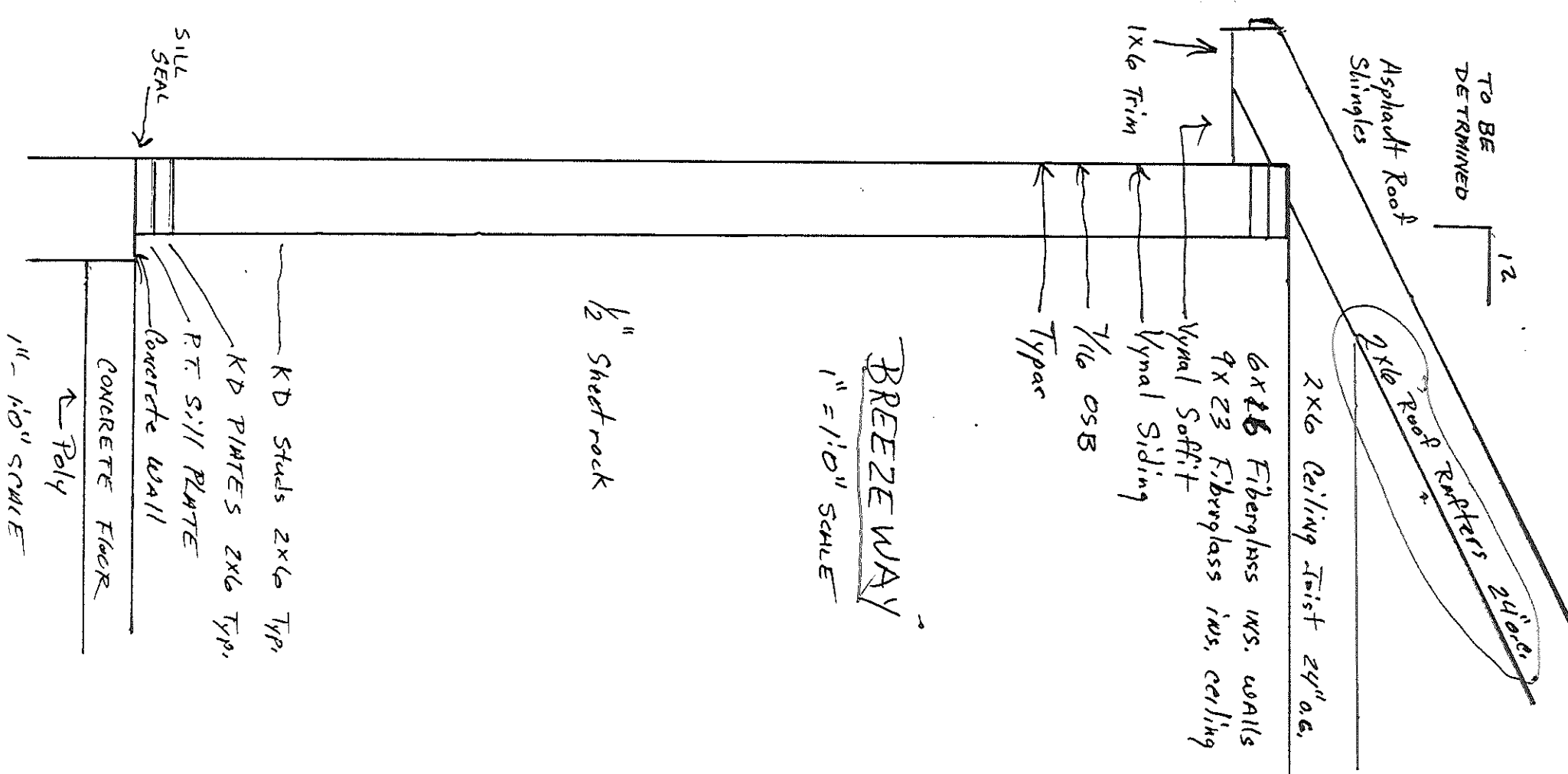
Contractor signature: _____ Date _____



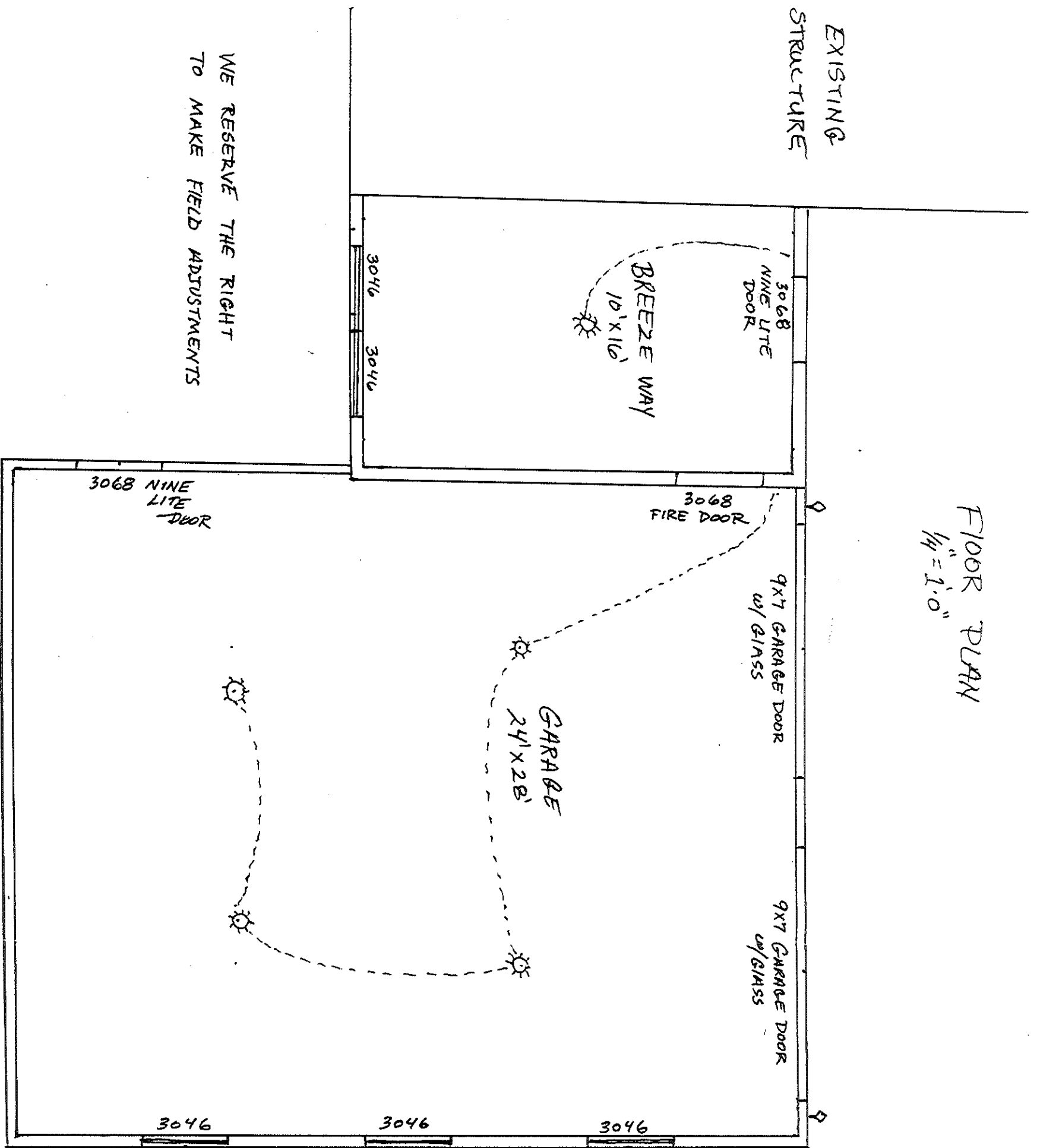
FLOOR PLAN
1/4" = 1'-0"



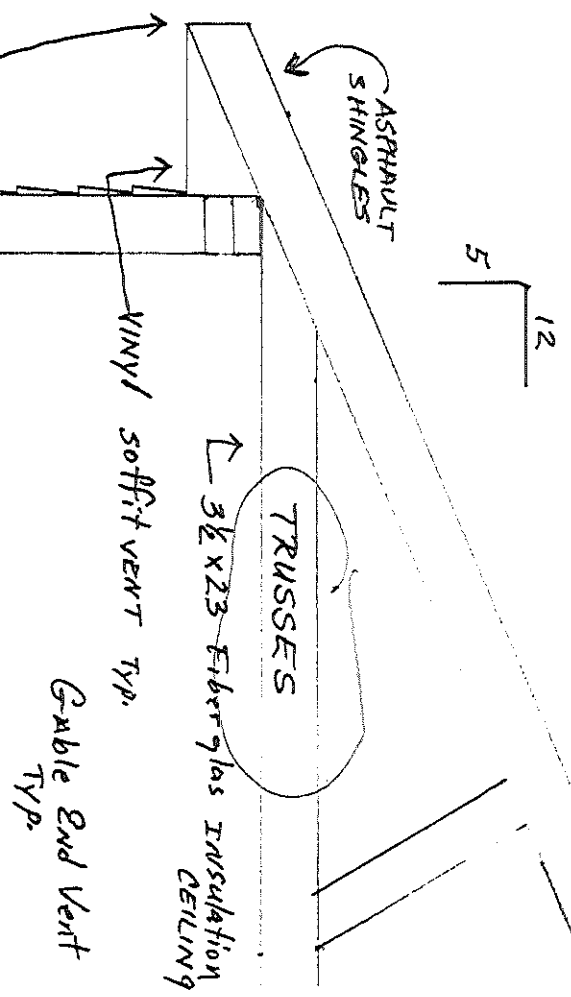
WE RESERVE THE RIGHT
TO MAKE FIELD ADJUSTMENTS



FLOOR PLAN
1/4" = 1'-0"



WE RESERVE THE RIGHT
TO MAKE FIELD ADJUSTMENTS



GARAGE
CROSS SECTION
1" = 1'-0"

- ← ASPHALT SHINGLES
- ← TRUSSES
- ← 3/4 X 2 1/2 Fiberglass INSULATION CEILING
- ← VINYL SOFFIT VENT TYP.
- ← Gable End Vent TYP.
- ← 1 X 6 PINE TRIM TYP.
- ← 3/4 X 15 Fiberglass Insulation Walls
- ← 1/2" Sheet rock TYP.
- ← VINYL siding TYP.
- ← OSB EXTERIOR SHEATHING TYP.
- ← KD STUDS 2X4 TYP.
- ← KD PLATE 2X4 TYP.
- ← PT SILL PLATE 2X4 TYP.
- ← SILL SEAL TYP.
- ← CONCRETE WALL
- ← CONCRETE FLOOR