

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1323	Issue Date: FEB 20, 2003	CBL: 385A B030001
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Location of Construction: 657 Auburn St	Owner Name: Lozier Jacqueline J	Owner Address: Po Box 503	Phone: 7929-6503
Business Name: n/a	Contractor Name: Ryan Raymond	Contractor Address: 389 Main street Westbrook	Phone: 2078310344
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	Zone: R-2

Past Use: Vacant	Proposed Use: Single Family / New 30' x 40' Ranch style single family home with 24' x 22' two car attached garage, including 8' x 16' deck.	Permit Fee: \$1,148.00	Cost of Work: \$150,000.00	CEO District: 2
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Proposed Project Description: Build 30' x 40' Single Family Home with 24' x 22' two car attached garage and 8' x 22' deck.	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type: R3 BOCA 1999
	Signature:	Signature: JMB 2/20/03
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Signature:	Date:

Permit Taken By: gg	Date Applied For: 11/27/2002	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan # 2062-0246 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>ok with conditions</i> Date: 12/31/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See letter from Planning & Zoning Commission outside Bldg window</i>	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

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389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1323	Date Applied For: 11/27/2002	CBL: 386A B030001
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Location of Construction: 657 Auburn St	Owner Name: Lozier Jacqueline J	Owner Address: Po Box 503	Phone: 207-929-6503
Business Name: n/a	Contractor Name: Ryan Raymond	Contractor Address: 389 Main street Westbrook	Phone: (207) 831-0344
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	

Proposed Use: Single Family / New 30' x 40' Ranch style single family home with 24' x 22' two car attached garage, including 8' x 16' deck.	Proposed Project Description: Build 30' x 40' Single Family Home with 24' x 22' two car attached garage and 8' x 22' deck.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 12/31/2002

Note: 12/23/02 The plot plan does not match the structural plans. No rear deck depicted & the rt side bulkhead is not shown. The rt side bulkhead extends outside of the approved bldg envelope. I need something in writing from the planning div. that gives an ok on that extension - setbacks ok. I called Jackie Lozier and left a message
 12/30/02 Jackie L. Revised the site plan showing the deck and bulkhead. She still needs to get approvals thru planning for the extension outside of the envelope by the bulkhead
 12/31/02 Sarah H. Indicated approval for extension outside of bldg window (see attached e-mail). Will get a more formal approval before issuance of permit

- 1) The proposed bulkhead is shown to extend outside of the approved subdivision building envelope. This extension has been verbally approved by the Planning division. Sarah Hopkins will prepare a follow-up document to put this in writing.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 02/20/2003

Note: **Ok to Issue:**

- 1) State Law requires chimney disclosure to be completed by installer.
- 2) Separate permits are required for any electrical or plumbing work.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:
 01/15/2003-jmb: Left a message for the homeowner and contractor to call for information
 01/15/2003-jmb: Ryan called back with info - will submit
 01/22/2003-jmb: Received documents on the building specs...still waiting for the engineered product info & Planning letter.
 01/22/2003-jmb: Received letter from Planning to allow the 6' x 6' bulkhead outside of the building envelope.

657 Auburn
386 AB 030

11 Alice St
699 Auburn

Soil type/Presumptive Load Value (Table 401.4.1)	? OK based on others in subdivision @ 2000 psf	
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	8'x16" 4' D+ 7'10" wall HT	
Foundation Drainage Dampproofing (Section 406)	drain pipe in & out	? Damp Proof, fabric OK
Ventilation (Section 409.1) Crawls Space ONLY	5 windows plus B.H.	
Anchor Bolts/Straps (Section 403.1.4)	6' O.C. 1/2" Anchor bolts	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	3 1/2 steel 24" x 24" Foot 12" D 6'0" - 6'8"	OK Spacing
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	3-2x12	
Sill/Band Joist Type & Dimesions	2x6 PT 2x12 Band	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x12 16 O.C. Bridging	Mid span

Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	N/A		
Attic or additional Floor Joist Species Dimensions and Spacing(Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	1 story Cathedral main Garage ceiling common Girder Trusses	Scissors ? Man. Spec. OK	
Roof Rafter; Pitch, Span, Spacing & Dimension(Table 802.3.2(7))	Trusses 8:12 24 O.C.	? man. Spec OK submitted 2/7/03	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	3/4" P 3/8" W 1/2" R CDX		
Fastener Schedule (Table 602.3(1) & (2))	Ledgers		

<p>Stairs Number of Stairways</p> <p>Interior /</p> <p>Exterior</p> <p>Treads and Risers (Section 314)</p> <p>Width</p> <p>Headroom</p> <p>Guardrails and Handrails (Section 315)</p>	<p>7 7/16" x 9" 10" Finish</p> <p>3'6" 3'6"</p> <p>6'8"</p> <p>Walls - 1 side</p>	<p>check Net # Submitted 1/21/03</p> <p>} JOB</p> <p>? H-rail needs guard specs</p>
<p>Private Garage Section 309 and Section 407 1999 BOCA)</p> <p>Living Space? (Above or beside)</p> <p>Fire separation</p>	<p>5/8" SR walls & ceiling</p>	
<p>Fire rating of doors to living space</p> <p>Door Sill elevation (407.5 BOCA)</p>	<p>90 minute</p> <p>6" above slab</p>	
<p>Egress Windows (Section 310)</p>	<p>3'0" x 4'6"</p>	<p>? man. size Paradigm OK</p>

Deck - 2x6 PT
w/ 2x8 Beam
shows span
7'6"

Beam span 7'6" OK
2" Clearances
BPA +
protecting
OK

See Chimney Summary Checklist

Roof Covering (Chapter 9)	Asphalt 25 yr ice & water Drip edge	
Safety Glazing (Section 308)		left side BATH OK
Attic Access (BOCA 1211.1)	need 2 access of 30"	? 22x30 OK submitted
Draft Stopping around chimney		
Header Schedule	5 1/4" x 9 1/4" x 10' LVL 3-2x12 front porch - spans OK	2 spec
Type of Heating System	oil/gas w/ chimney Gas direct vent	
Smoke Detectors		Not on Plan locate on plans
Location and type/interconnected		

**TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS**

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS			
		Summary	See Section		
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth.	1003.9.1		
		2-inch minimum thickness for hearth extension.	1003.9.2		
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet.	1003.10		
		12 inches for fireplace opening greater than or equal to 6 square feet.			
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet.	1003.10		
		20 inches for fireplace opening greater than or equal to 6 square feet.			
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.	1003.9		
Firebox dimensions	E	20-inch minimum firebox depth.	1003.11		
		12-inch minimum firebox depth for Rumford fireplaces.			
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.	1003.5		
Distance from top of opening to throat	G	8 inches minimum.	1003.7		
Smoke chamber	H	6 inches lined; 8 inches unlined.	1003.8		
Wall thickness					
Dimensions		Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.	1003.8.1		
Chimney vertical reinforcing ^a	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.	1003.3.1		
Chimney horizontal reinforcing ^a	J	1/4-inch ties at each 18 inches, and two ties at each bend in vertical steel.	1003.3.2		
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.	1003.7		
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner.	1001.7;		
		1/2-inch grout or airspace between liner and wall.	1001.9		
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.	1001.12		
Clearances	N	2 inches interior, 1 inch exterior.	1001.15		
From chimney					
From fireplace				2 inches front, back or sides.	1003.12
Combustible trim or materials				6 inches from opening.	1003.13
Above roof		3 feet above roof penetration, 2 feet above part of structure within 10 feet.	1001.6		
Anchorage ^a	O	3/16 inch by 1 inch.	1003.4		
Strap					
Number				Two.	
Embedment into chimney				12 inches hooked around outer bar with 6-inch extension.	
Fasten to				Four joists.	
Bolts	Two 1/2-inch diameter.				
Footing	P	12-inch minimum.	1003.2		
Thickness					
Width		6 inches each side of fireplace wall.			

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 degree = 0.01745 rad.

^a Required only in Seismic Zones 3 and 4.



**P.O. Box 347
20 Pomerleau Street
Biddeford, ME 04005**
Tel: 207-282-7556
Customer Service: 877-974-7782
Out of State: 800-341-9612

Facsimile Cover Sheet

To: **JEANNE BOURKE**
 Company:
 Phone:
 Fax: **874-8716**

From: **CHRISTOPHER LaBonté**
 Company: **Wood Structures Inc.**
 Phone: **(207) 282 - 7556**
 Fax: **(207) 282 - 2423**

Date: **2-14-03**
 Pages including this
 Cover page: **3**

for [Signature]

*Ryan Raymond
657 Auburn*

Comments:

**SPAN CHARTS FOR
 1 3/4 x 11 7/8 WL ?
 5 1/4 x 9 1/2 VL
 ASKED FOR BY DAN ALBERT @ 284-5569
 BUILDERS SUPPLY IN BIDDEFORD ME.**

VERSA-LAM Roof Load Tables

3100F_b SP and 3080F_b DF (115% Load Duration) Snow Load

KEY TO TABLE: Top figure = Allowable Total Load [plf] Middle figure = Allowable Live Load [plf]
Bottom figures = Minimum Required Bearing Length at End / Intermediate Supports [inches]

Design Span (ft)	1 1/2" Width - 3100 Fb DF				3 1/2" Width - 3080 Fb DF						5 1/2" Width - 3080 Fb DF						7" Width - 3080 Fb DF					
	7 1/4"	9 1/4"	11 7/8"	14"	7 1/4"	9 1/4"	11 7/8"	14"	18"	18"	9 1/2"	11 7/8"	14"	18"	18"	20"	11 7/8"	14"	16"	18"	20"	24"
6	993	1245	1868	2102	1755	2447	3279	4132	5048	6102	3671	4919	6198	7573	9153	10865	8558	8884	10088	12204	14647	20933
	1.5/3	2.5/3.1	3.4/4.2	4.3/5.3	1.7/3	2.3/3	3.1/3.9	3.9/4.9	4.8/6	5.8/7.3	2.3/3	3.1/3.9	3.9/4.9	4.8/6	5.8/7.3	7/8.7	3.1/3.9	3.9/4.9	4.8/6	5.8/7.3	7/8.7	10/12.5
8	580	874	1146	1414	1190	1718	2254	2780	3323	3917	2577	3381	4171	4984	5875	6856	4508	5561	6645	7834	9141	12193
	1.5/3	2.4/3	3.1/3.9	3.8/4.8	1.5/3	2.2/3	2.9/3.6	3.5/4.4	4.2/5.3	5/6.2	2.2/3	2.9/3.6	3.5/4.4	4.2/5.3	5/6.2	5.8/7.3	2.9/3.6	3.5/4.4	4.2/5.3	5/6.2	5.8/7.3	7.8/9.7
10	328	596	872	1065	652	1267	1716	2094	2474	2882	1901	2574	3140	3711	4323	4978	3431	4187	4949	5764	6638	8594
	1.5/3	2/3	3/3.7	3.6/4.5	1.5/3	2/3	2.7/3.4	3.3/4.2	4/4.8	4.6/5.8	2/3	2.7/3.4	3.3/4.2	4/4.8	4.6/5.8	5.3/6.5	2.7/3.4	3.3/4.2	4/4.8	4.6/5.8	5.3/6.5	6.3/8.6
11	244	482	751	947	488	1046	1532	1863	2194	2545	1569	2299	2795	3290	3817	4378	3085	3726	4387	5080	5837	7487
	1.5/3	1.8/3	2.8/3.5	3.5/4.4	1.5/3	1.8/3	2.7/3.4	3.3/4.1	3.9/4.8	4.5/5.6	1.8/3	2.7/3.4	3.3/4.1	3.9/4.8	4.5/5.6	5.1/6.4	2.7/3.4	3.3/4.1	3.9/4.8	4.5/5.6	5.1/6.4	6.8/8.2
12	187	412	630	853	375	849	1348	1678	1970	2278	1274	2010	2517	2955	3417	3908	2880	3356	3840	4366	4928	6631
	1.5/3	1.7/3	2.6/3.2	3.5/4.3	1.5/3	1.6/3	2.6/3.2	3.2/4	3.8/4.7	4.4/5.5	1.6/3	2.6/3.2	3.2/4	3.8/4.7	4.4/5.5	5/6.2	2.6/3.2	3.2/4	3.8/4.7	4.4/5.5	5/6.2	6.4/7.9
13	146	330	536	732	293	666	1140	1526	1787	2062	989	1710	2289	2681	3082	3525	2280	3052	3574	4123	4701	5950
	1.5/3	1.5/3	2.4/3	3.2/4	1.5/3	1.5/3	2.4/3	3.2/4	3.7/4.5	4.3/5.4	1.5/3	2.4/3	3.2/4	3.7/4.5	4.3/5.4	4.9/6.1	2.4/3	3.2/4	3.7/4.5	4.3/5.4	4.9/6.1	6.2/7.7
14	116	265	461	631	234	532	982	1341	1635	1883	797	1472	2012	2453	2824	3212	1983	2683	3271	3785	4283	5385
	1.5/3	1.5/3	2.2/3	3/3.7	1.5/3	1.5/3	2.2/3	3/3.8	3.7/4.8	4.2/5.3	1.5/3	2.2/3	3/3.8	3.7/4.8	4.2/5.3	4.8/6	2.2/3	3/3.8	3.7/4.8	4.2/5.3	4.8/6	6/7.5
15	94	215	401	548	189	431	847	1187	1504	1732	646	1270	1750	2235	2598	2949	1694	2334	3007	3484	3992	4934
	1.5/3	1.5/3	2.1/3	2.8/3.5	1.5/3	1.5/3	2/3	2.8/3.5	3.6/4.5	4.2/5.2	1.5/3	2/3	2.8/3.5	3.6/4.5	4.2/5.2	4.7/5.9	2/3	2.8/3.5	3.6/4.5	4.2/5.2	4.7/5.9	5.9/7.4
16	77	178	347	481	154	353	686	1024	1320	1603	530	1044	1536	1980	2405	2726	1392	2048	2639	3207	3635	4545
	1.5/3	1.5/3	2.1/3	2.8/3.3	1.5/3	1.5/3	1.8/3	2.6/3.3	3.4/4.2	4.1/5.1	1.5/3	1.8/3	2.6/3.3	3.4/4.2	4.1/5.1	4.7/5.8	1.8/3	2.6/3.3	3.4/4.2	4.1/5.1	4.7/5.8	5.8/7.3
17	63	146	289	425	128	293	578	866	1167	1460	440	868	1359	1751	2190	2534	1157	1811	2335	2820	3379	4213
	1.5/3	1.5/3	1.7/3	2.5/3.1	1.5/3	1.5/3	1.6/3	2.5/3.1	3.2/4	4/5	1.5/3	1.6/3	2.5/3.1	3.2/4	4/5	4.8/5.8	1.6/3	2.5/3.1	3.2/4	4/5	4.8/5.8	5.7/7.2
18	53	122	242	379	106	246	486	801	1040	1301	368	728	1201	1560	1951	2367	971	1681	2070	2601	3156	3925
	1.5/3	1.5/3	1.5/3	2.3/3	1.5/3	1.5/3	1.5/3	2.3/3	3/3.8	3.8/4.7	1.5/3	1.5/3	2.3/3	3/3.8	3.8/4.7	4.6/5.7	1.5/3	2.3/3	3/3.8	3.8/4.7	4.6/5.7	5.7/7.1
19	44	103	206	339	90	208	411	678	932	1166	311	617	1018	1388	1748	2136	823	1358	1883	2331	2848	3674
	1.5/3	1.5/3	1.5/3	2.2/3	1.5/3	1.5/3	1.5/3	2.1/3	2.8/3.6	3.6/4.5	1.5/3	1.5/3	2.1/3	2.8/3.6	3.6/4.5	4.3/5.4	1.5/3	2.1/3	2.8/3.6	3.6/4.5	4.3/5.4	5.8/7
20	38	88	175	290	76	177	351	580	838	1050	285	527	870	1269	1576	1925	702	1160	1679	2101	2567	3453
	1.5/3	1.5/3	1.5/3	2/3	1.5/3	1.5/3	1.5/3	1.9/3	2.7/3.4	3.4/4.2	1.5/3	1.5/3	1.9/3	2.7/3.4	3.4/4.2	4.1/5.2	1.5/3	1.9/3	2.7/3.4	3.4/4.2	4.1/5.2	5.5/6.9
22	27	65	130	216	55	131	281	433	650	885	196	382	649	976	1298	1588	522	865	1301	1731	2115	2892
	1.5/3	1.5/3	1.5/3	1.6/3	1.5/3	1.5/3	1.5/3	1.6/3	2.3/3	3.1/3.8	1.5/3	1.5/3	1.6/3	2.3/3	3.1/3.8	3.8/4.7	1.5/3	1.6/3	2.3/3	3.1/3.8	3.8/4.7	5.3/6.6
24	20	48	96	165	41	99	199	330	498	713	148	298	498	747	1068	1328	387	681	995	1428	1772	2506
	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	2/3	2.8/3.5	1.5/3	1.5/3	1.5/3	2/3	2.8/3.5	3.4/4.3	1.5/3	1.5/3	2/3	2.8/3.5	3.4/4.3	4.9/6.1
26	15	37	77	128	31	76	154	257	388	557	114	231	386	583	836	1128	308	515	777	1115	1504	2130
	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.7/3	2.4/3	1.5/3	1.5/3	1.5/3	1.7/3	2.4/3	3.2/4	1.5/3	1.5/3	1.7/3	2.4/3	3.2/4	4.5/5.6	
28	11	29	60	101	23	58	121	203	308	443	88	182	305	462	654	918	242	407	618	886	1224	1831
	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	2/3	1.5/3	1.5/3	1.5/3	1.5/3	2/3	2.8/3.5	1.5/3	1.5/3	1.5/3	2/3	2.8/3.5	4.2/5.2
30	9	23	48	81	18	45	97	163	248	357	70	145	245	372	536	741	193	326	498	714	988	1598
	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.5/3	1.8/3	1.5/3	1.5/3	1.5/3	1.5/3	1.8/3	2.4/3	1.5/3	1.5/3	1.5/3	1.8/3	2.4/3	3.5/4.5	

- Total Load values are limited by shear, moment or deflection equal to L/240. Total Load values are the capacity of the beam in addition to its own weight.
- Live Load values are limited by deflection equal to L/360.
- Both the Total Load and Live Load values must be checked. Where a Live Load value is not shown, the Total Load value will control.
- Table values apply to either simple or multiple span beams. Span is measured center to center of supports. Analyze multiple span beams with the BC CALC[®] software if the length of any span is less than half the length of an adjacent span.
- Table values assume that lateral support is provided at each support and continuously along the compression edge of the beam.

- Table values for Minimum Required Bearing Lengths are based on the allowable compression design value perpendicular to grain for the beam and the Total Load value shown. Other design considerations, such as a weaker support material, may warrant longer bearing lengths. Table values assume that support is provided across the full width of the beam.
- Double, triple or quadruple the 1 1/2" wide 3100 Fb SP Total Load and Live Load values to size 2-ply, 3-ply or 4-ply 3100 Fb SP beams. Minimum Required Bearing Lengths remain the same for any number of plies.
- 1 1/2" members deeper than 14 inches are to be used as multiple-ply beams only.
- This table was designed to apply to a broad range of applications. It may be possible to exceed the limitations of this table by analyzing a specific application with the BC CALC[®] software.

From: Sarah Hopkins
To: Marge Schmuckal
Date: 12/31/02 11:16AM
Subject: Re: 657 Auburn Street

It should be fine. I put it on next Wednesday's agenda. I told her that we would write her an approval letter and record it for her.

-s

>>> Marge Schmuckal 12/31/02 10:37AM >>>

Sarah,

Did a Jackie Lozier contact you about her new single family dwelling at 657 Auburn Street (part of Auburn Pines Subdivision)? Her plans show a bulkhead extending outside of the given building window. Is that allowable? The setbacks are more than ok.

If you need to see the subdivision plans, I can bring them up to you.

Marge

Need The final written ok from
Sarah before issuing bldg permit

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

January 17, 2003

Jaqueline Lozier
P.O. Box 503
Bar Mills, ME 04004-0503

RE: 657 Auburn Street

CBL: 386A B030001

Dear: Ms. Lozier:

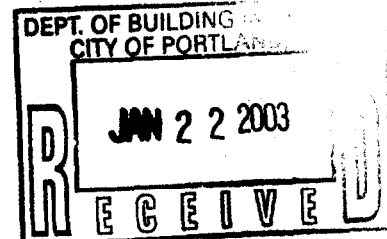
This letter is to confirm the revision to the approved plan of the project located at 657 Auburn Street. The approved revision includes a change in the building envelope of Lot #30 along the southerly side of the property to allow for the construction of a 6ft by 6ft bulkhead. The revised plan has been reviewed and approved by the project review staff including representatives of the Planning, Public Works, Building Inspections, Fire and Parks Departments.

We do recommend a recording of this approval letter and will gladly register it in the Cumberland County Registry of Deeds for a filing/administrative cost of \$50.00.

If you have any questions regarding the revision please contact me at 874-8720.

Sincerely,

Sarah Hopkins
Development Review Program Manager



O:\PLANDEVREVWAUBURN657\ENVELOPEREVISION.DOC

02.1323

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>657 Auburn St. (Auburn Lines Subdivision Lot # 30)</u>		
Total Square Footage of Proposed Structure <u>2652</u>	Square Footage of Lot <u>36,310</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>386</u> Block# <u>A</u> Lot# <u>B-30</u>	Owner: <u>JACQUELINE LOZIER</u>	Telephone: <u>749-7705</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>JACKIE LOZIER</u> <u>PO Box 503, BAR MILLS, ME</u> <u>04004</u> <u>929-6503</u>	Cost Of Work: \$ <u>150,000</u> Fee: \$ <u>Bldg Fee 1073.00</u> <u>Site Fee 200.00</u> <u>Calo 75.00</u> <u>deck 8'x16'</u>
Current use: <u>vacant</u>	<u>TOTAL 1448.00</u>	
If the location is currently vacant, what was prior use: <u>farming</u>	<u>deck 8'x16'</u>	
Approximately how long has it been vacant: _____	<u>u/attached 2 car garage</u>	
Proposed use: <u>Single family residence</u>	<u>30' X 40'</u>	
Project description: <u>3 bedroom, 2 bath Ranch style with attached 2 car garage</u>	<u>24' x 32'</u>	
Contractor's name, address & telephone: <u>RYAN RAYMOND, 389 Main St, Westbrook</u> <u>831-0344</u>		
Who should we contact when the permit is ready: <u>JACKIE LOZIER</u>		
Mailing address: <u>PO Box 503</u> <u>BAR MILLS, ME 04004-0503</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>749-7705</u> <u>xx</u> <u>Cell</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Jacqueline Lozier Date: 11/20/02

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
NOV 27 2002
RECEIVED

PURCHASE AND SALE AGREEMENT - LAND ONLY

May 24, 2002

Effective Date
Effective Date is defined in Paragraph 20 of this Agreement.

1. PARTIES: This Agreement is made between Jacqueline aka Jackie Lozier (hereinafter called "Buyer") of PO Box 503, Bar Mills, ME 04004-0503 and Jason Thomas (hereinafter called "Seller") of Scarborough, ME

2. DESCRIPTION: Subject to the terms and conditions hereinafter set forth, Seller agrees to sell and Buyer agrees to buy (all [X] part of []) the premises situated in municipality of Portland, County of Cumberland, State of Maine, located at Lot 30 Auburn Pines Subdivision and described in deed(s) recorded at said County's Registry of Deeds Book(s) 16240, Page(s) 21. If "part of" see Other Conditions (paragraph 22) for explanation.

3. CONSIDERATION: For such Deed and conveyance Buyer is to pay the sum of PRICE \$ 59,900.00 of which DEPOSIT \$ 500.00 is included herewith as an earnest money deposit, and an additional amount of DEPOSIT \$ will be paid by (date) . The balance due amount of BALANCE DUE \$ 59,400.00 is to be paid by certified or bank check, upon delivery of the Deed.

This Purchase and Sale Agreement is subject to the following conditions:

4. EARNEST MONEY/ACCEPTANCE: DeWolfe ("Agency") shall hold said earnest money and act as escrow agent until closing; this offer shall be valid until May 24, 2002 (date) 11.00 AM [X] PM; and, in the event of Seller's non-acceptance, this earnest money shall be returned promptly to Buyer. In the event that the Agency is made a party to any lawsuit by virtue of acting as escrow agent, Agency shall be entitled to recover reasonable attorney's fees and costs which shall be assessed as court costs in favor of the prevailing party.

5. TITLE AND CLOSING: A deed, conveying good and merchantable title in accordance with the Standards of Title adopted by the Maine Bar Association shall be delivered to Buyer and this transaction shall be closed and Buyer shall pay the balance due and execute all necessary papers on June 24, 2002 (closing date) or before, if agreed in writing by both parties. If Seller is unable to convey in accordance with the provisions of this paragraph, then Seller shall have a reasonable time period, not to exceed 30 days, from the time Seller is notified of the defect, unless otherwise agreed to by both Buyer and Seller, to remedy the title, after which time, if such defect is not corrected so that there is a merchantable title, Buyer may, at Buyer's option, withdraw said earnest money and be relieved from all obligations. Seller hereby agrees to make a good-faith effort to cure any title defect during such period.

6. DEED: The property shall be conveyed by a Warranty deed, and shall be free and clear of all encumbrances except covenants, conditions, easements and restrictions of record which do not materially and adversely affect the continued current use of the property.

7. POSSESSION: Possession of premises shall be given to Buyer immediately at closing unless otherwise agreed in writing.

8. RISK OF LOSS: Until the closing, the risk of loss or damage to said premises by fire or otherwise, is assumed by Seller. Buyer shall have the right to view the property within 24 hours prior to closing for the purpose of determining that the premises are in substantially the same condition as on the date of this Agreement.

9. PRORATIONS: The following items, where applicable, shall be prorated as of the date of closing: rent, association fees, (other) . Real estate taxes shall be prorated as of the date of closing (based on municipality's fiscal year). Seller is responsible for any unpaid taxes for prior years. If the amount of said taxes is not known at the time of closing, they shall be apportioned on the basis of the taxes assessed for the preceding year with a reapportionment as soon as the new tax rate and valuation can be ascertained, which latter provision shall survive closing. Buyer and Seller will each pay their transfer tax as required by State of Maine.

10. PROPERTY DISCLOSURE FORM: Buyer acknowledges receipt of Seller's Property Disclosure Form and is encouraged to seek information from professionals regarding any specific issue or concern.

11. INSPECTIONS: Buyer is encouraged to seek information from professionals regarding any specific issue or concern.

Rev.2002 Page 1 of 4 - P&S-LO Buyer(s) Initials Seller(s) Initials
DeWolfe 53 Baxter Blvd, Portland ME 04101
Phone: (207) 253-3193 Fax: (207) 774-1116 Kevin Cloutier


Agent makes no warranties regarding the condition, permitted use or value of Sellers' real property. This Agreement is subject to the following contingencies, with results being satisfactory to Buyer:

CONTINGENCY	YES	NO	DAYS FOR COMPLETION	OBTAINED BY	TO BE PAID FOR BY
1. SURVEY	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
Purpose: _____					
2. SOILS TEST	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
Purpose: _____					
3. LOCAL PERMITS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
Purpose: _____					
4. HAZARDOUS WASTE REPORTS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
Purpose: _____					
5. SUB-DIVISION APPROVAL	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
Purpose: _____					
6. DEP/LURC APPROVALS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
Purpose: _____					
7. ZONING VARIANCE	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
Purpose: _____					
8. MDOT DRIVEWAY/ ENTRANCE PERMIT	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
Purpose: _____					
9. OTHER	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
Purpose: _____					

Further specifications regarding any of the above: n/a

Unless otherwise specified above, all of the above will be obtained and paid for by Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, Buyer will declare the Agreement null and void by notifying Seller in writing within the specified number of days, and any earnest money shall be returned to Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, and Buyer wishes to pursue remedies other than voiding the Agreement, Buyer must do so to full resolution within the time period set forth above; otherwise this contingency is waived. If Buyer does not notify Seller that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by Buyer. In the absence of inspection(s) mentioned above, Buyer is relying completely upon Buyer's own opinion as to the condition of the property.

Page 2 of 4 - P&S-LO Buyer(s) Initials Seller(s) Initials

PAYING CASH 

12. FINANCING: This Agreement is subject to Buyer obtaining an approved _____ mortgage of _____ % of the purchase price, at an interest rate not to exceed _____ % and amortized over a period of _____ years.

- a. Buyer to provide Seller with letter from lender showing that Buyer has made application and, subject to verification of information, is qualified for the loan requested within 7 days from the Effective Date of the Agreement.
b. Buyer to provide Seller with mortgage commitment letter from lender showing that Buyer has secured the loan commitment within June 7, 2002 days of the Effective Date of the Agreement.
c. If either of these conditions is not met within said time periods, Seller may terminate this Agreement and the earnest money shall be returned to Buyer.
d. After (a) and (b) are met, Buyer is obligated to notify Seller in writing if the lender notifies Buyer that it is unable or unwilling to proceed with the financing. Any failure by Buyer to notify Seller within 48 hours of receipt by Buyer of notice from the lender shall be a default under this Agreement.
e. Buyer agrees to pay no more than 0 points. Seller agrees to pay \$ 0 toward points and/or Buyer's closing costs.

13. AGENCY DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following agency relationships:

Kevin Cloutier Listing Agent of DeWolfe Agency represents Buyer

Kevin Cloutier Selling Agent of DeWolfe Agency represents Seller

If this transaction involves Disclosed Dual Agency, the Buyer and Seller acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the Buyer and Seller acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

14. MEDIATION: Any dispute or claim arising out of or relating to this Agreement or the property addressed in this Agreement shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules of the American Arbitration Association. Buyer and Seller are bound to mediate in good faith and pay their respective mediation fees. If a party does not agree first to go to mediation, then that party will be liable for the other party's legal fees in any subsequent litigation regarding that same matter in which the party who refused to go to mediation loses in that subsequent litigation. This clause shall survive the closing of the transaction.

15. DEFAULT: In the event of default by the Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this Agreement and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including without limitation, termination of this Agreement and return to Buyer of the earnest money. Agency acting as escrow agent has the option to require written releases from both parties prior to disbursing the earnest money to either Buyer or Seller.

16. PRIOR STATEMENTS: Any representations, statements and agreements are not valid unless contained herein. This Agreement completely expresses the obligations of the parties.

17. HEIRS/ASSIGNS: This Agreement shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the Seller and the assigns of the Buyer.

18. COUNTERPARTS: This Agreement may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

19. ADDENDA: Yes [X] Explain: Survey, Covenants and Restrictions No []

20. EFFECTIVE DATE: This Agreement is a binding contract when signed by both Buyer and Seller and when that fact has been communicated to Buyer and Seller or to their agents. Agent is authorized to complete Effective Date on Page 1 of this Agreement. The use of "by (date)" or "within ___ days" shall refer to calendar days being counted from the Effective Date as noted on Page 1 of the Agreement, beginning with the first day after the Effective Date and ending at 5:00 p.m. Eastern Time on the last day counted.

21. CONFIDENTIALITY: Buyer and Seller understand that the terms of this Agreement are confidential but authorize the disclosure of the information herein to the agents, attorneys, lenders, appraisers, inspectors and others involved in the transaction necessary for the purpose of closing this transaction. Buyer and Seller authorize the parties and their agents to receive a copy of the entire closing statement.

Page 3 of 4 - P&S-LO Buyer(s) Initials  Seller(s) Initials _____

22. OTHER CONDITIONS: THIS CONTRACT IS SUBJECT TO THE BUYER OBTAINING A CONSTRUCTION LOAN FOR THE CONSTRUCTION OF THE DWELLING. IF SUCH LOAN IS NOT APPROVED, THE BUYER AT HER SOLE OPTION MAY DECLARE THIS CONTRACT NULL & VOID AND RECEIVE HER DEPOSIT BACK. SUCH LOAN APPROVAL TO BE OBTAINED BY June 7, 2002.

A copy of this Agreement is to be received by Buyer and Seller and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.

Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Bureau of Taxation.

Buyer acknowledges that Maine law requires continuing interest in the property and any back up offers to be communicated by the listing agent to the Seller.

Jacqueline Lozier
BUYER **Jacqueline Lozier**

005-48-3646
SS# OR TAXPAYER ID#

BUYER

SS# OR TAXPAYER ID#

Buyer's Mailing address is PO Box 503, Bar Mills, ME 04004-0503

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth and agrees to pay Agency a commission for services as specified in the listing agreement. If the earnest money is forfeited by Buyer, it shall be distributed as follows: per listing agreement

Signed this _____ day of _____, _____

SELLER
Jason Thomas

SS# OR TAXPAYER ID#

SELLER

SS# OR TAXPAYER ID#

Seller's Mailing address is Scarborough, ME 04064

Offer reviewed and refused on _____, _____

SELLER

SELLER

EXTENSION: The time for the performance of this Agreement is extended until _____
DATE

BUYER _____ DATE _____

SELLER _____ DATE _____

BUYER _____ DATE _____

SELLER _____ DATE _____

Maine Association of REALTORS®/ Rev. 2002
All Rights Reserved.



EXCLUSIVE BUYER REPRESENTATION AGREEMENT

AGENCY: DeWolfe

DATE: May 24, 2002

DISCLOSURE PROVISIONS

APPOINTED AGENT:

Agency has a policy of appointing a specific agent(s) (hereinafter "Appointed Agent") within the Agency to represent you. This practice is authorized under Maine State law and is regulated by the Maine Real Estate Commission. The Appointed Agent(s) representing you is/are Kevin Cloutier and holds a

Assoc. Broker Maine real estate license. The Appointed Agent(s) will owe you, the client, fiduciary duties, which include among other things, the obligation not to reveal confidential information obtained from you to other licensees, except the designated broker or the designated broker's designee for the purpose of seeking advice or assistance for your benefit. This Agency may be representing both the Seller and the Buyer in connection with the sale or purchase of real estate. Should the appointed agent named above be unable to fulfill the terms of the brokerage contract, or by agreement between you and the designated broker, another agent from this Agency may be appointed during the term of your brokerage contract with this agency. Appointment of another agent as a new or additional agent does not relieve the agent named above of any fiduciary duties owed to you. Client has read Appointed Agent Disclosure prior to entering into a brokerage contract with Agency, and hereby consents to the appointment to the Agent(s). Yes No

DISCLOSED DUAL AGENT:

Client(s) acknowledge they have been informed by Agency that the Agency has a policy that permits Disclosed Dual Agency. This practice is authorized under Maine State law and is regulated by the Maine Real Estate Commission. In a transaction where a Buyer Client desires to purchase a Seller Client's listing, Disclosed Dual Agency may arise. In serving as a Disclosed Dual Agent, Agency:

1. represents two clients, the Buyer and the Seller, whose interests are adverse and the agency duties are limited;
2. may disclose to Buyer any information provided by Seller and may disclose to Seller any information provided by Buyer except:
 - • the willingness or ability of Seller to accept less than the asking price;
 - • the willingness or ability of Buyer to pay more than has been offered;
 - • confidential negotiating strategy not disclosed in the sales offer as terms of the sale;
 - • the motivation of Seller for selling and the motivation of Buyer for buying.

Client has read and understood the Agreement; understands they may choose to consent, or not consent, to Agency serving as a Disclosed Dual Agent and hereby voluntarily consents to the Agency and Appointed Agent acting as a Disclosed Dual Agent. Yes No

Jackie Lozier, (hereinafter "Buyer")

Buyer hereby retains DeWolfe (Agency)

on an exclusive basis and in consideration of its efforts to locate and/or assist in the acquisition of real property suitable to Buyer by way of purchase, exchange, option, lease or otherwise, consistent with the terms and conditions below.

1. This Agreement begins on May 24, 2002 and will terminate on December 31, 2002, unless prior to termination date, the Buyer places a property under any type of contract, in which case this Agreement will terminate upon closing and/or transfer of title. This Agreement is specific to properties located in the following areas: Cumberland & York Counties.
2. Agency responsibilities:
 - a. Make available to the Buyer the Agency's professional skills and resources in locating, negotiating and closing on property determined by Buyer to be suitable to Buyer's needs;
 - b. Assist the Buyer to determine current market value, if requested by Buyer;
 - c. Will not reveal confidential information obtained from Buyer to other licensees, except to the Designated Broker or his designee for purposes of seeking advice and assistance of benefit to Buyer;
 - d. Assist Buyer, if requested, to locate property-related professional assistance (e.g., survey, tax, legal, inspection of building and/or systems) or other areas that Buyer indicates are crucial to the transaction.
3. Buyer responsibilities:
 - a. Work exclusively with Agency; Refer all properties of interest and conduct all negotiations through Agency for any property of interest to Buyer;
 - b. Furnish Agency with necessary personal and financial information to verify Buyer's ability to purchase property;
 - c. Consult with Agency before visiting open houses, contacting any other agency or "For Sale by Owner" properties to avoid confusion over the agency relationship or misunderstanding about liability for commission;
 - d. To make an independent investigation and determination that neighborhood, amenities, and non-property related issues meet Buyer's needs;
 - e. Request in writing that Agent investigate or verify specific issues and receive Agent's agreement to do so.

Page 1 of 2 - EBRA Buyer's Initials 

4. Compensation:

- a. Retainer Fee: Upon signing of this Agreement, Buyer shall pay \$ 0.00 dollars to retain Agency's services during this period. This retainer fee is not refundable but shall be credited to the Buyer at closing.
- b. For listed property, Buyer agrees to pay, or cause to be paid, to Agency a commission of \$ _____ or 3.500 % of the purchase price or the amount offered by the listing agency to a buyer agency, whichever is greater. The payment of any commission by the Seller(s) or listing agency from the sales proceeds will not make the Agency either the agent or subagent of the Seller(s).
- c. For unlisted property, Buyer agrees to pay, or cause to be paid by Seller, to Agency a commission of \$ _____ or 5.000 % of the purchase price.
- d. If Buyer receives an interest in property by way of purchase, exchange, option, lease or otherwise, which property was introduced to Buyer during the term of this Agreement within 6 months of its expiration, a commission will be due Agency unless Buyer in good faith has entered into a subsequent EXCLUSIVE BUYER REPRESENTATION AGREEMENT with another agency. Introduction to the property includes providing any information concerning the property, showing the property or presenting offers on the property. All rights under this paragraph shall terminate on May 24, 2003.
- e. The commission will be earned when a contract has been accepted by a Seller and all contingencies have been satisfied.
- f. Transaction Processing Fee: Buyer acknowledges that, in connection with the purchase of property covered by this Agreement, various State and federal statutes, as well as various local ordinances, now require that buyers and sellers and/or their respective agents deliver to or receive from one another, or deliver from governmental agencies, homeowners associations, and other third parties, numerous disclosures, certifications, reports and informational materials (collectively "Regulatory Materials"). Failure to make timely delivery of Regulatory Materials or a party's inability to establish past delivery thereof may adversely affect the course of a transaction or result in statutory or contractual liability. In consideration of Agency's processing, monitoring and coordinating the delivery of Regulatory Materials in connection with this purchase, Buyer agrees to pay Agency a Transaction Processing Fee of \$ 0. This fee shall be payable n/a. Buyer acknowledges that additional fees or costs may be charged by governmental agencies and/or any third party information service providers whose services are selected by Buyer.

5. Other Conditions:

- a. This Agreement includes property for sale by owner, property not currently for sale, unlisted new construction and property listed for sale by this or other real estate agencies.
- b. All properties are acceptable at the sole and absolute discretion of Buyer.
- c. Buyer agrees that Agency and its agents may present the same property to other prospective buyers and may represent other buyers in the acquisition of the same property.
- d. Agency will cooperate and compensate other agencies if appropriate in locating property for Buyer under this Agreement.
- e. Agency will not be responsible for independently investigating or verifying specific information not related to the property itself.
- f. Agency will not be responsible for independently verifying information supplied by other licensees, outside professionals or government agencies, third party advice, data or specific information unless agreed in writing by both parties.
- g. Buyer acknowledges Agency's advice to seek legal, tax and other professional advice as necessary relating to proposed transaction.

Additional Conditions: _____

Buyer(s) has received a copy of the Residential Property Transaction Booklet Yes No

Properties shall be presented without regard to race, color, religion, sex, handicap/disability, familial status (families with children), ancestry or national origin.

May 24, 2002
DATE

Jackie Lozier
BUYER
Jackie Lozier

005-48-3646
SS# OR TAXPAYER ID#

BUYER(S) MAILING ADDRESS: PO Box 503, Bar Mills, ME 04004-0503

BUYER(S) PHONE NUMBER: _____

BUYER(S) E-MAIL ADDRESS: _____

May 24, 2002 Accepted by _____ associated with DeWolfe
DATE AGENT AGENCY
Kevin Cloutier

MAINE ASSOCIATION OF REALTORS®/Rev. 2002
All rights reserved.



0028937

BK16240PG021

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, THAT NEPTUNE PROPERTIES, LLC, a Maine Limited Liability Company, in consideration of One Dollar (\$1.00) and other good and valuable considerations paid by Jason H. Thomas, whose mailing address is PO Box 7174, Scarborough, Maine 04074, the receipt whereof is hereby acknowledged, do hereby give, grant, bargain, sell and convey unto the said Jason H. Thomas, his heirs and assigns, certain property situated in the City of Portland, County of Cumberland and State of Maine, described as follows:

Lot No. 30 as depicted on the Auburn Pine Subdivision Plan recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 393.

The property described herein is conveyed subject to the general notes and Conditions set forth on said plan together with the Declaration of Restrictions and Covenants for Auburn Pines as set forth in an instrument dated August 16, 1999 and recorded in the Cumberland County Registry of Deeds in Book 14981, Page 172. Also conveying an easement for access and installation and maintenance of utilities over and within the streets and ways shown on said Plan. Also conveying an easement for access and egress for the benefit of Lot #31 over the existing paved driveway serving Lot #31 and as shown in Exhibit "A".

The property herein conveyed is also subject to restrictions binding on the Grantee, his successors, or assigns, which prohibit any cutting or removal of any existing trees from that portion of the property as shown on Exhibit "A", hereto attached. Furthermore the Grantee shall take reasonable steps to maintain said trees through their natural life.

Being a portion of the premises conveyed to the Grantor herein by Deed of Provost, Inc., dated June 9, 1999, and recorded in the Cumberland County Registry of Deeds, Book 14817, Page 100.

TO HAVE AND TO HOLD the aforegranted and bargained premises with all the privileges and appurtenances thereof, to the said Jason H. Thomas, his heirs and assigns, to them and their use and behoof forever.

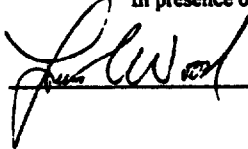
AND I do covenant with the said Grantee, his heirs and assigns, that NEPTUNE PROPERTIES, LLC, is lawfully seized in fee of the premises, that is free of all encumbrances and that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that NEPTUNE PROPERTIES, LLC, shall and will WARRANT and DEFEND the same to the said Grantee, his heirs and assigns forever, against the lawful claims and demands of all persons.

MAINE REAL ESTATE TAX PAID

BK 16240PG022

IN WITNESS WHEREOF, NEPTUNE PROPERTIES, LLC, has hereunto set its hand and seal this 25 day of the month of April, 2001.

Signed, Sealed and Delivered
In presence of



NEPTUNE PROPERTIES, LLC

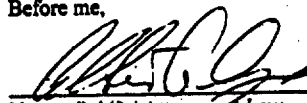

Michael Scarks, President

STATE OF MAINE
CUMBERLAND, SS.

April 25, 2001

Then personally appeared the above-named Michael Scarks and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of Neptune Properties, LLC.

Before me,


Notary Public/ Attorney at Law
Albert G. AYRE

SELLER'S PROPERTY DISCLOSURE - LAND ONLY

PROPERTY LOCATED AT: 657 Auburn Street, Portland, ME 04103 LOT #30 - Auburn Pines Sub

This disclosure is not meant to be a warranty of the condition of the property. The Seller authorizes the Listing Broker in this transaction to disclose the information in this statement to other real estate agents and to prospective buyers of this property. The Seller agrees to notify the Listing Broker promptly of any changes in the information and this form will be appropriately changed with an amendment date. Inspections are highly recommended.

Note: Answer all questions, if applicable. Write n/a (not applicable) or unknown if needed.

The Seller makes the following representations regarding known hazardous materials that are currently or previously existing in or on the real estate:

A. UNDERGROUND STORAGE TANKS - Current or previously existing:

Are there now, or have there ever been, any underground storage tanks on your property? Yes No Unknown

IF YES: Are tanks in current use? Yes No

IF NO above: How long have tank(s) been out of service? _____

What materials are, or were, stored in the tank(s)? _____

Age of tank(s): _____ Size of tank(s): _____

Location: _____

Have you experienced any problems such as leakage? _____

Are tanks registered with the Dept. of Environmental Protection? Yes No Unknown

If tanks are no longer in use, have tanks been abandoned according to D.E.P.? Yes No Unknown

Comments: _____

B. OTHER HAZARDOUS MATERIALS - Current or previously existing (such as Toxic Material, Land Fill, Radioactive Material, etc.):

Yes No Unknown

Attachment explaining current problems, past repairs or additional information to any of the above hazardous materials? Yes No

Buyers are encouraged to seek information from professionals regarding any specific issue or concern.

Are there any encroachments, easements, rights-of-way, leases, rights of first refusal, life estates or restrictive covenants on the property? Yes No Unknown

IF YES: Explain: see Declaration of Restrictions and Covenants

What is your source of information: see above

Are there any shoreland zoning, resource protection or other overlay zone requirements on the property? Yes No Unknown

IF YES: Explain: see below

What is your source of information: see Declaration of Restrictions and Covenants

Is the subject property the result of a division of property within the last five years (for example, subdivision)? Yes No Unknown

IF YES: Explain: _____

What is your source of information: Auburn Pines Subdivision approval

Are you receiving a tax exemption or reduction for this property for any reason including but not limited to: Tree Growth, Open Space and Farmland? Yes No Unknown

IF YES: Explain: _____

Has the property been surveyed? Yes No Unknown If YES, is the survey available? Yes No

ATTACHMENTS: Yes No

Additional Information: _____

Seller shall be responsible and liable for any failure to provide known information about property defects to Buyer.

T. (W) T. G. THOMAS _____ DATE _____ SELLER _____ DATE _____

Jason Thomas

I/we have read and received a copy of this disclosure and understand that I/we should seek information from qualified professionals if I/we have questions or concerns.

Jaqueline Jozic _____ DATE 5/24/02 BUYER _____ DATE _____

Applicant: Jackie Lozier

Date: 12/23/02

Address: 657 Auburn St

C-B-I: 386A-B-30

PART of Auburn Pkg #33
CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development #02-1323

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - construct New Single Family 30' x 40' with ^{attached} 22' x 24' garage
in cluding 8' x 16' Deck

Sevage Disposal - City

Lot Street Frontage - 50' req - 22' 30' shown

Front Yard - 25' min req - 31' scaled

Rear Yard - 25' min req - 56' scaled

Side Yard - 12' ^{min} req - 39' & 120' scaled

Projections - Deck needs to be shown on plat plan

Width of Lot - 80' req - 230' Bulkhead needs to be shown on plat plan

Height - 35' max - 23' scaled to ridge

Lot Area - 10,000^{sq} 36,310^{sq} shown

Lot Coverage/Impervious Surface - 20% or max 7262^{sq}

Area per Family - 10,000^{sq}

Off-street Parking - 2 req - 2 car garage shown

Loading Bays - N/A

Site Plan - minor/minor
2002-0246

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 2 - Zone X

need revised plans

24' x 44' = 1056^{sq}

38' x 40' = 1520

deck 8' x 16' = 128

Bulkhead = 5.33 x 6 = 32

2736^{sq}

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2002-0246
Application I. D. Number
11/27/2002
Application Date
657 Auburn Street
Project Name/Description

Lozier Jacqueline J
Applicant
Po Box 503 , Bar Mills , ME 04004
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 929-8503 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

657 - 657 Auburn St, Portland, Maine
Address of Proposed Site
386A B030001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2652 sq. Ft. 36,310 sq. Ft.
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 12/02/2002

DRC Approval Status:

Approved _____ Denied _____

Approval Expiration 12/03/2003 Extension to _____ Additional Sheets Attached
 Condition Compliance Jay Reynolds 12/03/2002
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2002-0246

Application I. D. Number

11/27/2002

Application Date

657 Auburn Street

Project Name/Description

Lozier Jacqueline J

Applicant

Po Box 503 , Bar Mills , ME 04004

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 929-6503 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

657 - 657 Auburn St, Portland, Maine

Address of Proposed Site

386A B030001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

1

Approval Conditions of DRC

- 1 THE FLOWER BED ALONG THE NORTHERLY SIDE LINE SHALL BE RELOCATED SO IT'S WITHIN THE METES AND BOUNDS OF THE PROPERTY.
- 2 SILT FENCE SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE
- 3 Your new street address is now 657 AUBURN STREET, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 9 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 01 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Building Copy**

2002-0246

Application I. D. Number

11/27/2002

Application Date

657 Auburn Street

Project Name/Description

Lozier Jacqueline J

Applicant

Po Box 503 , Bar Mills , ME 04004

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Applicant Ph: (207) 929-6503 Agent Fax:

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386A B030001

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 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2652 sq. Ft.

Proposed Building square Feet or # of Units

36,310 sq. Ft.

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **12/2/2002**

Building Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

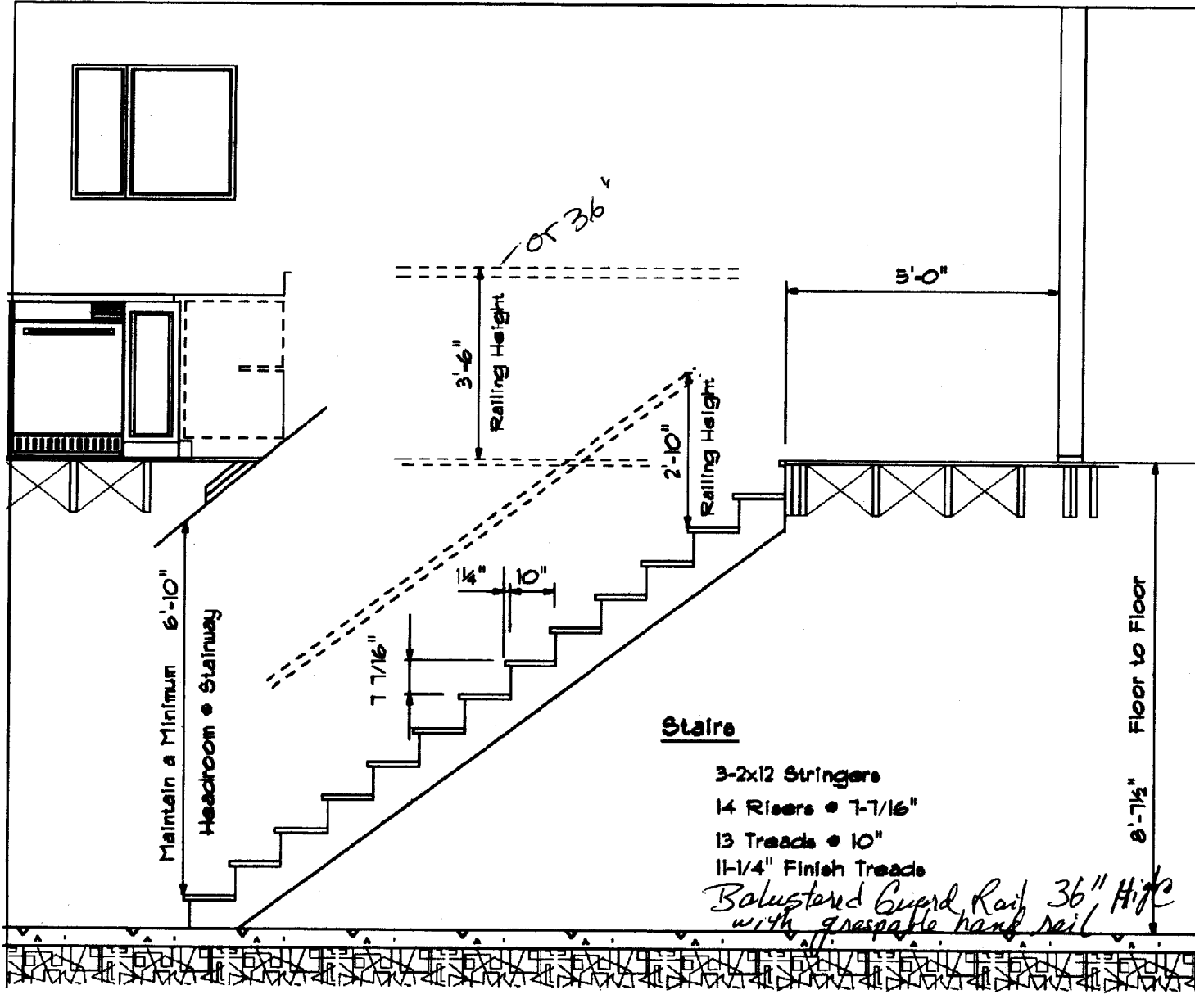
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |



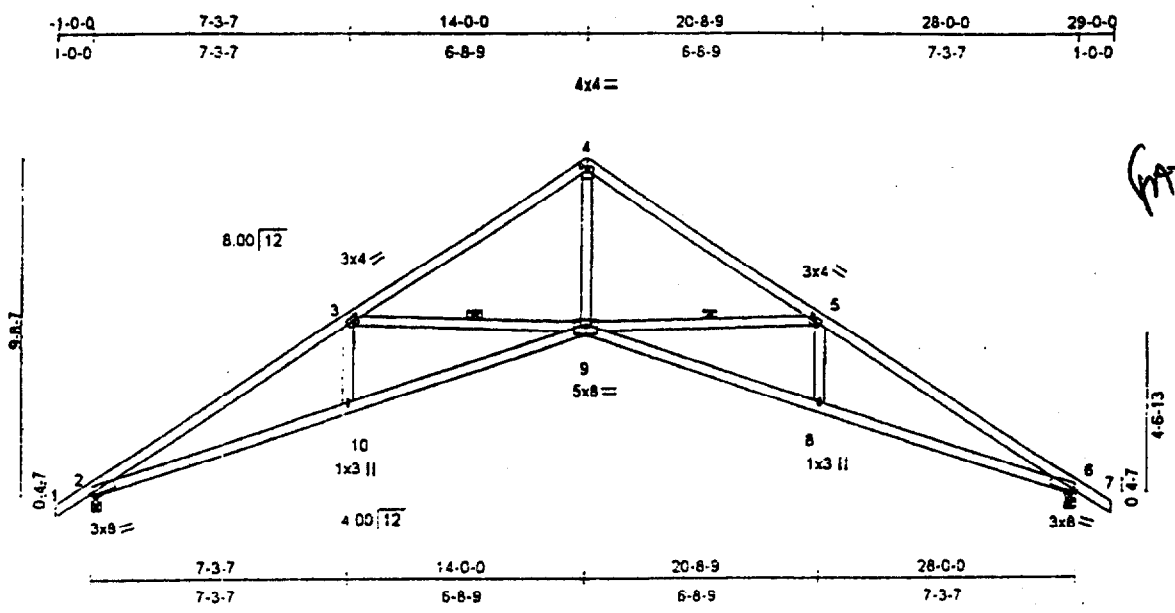
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JAN 21 2003

RECEIVED

Job	Truss	Truss Type	Qty	Ply	WSI Stock trusses 1/1/99	Sheet 19 R-1
ST67545	828S	SCISSOR TRUSS	100	1	11/3/99	

WOOD STRUCTURES INC., BIDDEFORD, ME 4.0-32 s Sep 7 1999 MiTek Industries, Inc. Wed Nov 03 13:09:21 1999 Page 1



ATTN: RYAN

FIXED 1/23/03 5:08 PM

Plate Offsets (X, Y): [2:0-0-13.edge], [3:0-1-12,0-1-B], [4:0-2-0,0-1-4], [5:0-1-12,0-1-B], [6:0-0-13.edge]

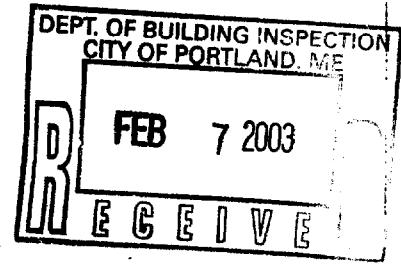
LOADING (psf)	SPACING	2:0-0	CSI	DEFL (in)	(in)	l/defl	PLATES	GRIP
L 42.0	Plates increase	1.15	TC 1.00	Vert(LL)	-0.35	9	M20	169/123
Z 7.0	Lumber increase	1.15	BC 0.79	Vert(TL)	-0.54	8-9		
W 0.0	Rep Stress Incr	YES	WB 0.61	Horz(TL)	0.50	6		
BC/DL 10.0	Code	BOCA/ANSI95		1st LC LL Min l/defl	= 240	n/a		Weight: 110 lb

LUMBER	BRACING
TOP CHORD 2 X 4 SYP 2400F 2.0E	TOP CHORD Sheathed
BOT CHORD 2 X 4 SPF 1650F 1.5E	BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing
WEBS 2 X 4 SPF-S Stud *Except* 4-9 2 X 4 SPF No.2	WEBS 1 Row at midpt 3-9, 5-9

REACTIONS (lb/size) 2=1748/0-3-8, 6=1748/0-3-8

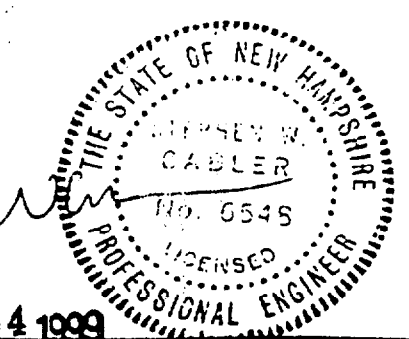
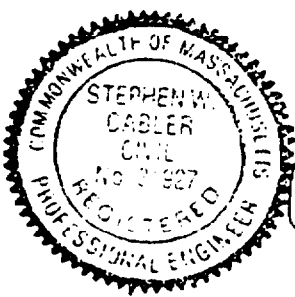
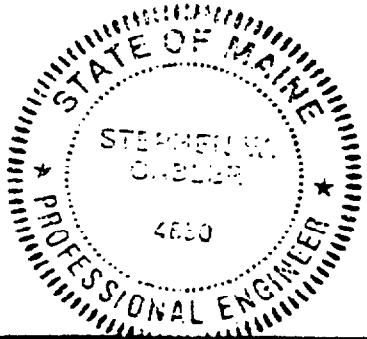
FORCES (lb) - First Load Case Only
 TOP CHORD 1-2 = 25, 2-3 = -4122, 3-4 = -2842, 4-5 = -2842, 5-6 = -4122, 6-7 = 25
 BOT CHORD 2-10 = 3573, 9-10 = 3573, 8-9 = 3573, 6-9 = 3573
 WEBS 4-9 = 2494, 3-10 = 139, 5-8 = 139, 3-9 = -1026, 5-9 = -1026

- NOTES
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) All plates are M20 plates unless otherwise indicated.
 - 3) This truss has been designed for a live load of 20.0psf on the bottom chord in all areas with a clearance greater than 3'-6" between the bottom chord and any other members.
 - 4) Bearing at joint(s) 2, 6 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
 - 5) This truss has been designed with ANSI/TPI 1-1995 criteria.



LOAD CASE(S) Standard

DESIGN LOADING:
 TOLL TOTAL (PSF):
 42.59 @ 24" oc.
 53.74 @ 19.2" oc.
 53.99 @ 16" oc.



NOV 04 1999

WARNING - Verify design parameters and READ NOTES ON THIS AND REVERSE SIDE BEFORE USE.

Design valid for use only with MiTek connectors. This design is based only upon parameters shown and is for an individual building component to be installed and loaded vertically. Applicability of design parameters and proper incorporation of component is responsibility of building designer. Not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing consult CSI-88 Quality Standard, CSI-89 Bracing Specification and MI-91 Handling, Installing and Bracing Recommendation available from Truss Plate Institute, 565 D'Onofrio Drive, Madison, WI 53716.



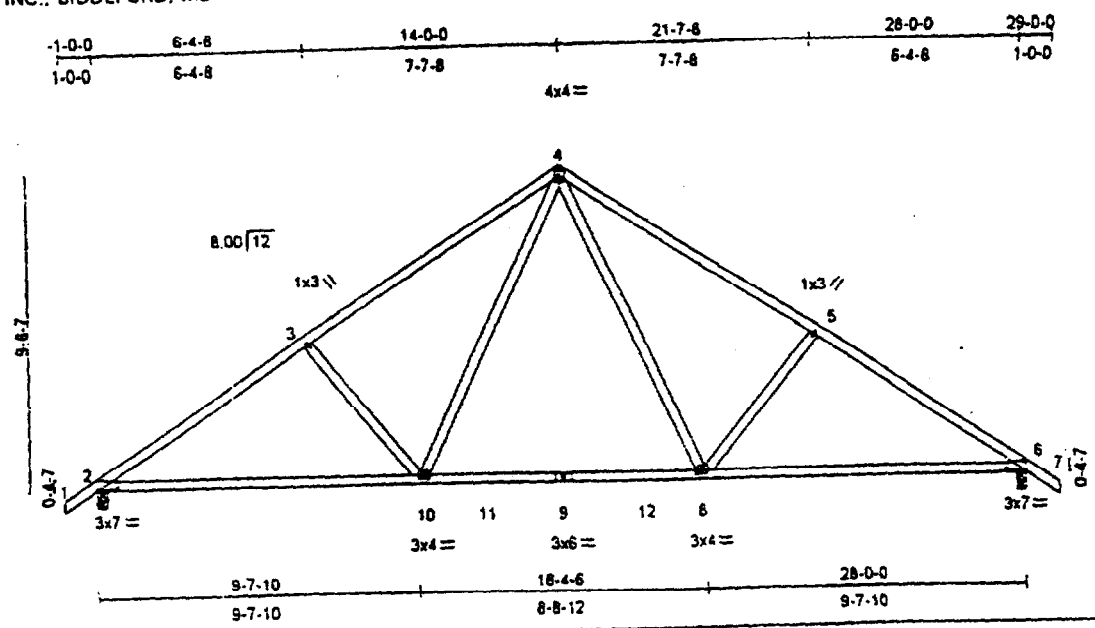


Plate Offsets (X,Y): 12:0-7-0-0-10, 16:0-7-0-0-10, 18:0-1-8-0-1-8, 10:0-1-8-0-1-8

LOADING (psf)	SPACING 2-0-0	CSI	DEFL (in) (loc) l/defl	PLATES GRIP
TCLL 42.0	Plates Increase 1.15	TC 0.83	Vert(LL) -0.31 8-10 >999	M20 169/123
TCDL 7.0	Lumber Increase 1.15	BC 0.59	Vert(TL) -0.35 8-10 >942	
BCLL 0.0	Rep Stress Incr YES	WB 0.47	Horz(TL) 0.06 6 n/a	Weight: 103 lb
BCDL 10.0	Code BOCA/ANSI95	(Matrix)	1st LC LL Min l/defl = 240	

MEMBER
 TOP CHORD 2 X 4 SPF 1650F 1.5E
 BOT CHORD 2 X 4 SPF 2100F 1.8E
 WEBS 2 X 4 SPF-S Stud

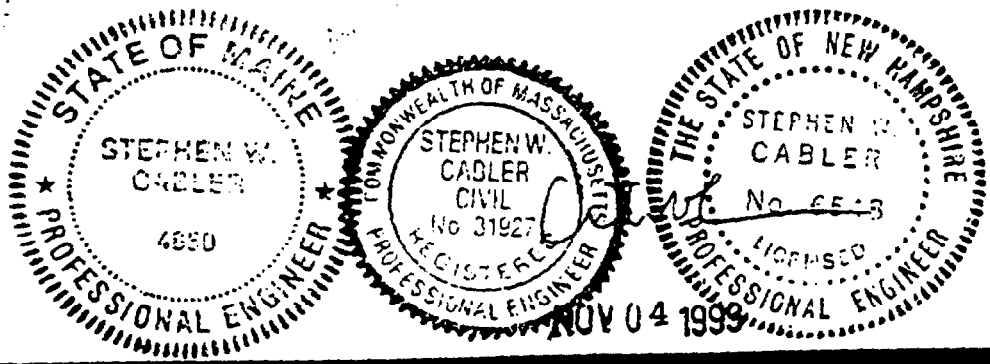
BRACING
 TOP CHORD Sheathed or 3-7-10 on center purlin spacing.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing.

REACTIONS (lb/size) 2 = 1843/0-3-8, 6 = 1843/0-3-8

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2 = 53, 2-3 = -2637, 3-4 = -2245, 4-5 = -2245, 5-6 = -2637, 6-7 = 53
 BOT CHORD 2-10 = 2053, 10-11 = 1363, 9-11 = 1363, 9-12 = 1363, 8-12 = 1363, 6-8 = 2053
 WEBS 3-10 = -559, 4-10 = 814, 4-8 = 814, 5-8 = -559

NOTES
 1) This truss has been checked for unbalanced loading conditions.
 2) All plates are M20 plates unless otherwise indicated.
 3) This truss has been designed for a live load of 20 Gpsf on the bottom chord in all areas with a clearance greater than 3-6-0 between the bottom chord and any other members.
 4) This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S) Standard
DESIGN LOADING:
 TCLL/TOTAL (PSF)
 42/59 @ 24' oc.
 53/74 @ 19' 2" oc.
 63/89 @ 16' oc.



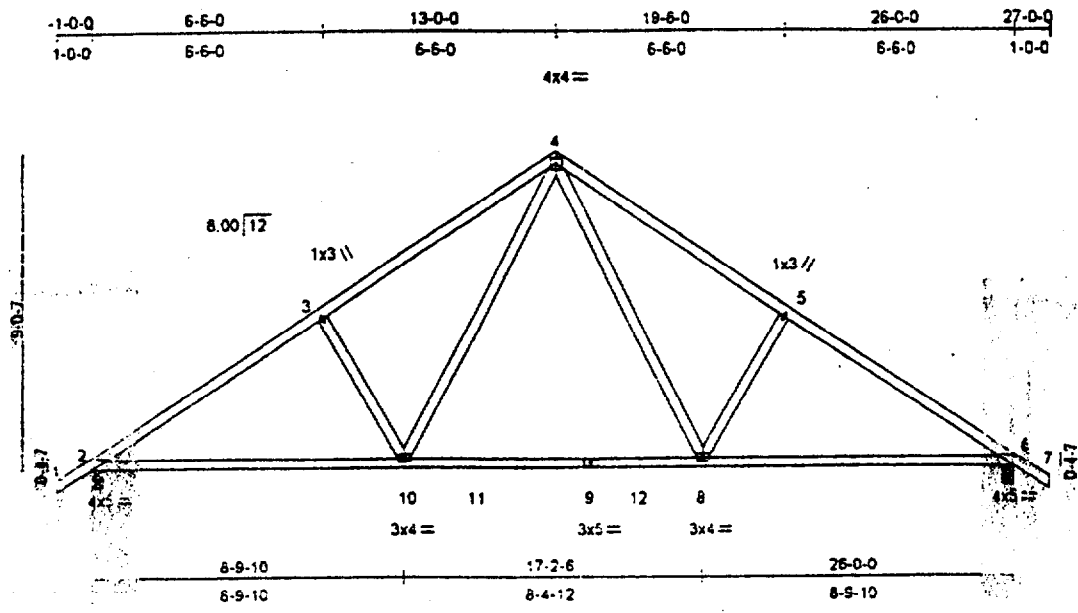


Plate Offsets (X, Y):		7'-0-4 edge	16'-0-4 edge				
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	(in)	(loc)	l/defl
L 42.0	Plates Increase	1.15	TC 0.65	Vert(LL)	-0.32	8-10	>967
T 7.0	Lumber Increase	1.15	BC 1.00	Vert(TL)	-0.39	8-10	>789
SD 0.0	Rep Stress Incr	YES	WB 0.48	Horz(TL)	0.07	6	n/a
SD 10.0	Code	BOCA/ANSI95	(Matrix)	1st LC LL Min l/defl	=	240	
				PLATES	GRIP		
				M20	169/123		
				Weight: 98 lb			

LUMBER	BRACING
TOP CHORD 2 X 4 SPF 1650F 1.0E	TOP CHORD Sheathed or 3-9-6 on center purlin spacing.
BOT CHORD 2 X 4 SPF No. 2	BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing.
WEBS 2 X 4 SPF S Stud	

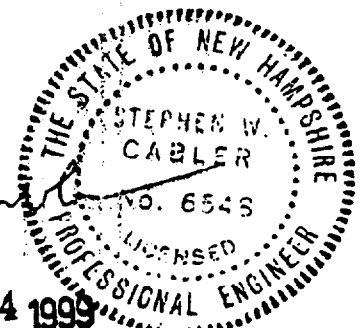
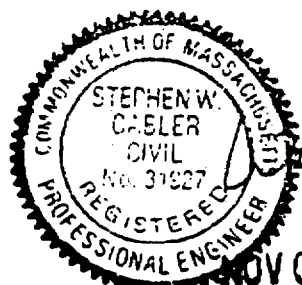
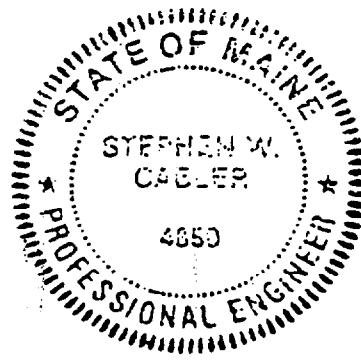
REACTIONS (lb/size) 2 = 1720/0-3-8, 6 = 1720/0-3-8

FORCES (lb) - First Load Case Only
TOP CHORD 1-2 = 53, 2-3 = 2421, 3-4 = 2121, 4-5 = 2121, 5-6 = 2421, 6-7 = 53
BOT CHORD 2-10 = 1865, 10-11 = 1251, 9-11 = 1251, 9-12 = 1251, 8-12 = 1251, 8-7 = 1865
WEBS 3-10 = 521, 4-10 = 840, 4-8 = 840, 5-8 = 521

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) All plates are M20 plates unless otherwise indicated.
 - 3) This truss has been designed for a live load of 20.0psf on the bottom chord in all areas with a clearance greater than 3-6-0 between the bottom chord and any other members.
 - 4) This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S): Standard

DESIGN LOADING
 TOLL TOTAL (PSF)
 42.59 @ 24" oc.
 53.74 @ 19.2" oc.
 63.39 @ 16" oc.



NOV 04 1999

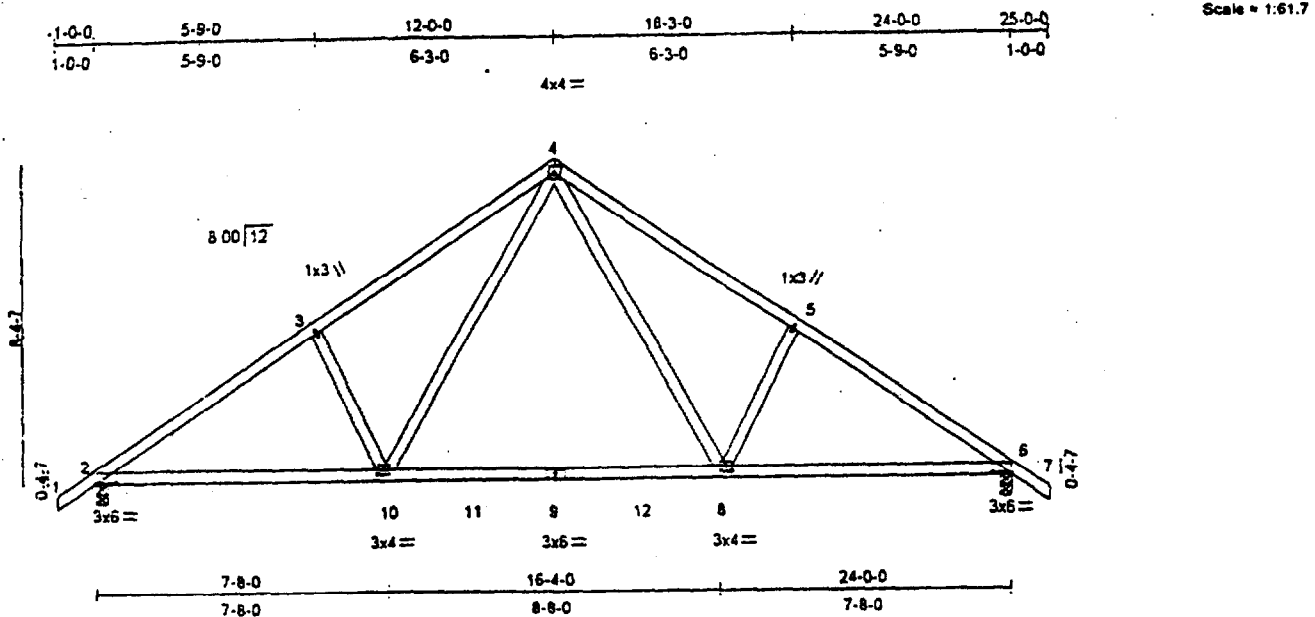


Plate Offsets (X, Y): [2:0-0-0-0-0-0], [6:0-0-0-0-0-0], [8:0-1-12-0-1-8], [10:0-1-12-0-1-8]				
LOADING (psf)	SPACING 2-0-0	CSI	DEFL (in) (loc) l/defl	PLATES GRIP
TCLL 42.0	Plates Increase 1.15	TC 0.56	Vert(LL) -0.34 8-10 >848	M20 159/123
TCOL 7.0	Lumber Increase 1.15	BC 0.99	Vert(TL) -0.46 8-10 >621	
BCLL 0.0	Rep Stress Incr YES	WB 0.47	Horz(TL) 0.06 6 n/a	Weight: 89 lb
BCDL 10.0	Code BOCA/ANSI95	(Matrix)	1st LC LL Min l/defl = 240	

LUMBER
 TOP CHORD 2 X 4 SPF 1650F 1.5E
 CHORD 2 X 4 SPE No. 2
 S 2 X 4 SPF-S Stud

BRACING
 TOP CHORD Sheathed or 4-2-8 on center purlin spacing
 BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing

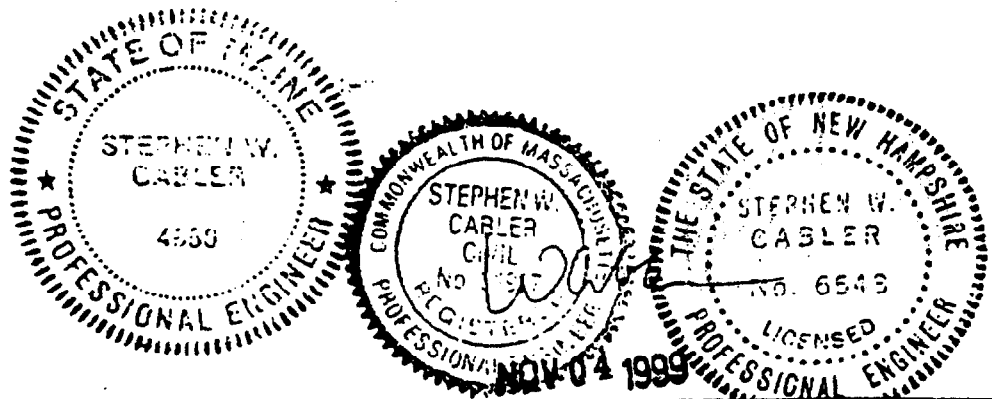
ACTIONS (lb/size) 2 = 1599/0-3-8, 6 = 1599/0-3-8

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2 = 53, 2-3 = 2266, 3-4 = -2021, 4-5 = -2021, 5-6 = -2266, 6-7 = 53
 BOT CHORD 2-10 = 1748, 10-11 = 1153, 9-11 = 1153, 9-12 = 1153, 8-12 = 1153, 6-8 = 1748
 WEBS 3-10 = -484, 4-11 = 810, 4-8 = 810, 5-8 = -464

- NOTES**
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LOAD CASE(S) Standard

DESIGN LOADING
 TCLL/TOTAL (PSF)
 42.59 @ 24" oc
 53.74 @ 19.2" oc
 63.89 @ 16" oc



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

PERMIT WORKED

FEB 20 2003

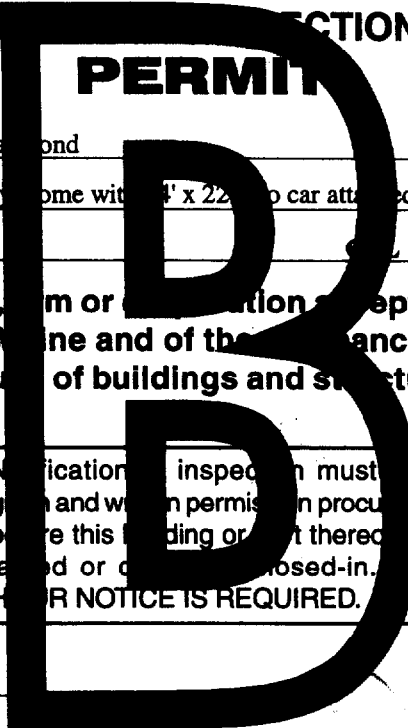
Permit Number: 021323

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Lozier Jacqueline J /Ryan Raymond
 has permission to Build 30' x 40' Single Family home with 4' x 22' car attached garage and 8' x 22' deck.
 AT 657 Auburn St 386A B030001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is leased or otherwise closed-in. **HEAR NOTICE IS REQUIRED.**

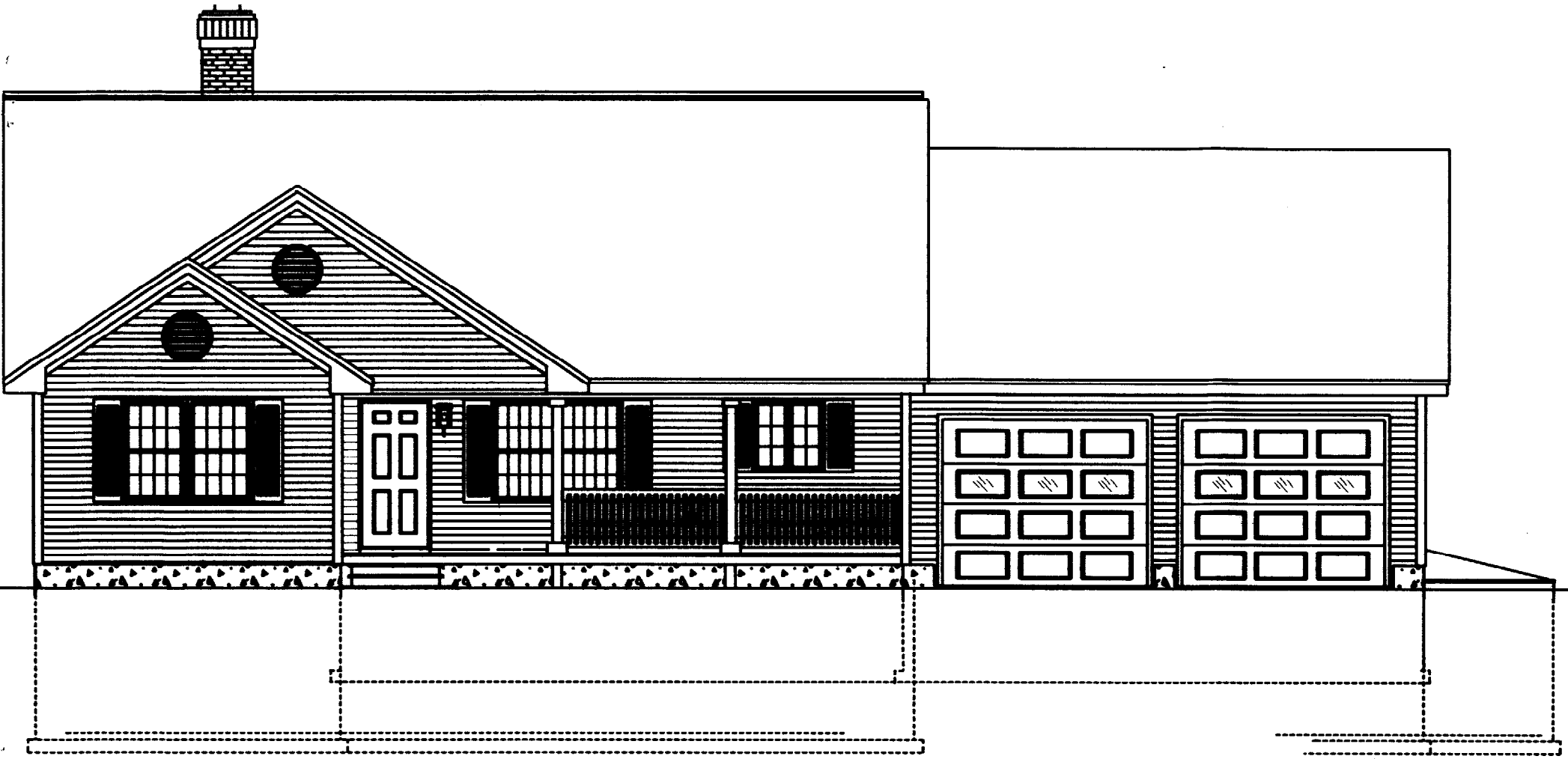
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

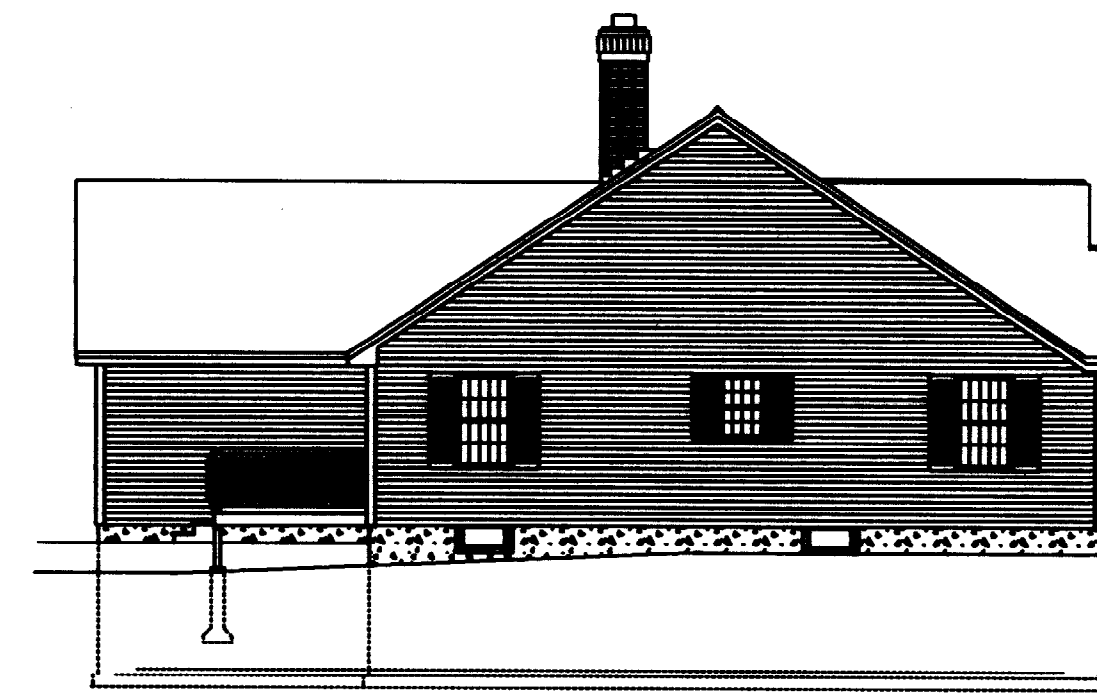
Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
Department Name

Jeanie Bouke 2/20/03
 Director - Building & Inspection Services

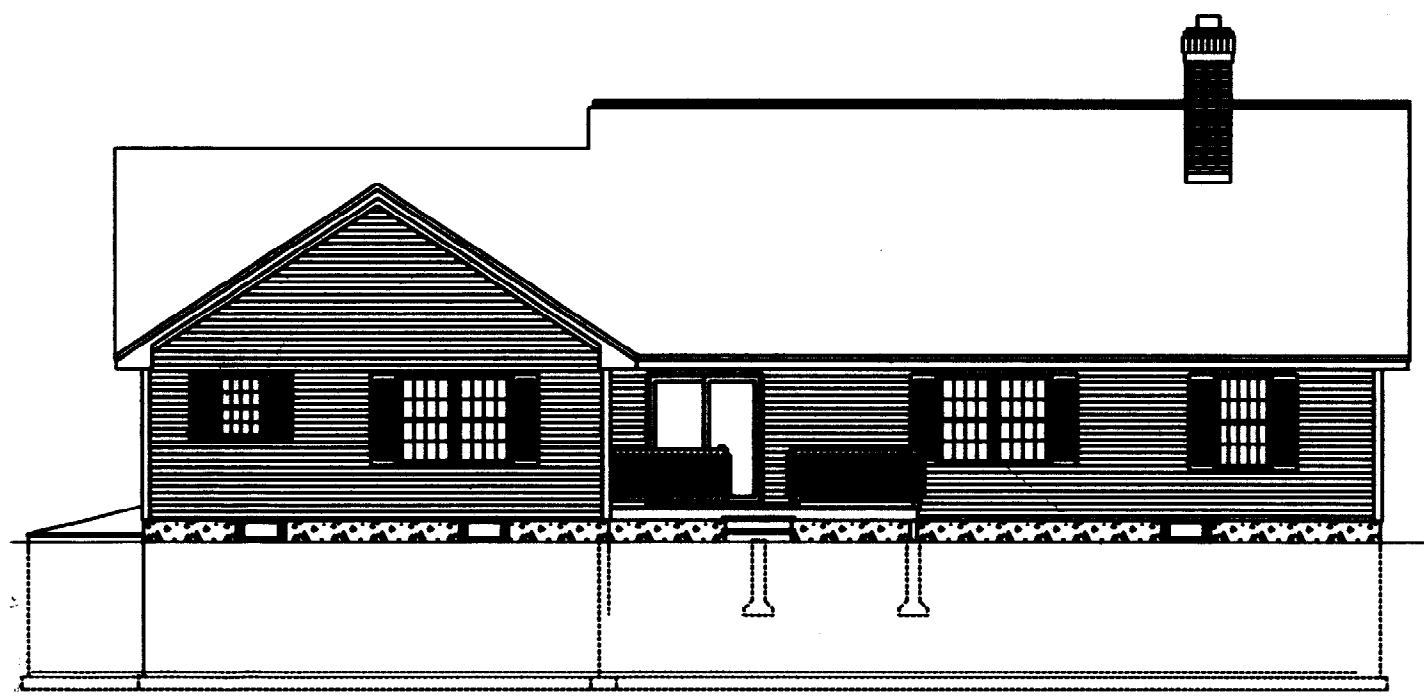
PENALTY FOR REMOVING THIS CARD



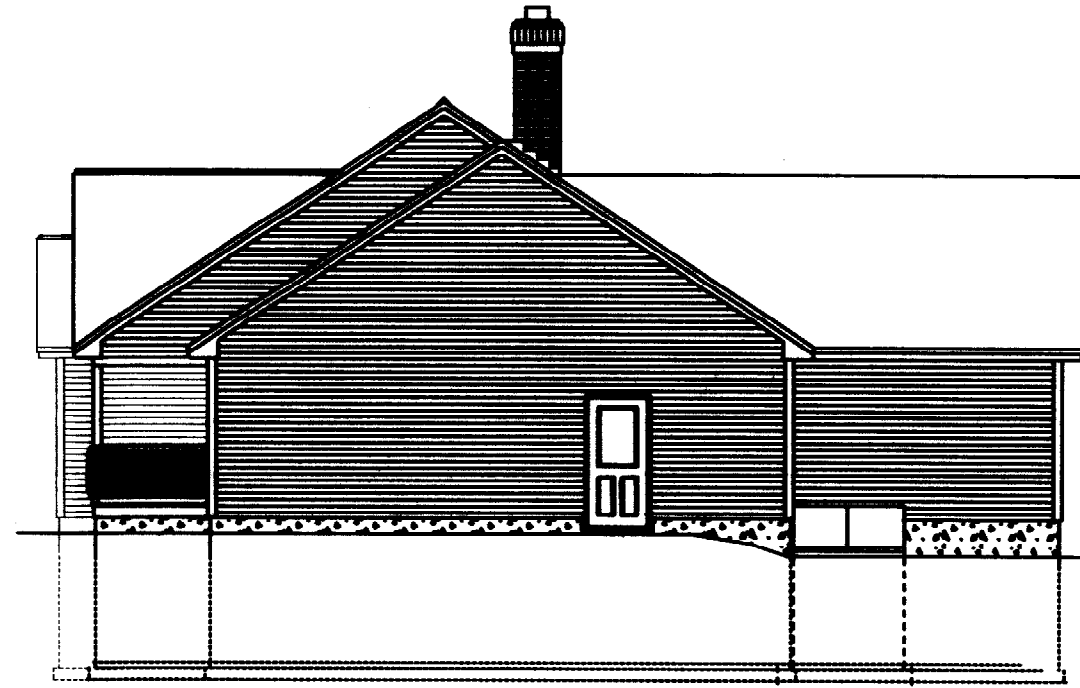
Front Elevation



Left Side Elevation

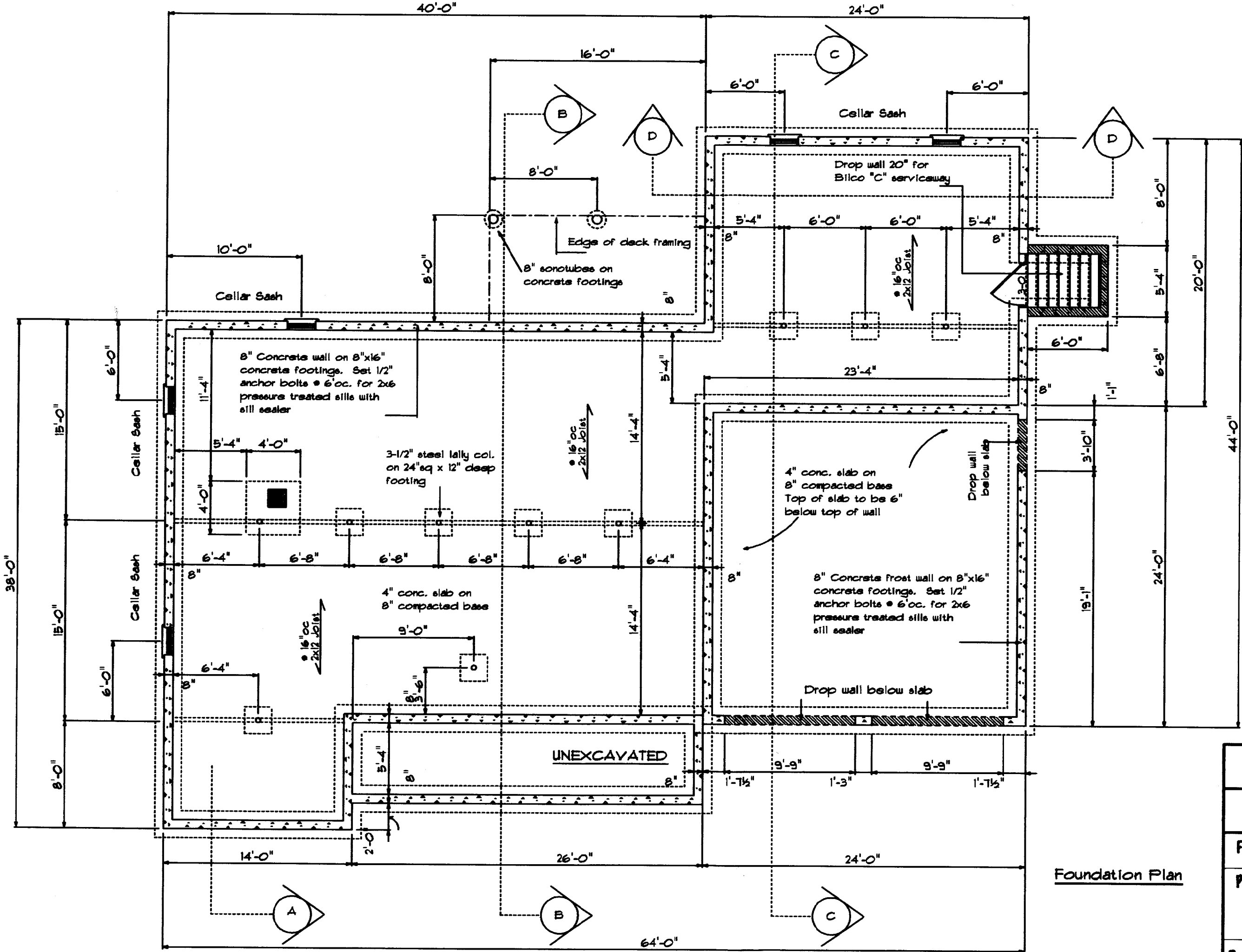


Rear Elevation



Right Side Elevation

Revision # 1 Nov. 20, 2002 Reverse Elevations	
Note: Owner to check plans for compliance with local building codes	
Elevations	30'x40' Ranch
Plan For: Jackie Lozier	1 6
Drawn by: Wayne Paradis	Sep. 19, 2002



Foundation Plan

Revision # 1 Nov. 20, 2002
Reverse Foundation Plan

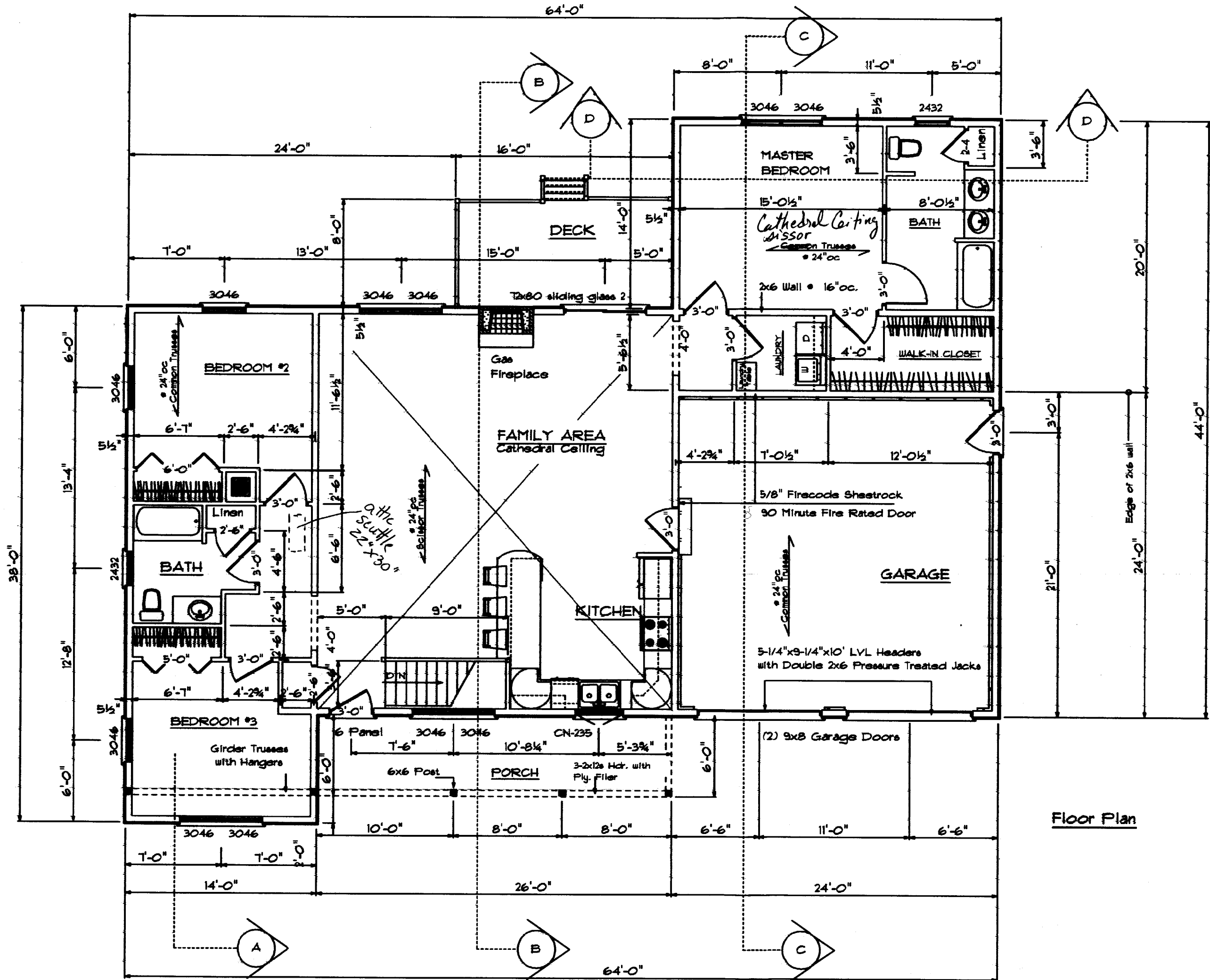
Note: Owner to check plans for compliance with local building codes

Foundation Plan 30'x40' Ranch

Plan For:
Jackie Lozier

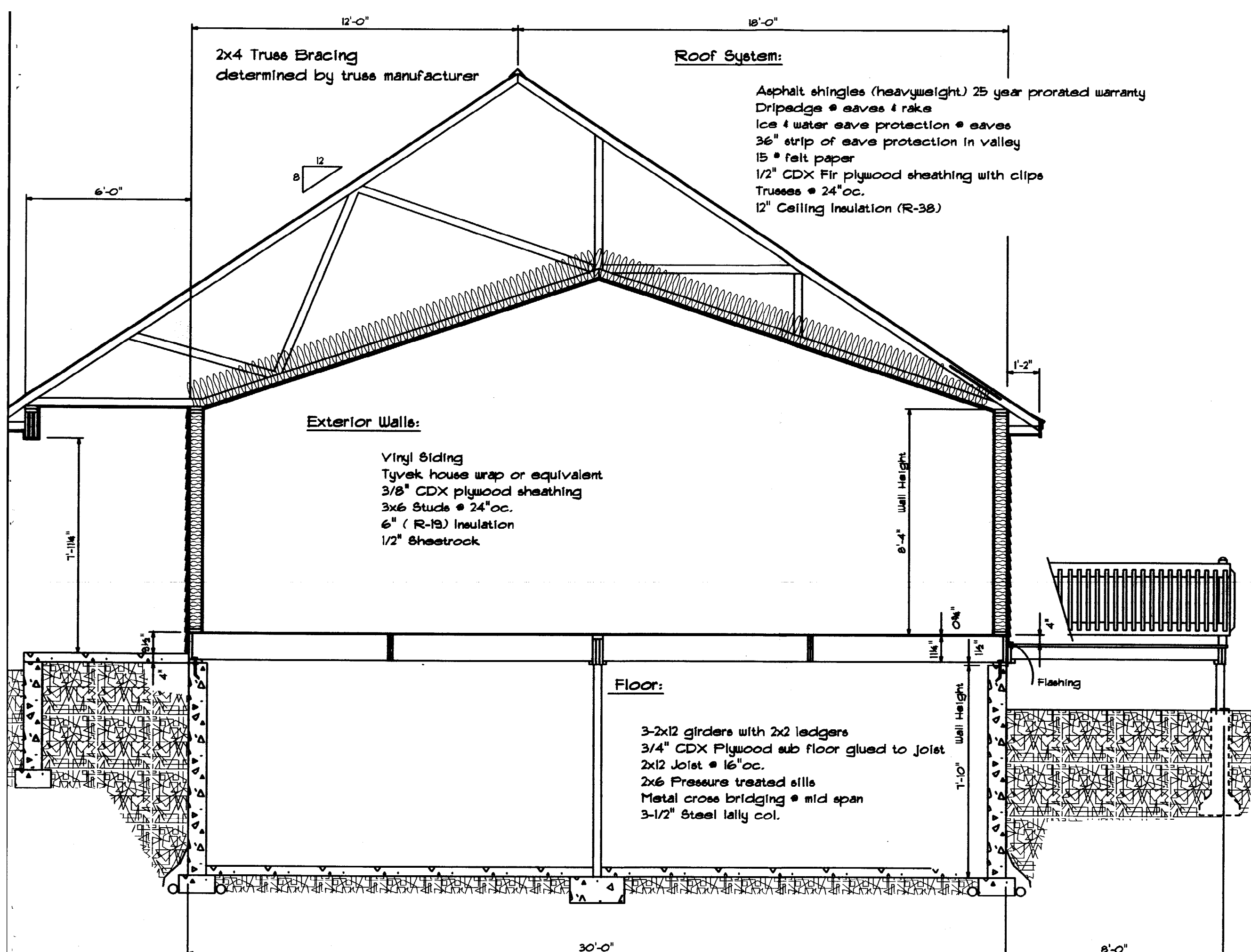
2
6

Drawn by: **Wayne Paradis** Sep. 19, 2002



Floor Plan

Revision # 1 Nov. 20, 2002 Reverse Floor Plan	
Note: Owner to check plans for compliance with local building codes	
Floor Plan	30x40' Ranch
Plan For: Jackie Lozier	3 6
Drawn by: Wayne Paradis	Sep. 19, 2002



2x4 Truss Bracing
determined by truss manufacturer

Roof System:

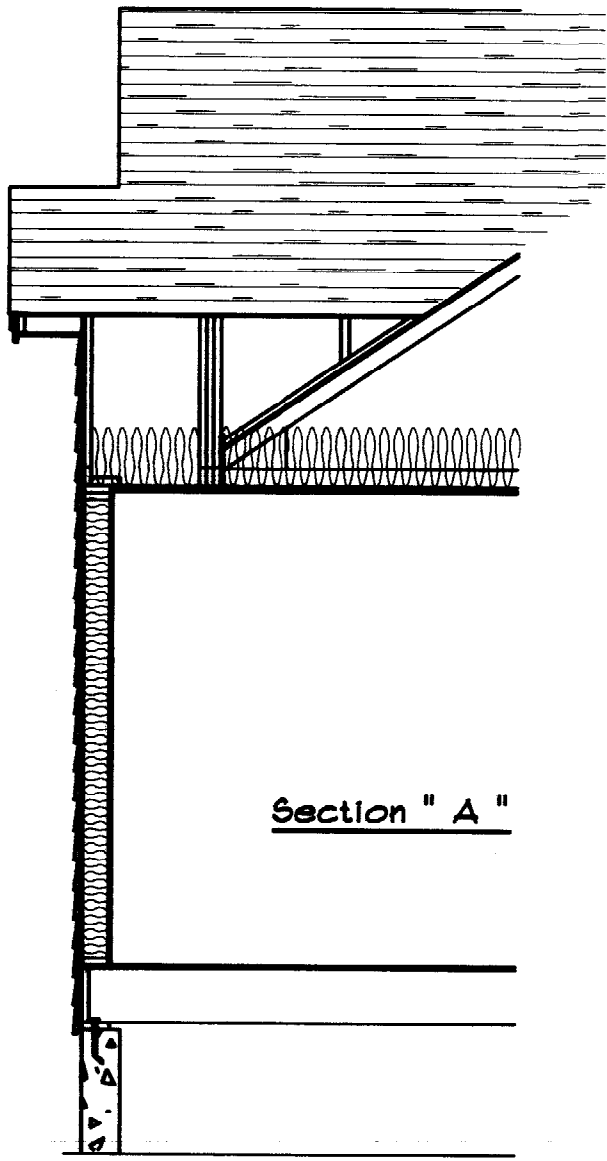
- Asphalt shingles (heavyweight) 25 year prorated warranty
- Dripedge @ eaves & rake
- Ice & water save protection @ eaves
- 36" strip of eave protection in valley
- 15 # felt paper
- 1/2" CDX Fir plywood sheathing with clips
- Trusses @ 24" oc.
- 12" Ceiling Insulation (R-38)

Exterior Walls:

- Vinyl Siding
- Tyvek house wrap or equivalent
- 3/8" CDX plywood sheathing
- 3x6 Studs @ 24" oc.
- 6" (R-19) Insulation
- 1/2" Sheetrock

Floor:

- 3-2x12 girders with 2x2 ledgers
- 3/4" CDX Plywood sub floor glued to joist
- 2x12 Joist @ 16" oc.
- 2x6 Pressure treated sills
- Metal cross bridging @ mid span
- 3-1/2" Steel lally col.



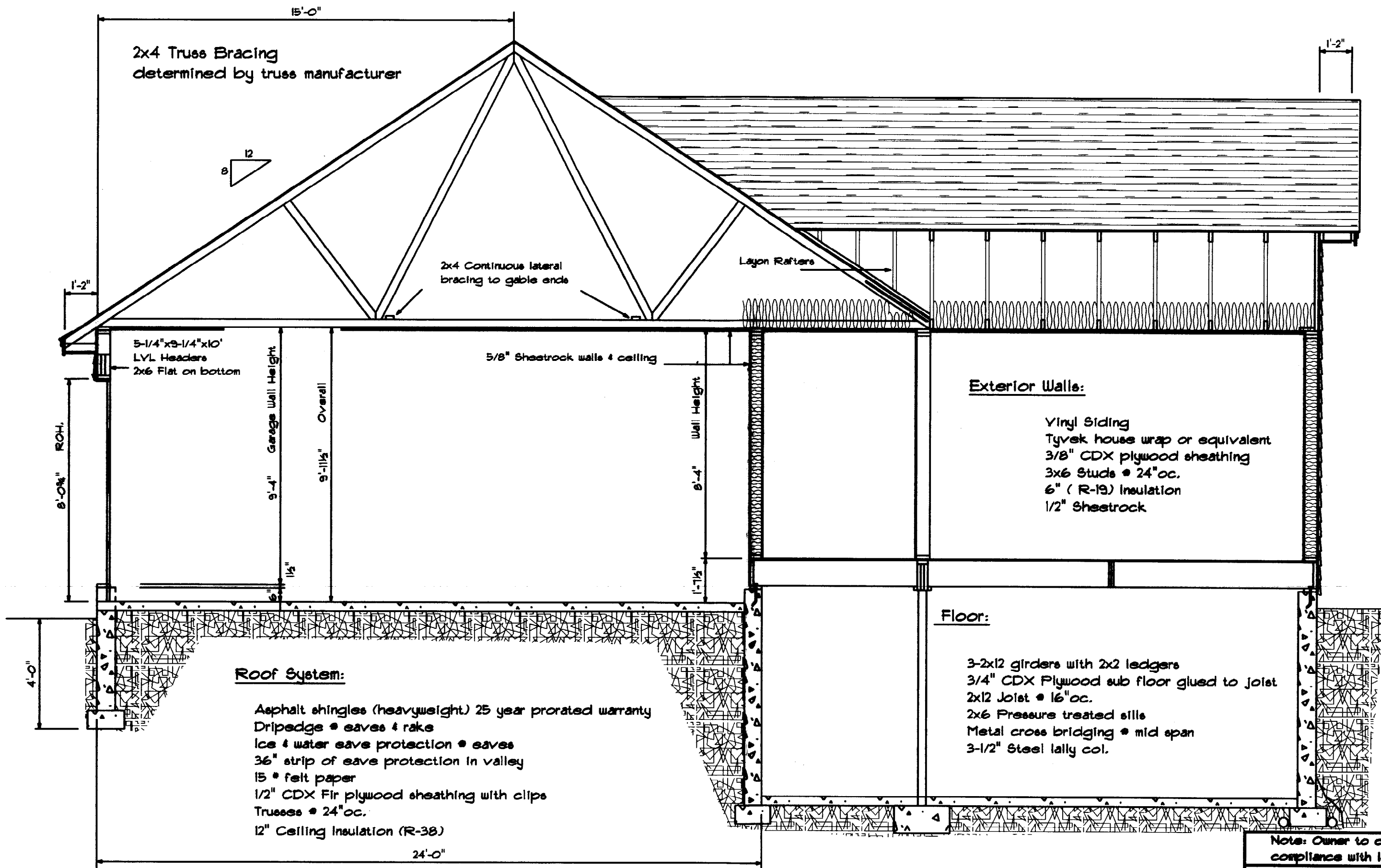
Section " A "

Deck:

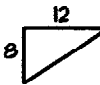
- 2x6 cedar railing top & bottom
- 2x2 cedar baulsters @ 4" oc.
- 5/4x6 cedar decking (spaced)
- 2x6 Pressure treated joist @ 16" oc with
- 2-2x8 Pressure treated header joist
- 1-2x8/1-2x6 pressure treated end joist

Note: Owner to check plans for compliance with local building codes

Section " A " & " B "		30'x40' Ranch
Plan For:	Jackie Lozier	4 6
Drawn by:	Wayne Paradis	Sep. 18, 2002



2x4 Truss Bracing
determined by truss manufacturer



2x4 Continuous lateral
bracing to gable ends

Lagon Rafters

5-1/4" x 3-1/4" x 10"
LVL Headers
2x6 Flat on bottom

5/8" Sheetrock walls & ceiling

Exterior Walls:

Vinyl Siding
Tyvek house wrap or equivalent
3/8" CDX plywood sheathing
3x6 Studs @ 24" oc.
6" (R-19) Insulation
1/2" Sheetrock

Floor:

3-2x12 girders with 2x2 ledgers
3/4" CDX Plywood sub floor glued to joist
2x12 Joist @ 16" oc.
2x6 Pressure treated sills
Metal cross bridging @ mid span
3-1/2" Steel lally col.

Roof System:

Aphalt shingles (heavyweight) 25 year prorated warranty
Dripedge @ eaves & rake
Ice & water save protection @ eaves
36" strip of eave protection in valley
15 @ felt paper
1/2" CDX Fir plywood sheathing with clips
Trusses @ 24" oc.
12" Ceiling Insulation (R-38)

Section " C "

Note: Owner to check plans for
compliance with local building codes

Section " C " 30'x40' Ranch

Plan For:
Jackie Lozier

5
6

Drawn by: Wayne Paradis Sep. 19, 2002

Roof System:

Asphalt shingles (heavyweight) 25 year prorated warranty
 Dripedge @ eaves & rake
 Ice & water eave protection @ eaves
 36" strip of eave protection in valley
 15 # felt paper
 1/2" CDX Fir plywood sheathing with clips
 Trusses @ 24" oc.
 12" Ceiling insulation (R-38)

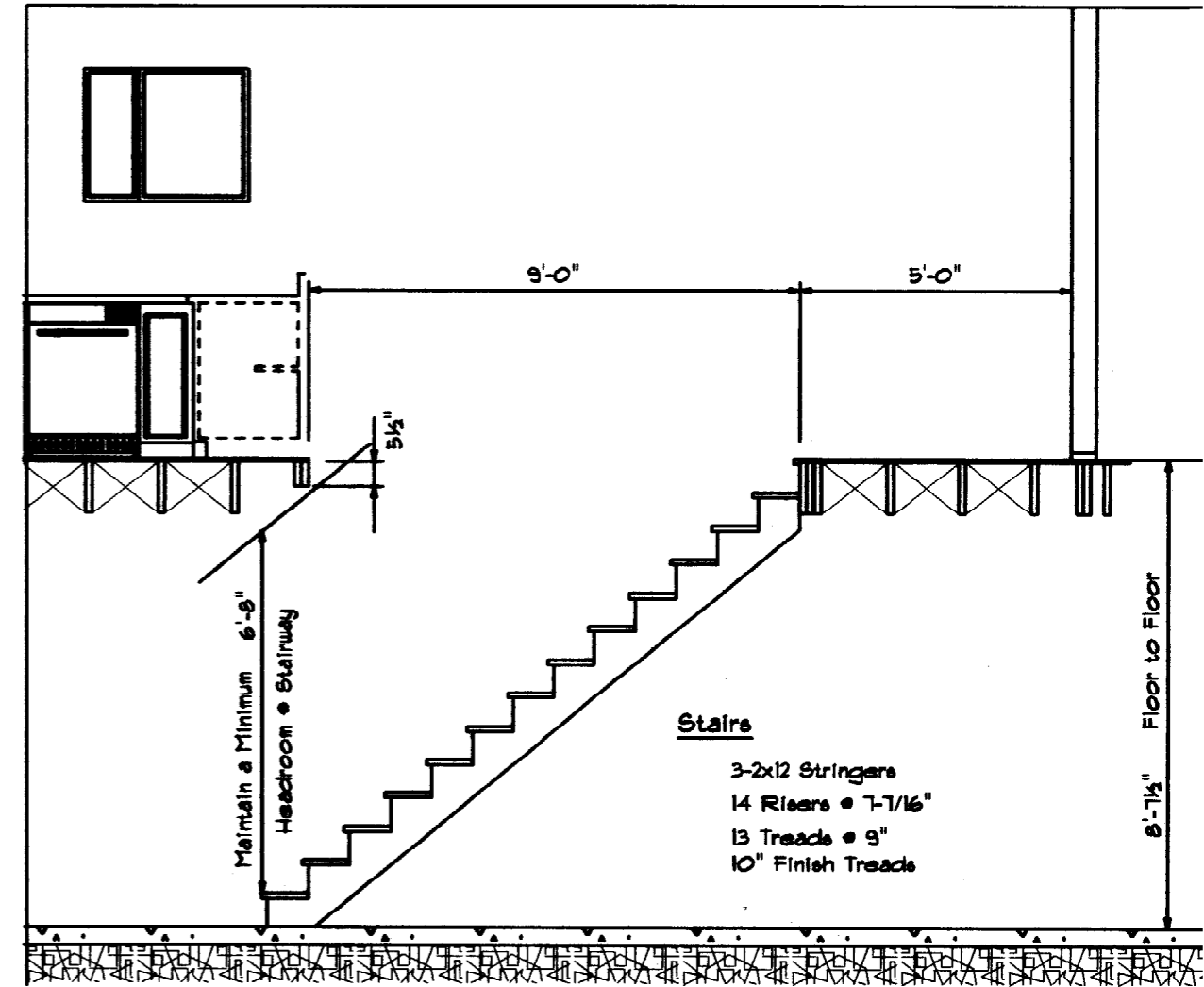
Exterior Walls:

Vinyl Siding
 Tyvek house wrap or equivalent
 3/8" CDX plywood sheathing
 3x6 Studs @ 24" oc.
 6" (R-19) insulation
 1/2" Sheetrock

Floor:

3-2x12 girders with 2x2 ledgers
 3/4" CDX Plywood sub floor glued to joist
 2x12 Joist @ 16" oc.
 2x6 Pressure treated sills
 Metal cross bridging @ mid span
 3-1/2" Steel lally col.

Section " D "



Section • Main Stairs

Note: Owner to check plans for compliance with local building codes

Section " D " 30'x40' Ranch

Plan For:
Jackie Lozier

6
 6

Drawn by: **Wayne Paradis**

Sep. 19, 2002