

First Floor Plan

Scale: 1"=10'

Total 1st floor square footage: 1216.3 sq. Ft.
Main Dwelling Unit square footage: 685.7 sq ft.
Accessory Dwelling Unit Square footage: 530.6 sq. ft.

- ① Door size & type; see **Door Schedule**
- Ⓐ Window size, type, R.O.; see **Window Schedule**

Interior Walls: 2x4 25 ga steel studs @16" O.C. with one layer 1/2" sheetrock each side
Wet Walls: 2x6 25 ga steel studs @ 16" O.C. with one layer 1/2" sheetrock each side
Interior Sound Walls: Two 2x4 walls, steel studs, 1/2" sheetrock one side each, fiberglass batts
Interior Load-Bearing Walls: None

NFPA 13-D sprinkler system: Refer to plan designed by Dean & Allyn, Inc. (To be submitted with sprinkler permit application)

Insulation Levels:
Exterior walls: 3.5" of EPS Structural Insulated panels (SIPs) (R: 13.3) plus a layer of Insulated Radiant Barrier (R:9.5) for a **total R-Value of 22.8**

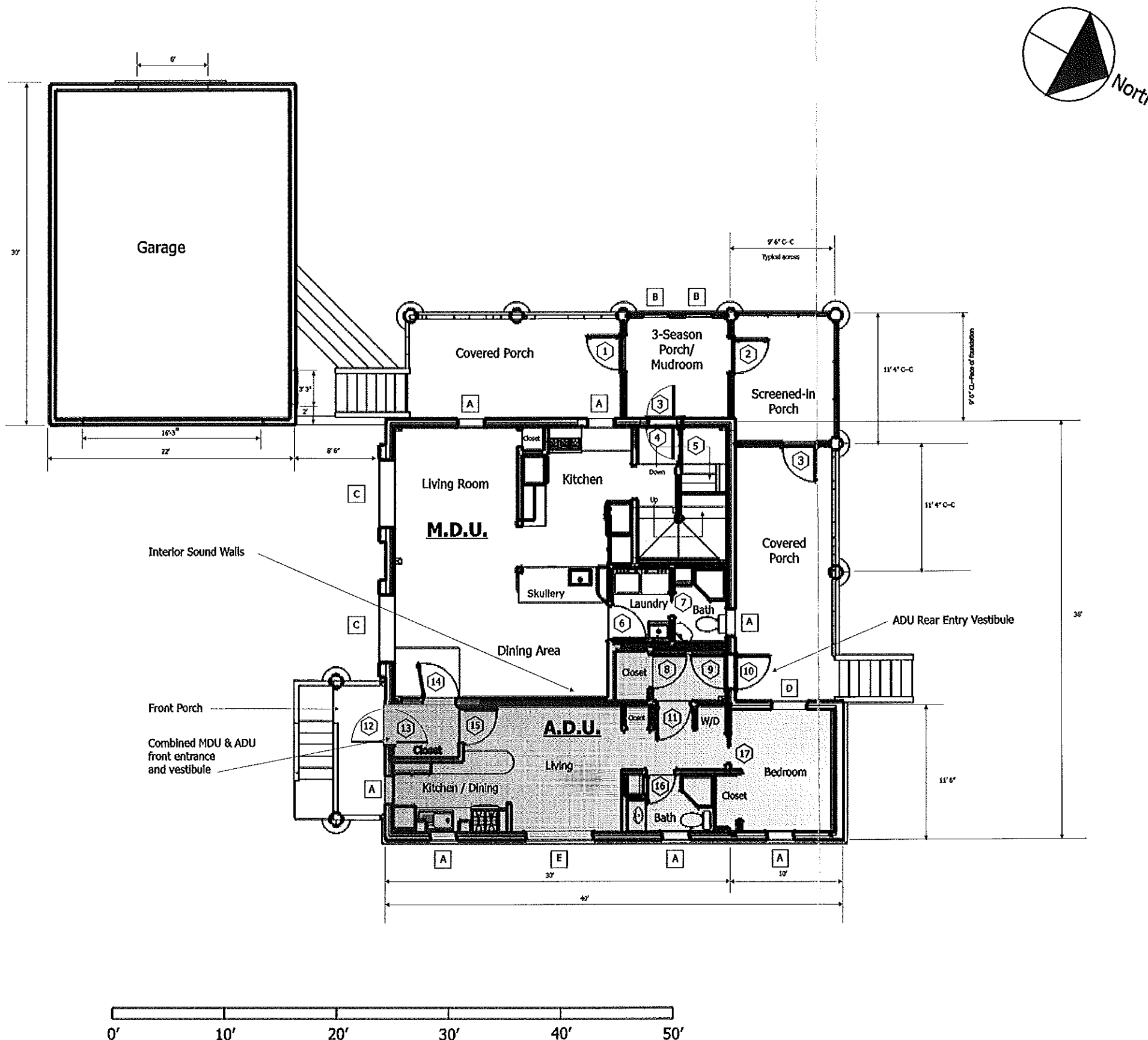
Roof: 3.5" of EPS in SIPs (R:13.3) plus 8" of compacted cellulose (R:30.4), plus a layer of Insulated Radiant Barrier (R-9.5) for a **total R-Value of 52.2**

Foundation: Interior walls covered with 2" EPS, strapping and sheetrock, R-7.8

First floor framework: Uninsulated, as cellar floor will be a radiant slab, intended to heat the structure by convective heat rise. The first floor structure will also be a radiant (low-mass) heat source.

Revisions

Date	Description

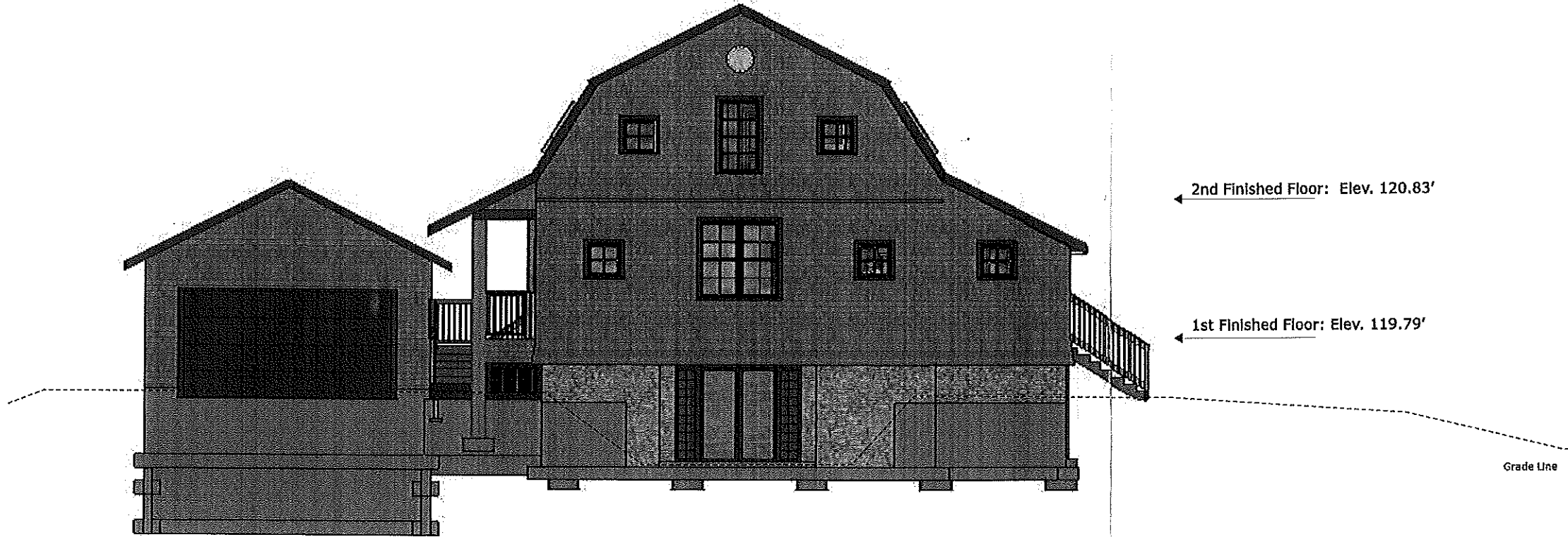


East & West Elevations

Scale: 1"=10'

Elevation dimensions reference city datum.

Owners: Frederick A. & Colleen R. Writt
Contact Telephone #: 207-653-5347



← 2nd Finished Floor: Elev. 120.83'

← 1st Finished Floor: Elev. 119.79'

Grade Line

East Elevation, Facing Morningstar Lane



144.68'

29.89'

Level Driveway Elevation 114.79'

Grade Line

West Elevation

Revisions

Date	Description

Residence & A.D.U. at 15 Morningstar Lane, Portland, ME 04103

Site Plan

Scale: 1"=20'

Plan References: 3rd Amended PLAT of the "Morningstar Lane" Subdivision, dated: 5.7.2007 CCRD Book: 213, Page: 466

Lot: As described in deed referenced In CCRD Doc.# 31143, Book: 30702, Pgs: 82,83

Private Drainage Easements: As described in deed referenced as "Exhibit A" In CCRD Doc.# 31143, Book: 30702, Pgs: 84,85

(See pgs 16, 17 for text)

Elevations: Dimensions reference city datum.

Legend:

- Parking Screening- White Cedar
- Catch Basins, Private, with Rim Elevations
- Grades
- Paved with Pervious Pavers
- Paved with Bituminous Concrete
- Limits of Building Envelope
- Rip-Rap Retaining Wall

Revisions

Date	Description
4/24/14	Added exterior stairways, moved propane storage location, changed basement access from rip-rap to railroad ties.

