



08/01/2018

Contents

Introduction	2
Existing Floor Plans	3
New Wall/ceiling partitions and Fire Protection Comments:.....	7
Location of Egress windows and smoke/carbon monoxide detection.....	7
Window and Door Schedule	9
Stair Details	9
Insulation (R-value of Walls, ceilings and floors)	11
Deck Railings	11
Bathroom fixture placement/distance	11
Fast Track	11
Trade Permits.....	11



Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

08/01/2018

Introduction

We are seeking to finalize a previously approved and well underway project; it was unfortunately brought to a halt due to a debilitating accident to the previous owner. We wish to complete and put the finishing touches on a beautiful single family residence with ADU. We have obtained Zoning approval with our edits to the previous owners plans, and are eager to get this project to completion. Note that enclosed drawings are the proposed plans at time of last approval along with the modifications we plan to finish the home with. Below, I've depicted edits to reflect 'current state' floor plans since the walls were not yet framed. We are seeking fast track (under schedule B) for this application as the project will be completed within the existing structure. Please advise if there is any additional information needed to proceed.

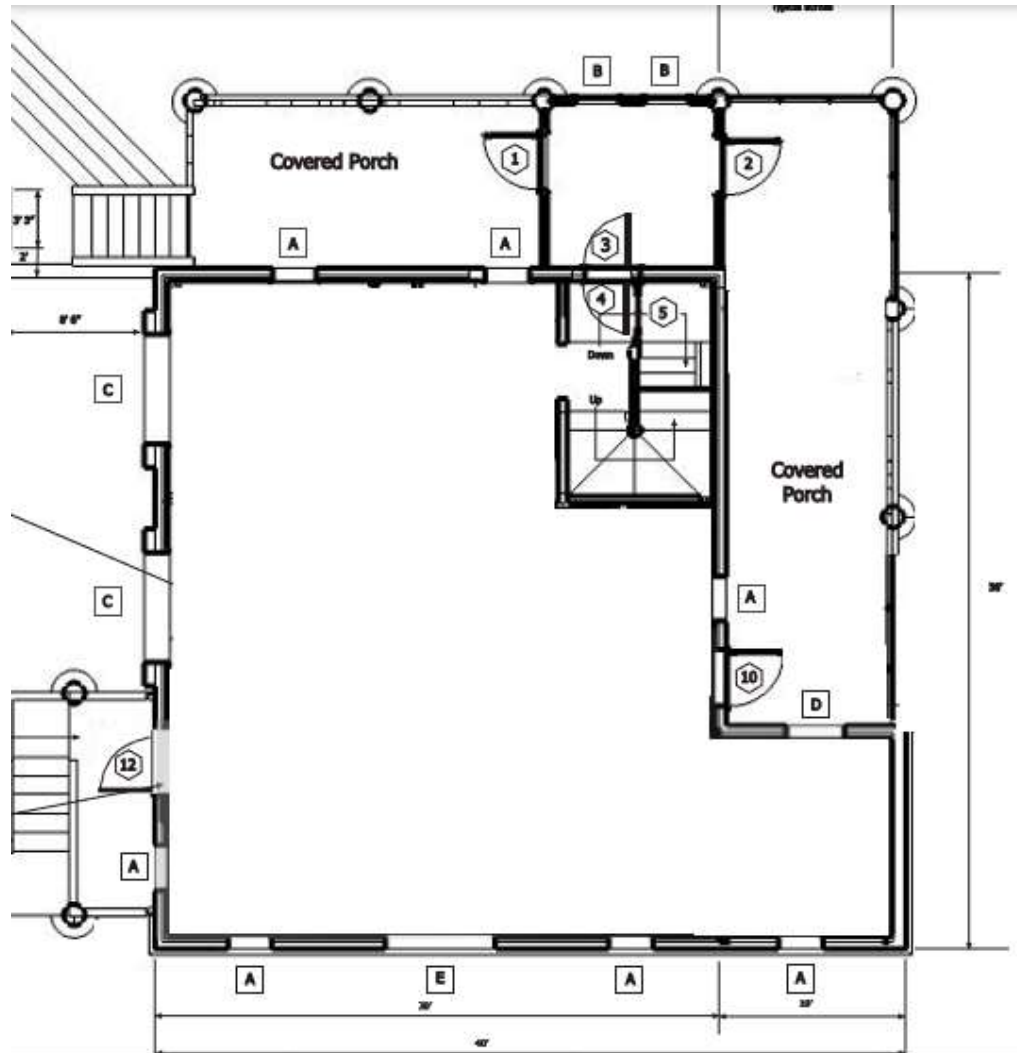


Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

08/01/2018

Existing Floor Plans

Existing: Main floor (current, no interior walls)

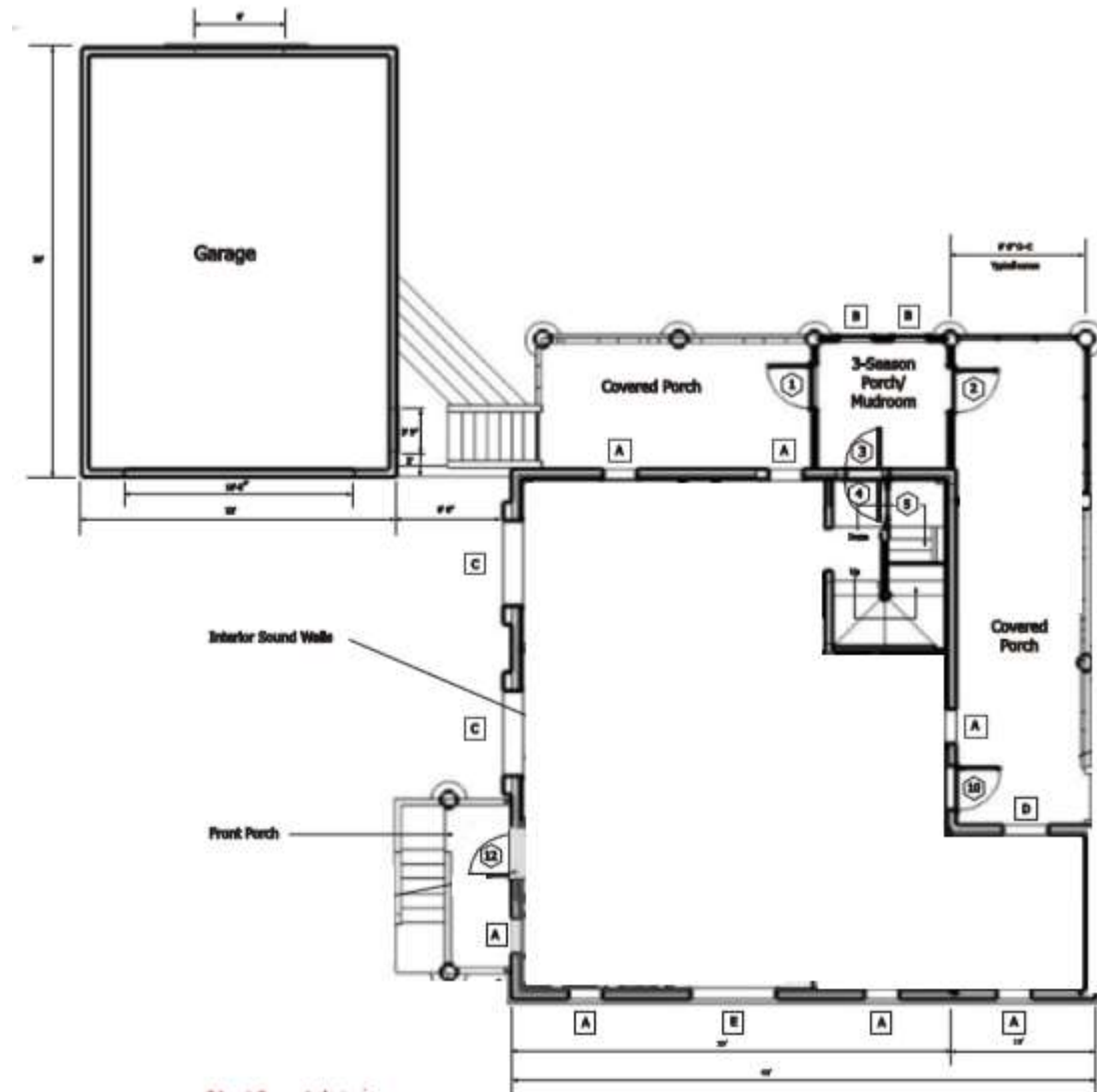




Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

08/01/2018

Existing: Main floor including garage

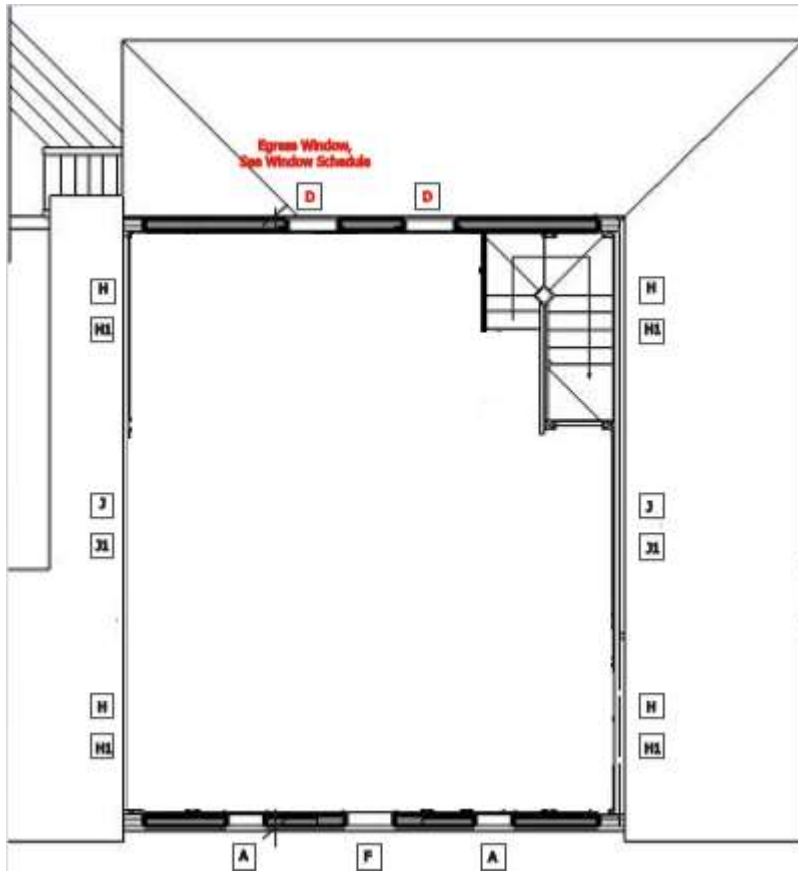




Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

08/01/2018

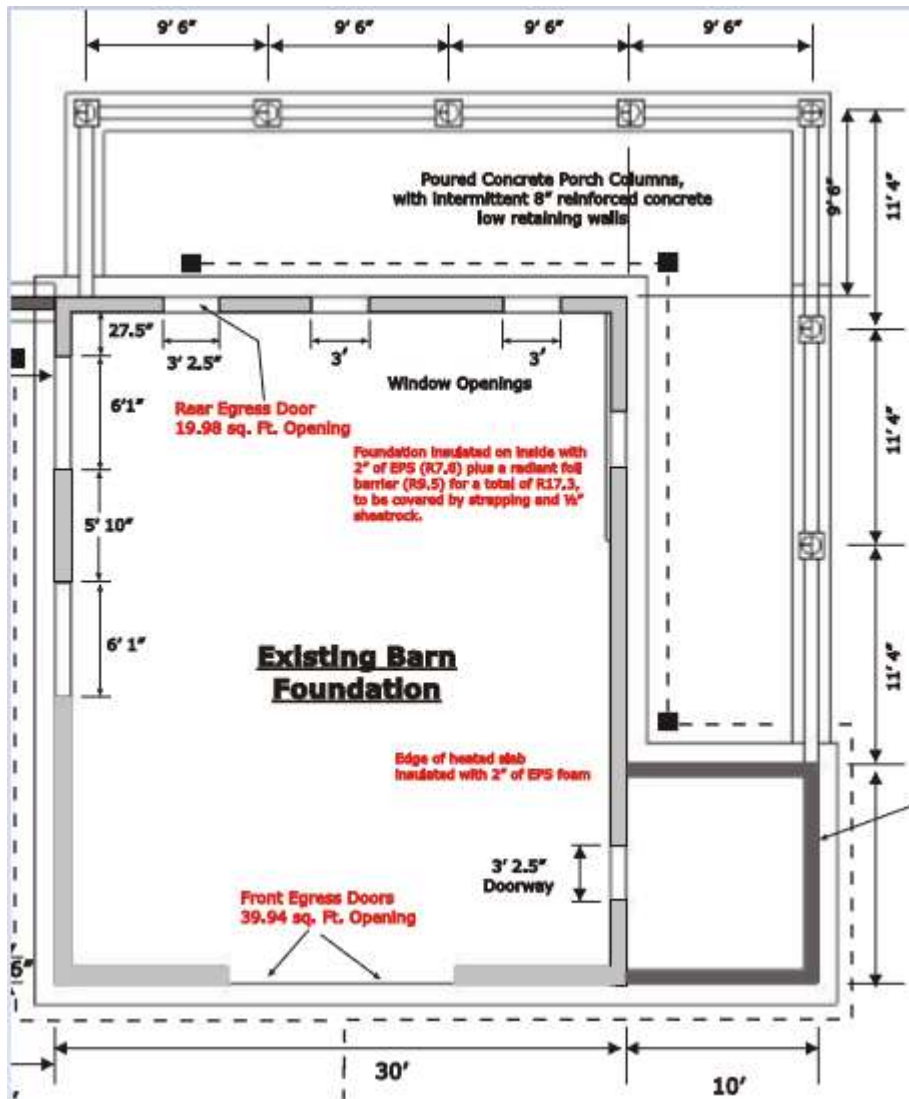
Existing: 2nd Floor (current, no interior walls)





08/01/2018

Existing: Ground Level





08/01/2018

New Wall/ceiling partitions and Fire Protection Comments:

Proposed use: Residential

Proposed fire protection measures:

- NFPA 13-D Sprinklers to be installed by 'Alternative Fire Sprinkler Protection'
- Hard-wired smoke, heat, CO detectors (locations noted below)
- ABC Fire Extinguishers on all levels
- 1.5" hose station at exterior rear of building

On-site fuel storage:

- 240 gallons propane, stored away from structure
- <10 gallons gasoline

Hydrant location: Approximately 80' away, across Morningstar Lane

Fire assemblies (Doors) and continuities (walls)- See drawings.

Location of Egress windows and smoke/carbon monoxide detection

Egress windows: Details depicted in window schedule, and **yellow highlighting** below

1. Master Bedroom
2. Bedroom 1
3. Bedroom 2
4. ADU Bedroom
5. Great Room
6. Dining area
7. Kitchen
8. Office

Smoke/CO detection locations: depicted below with red X

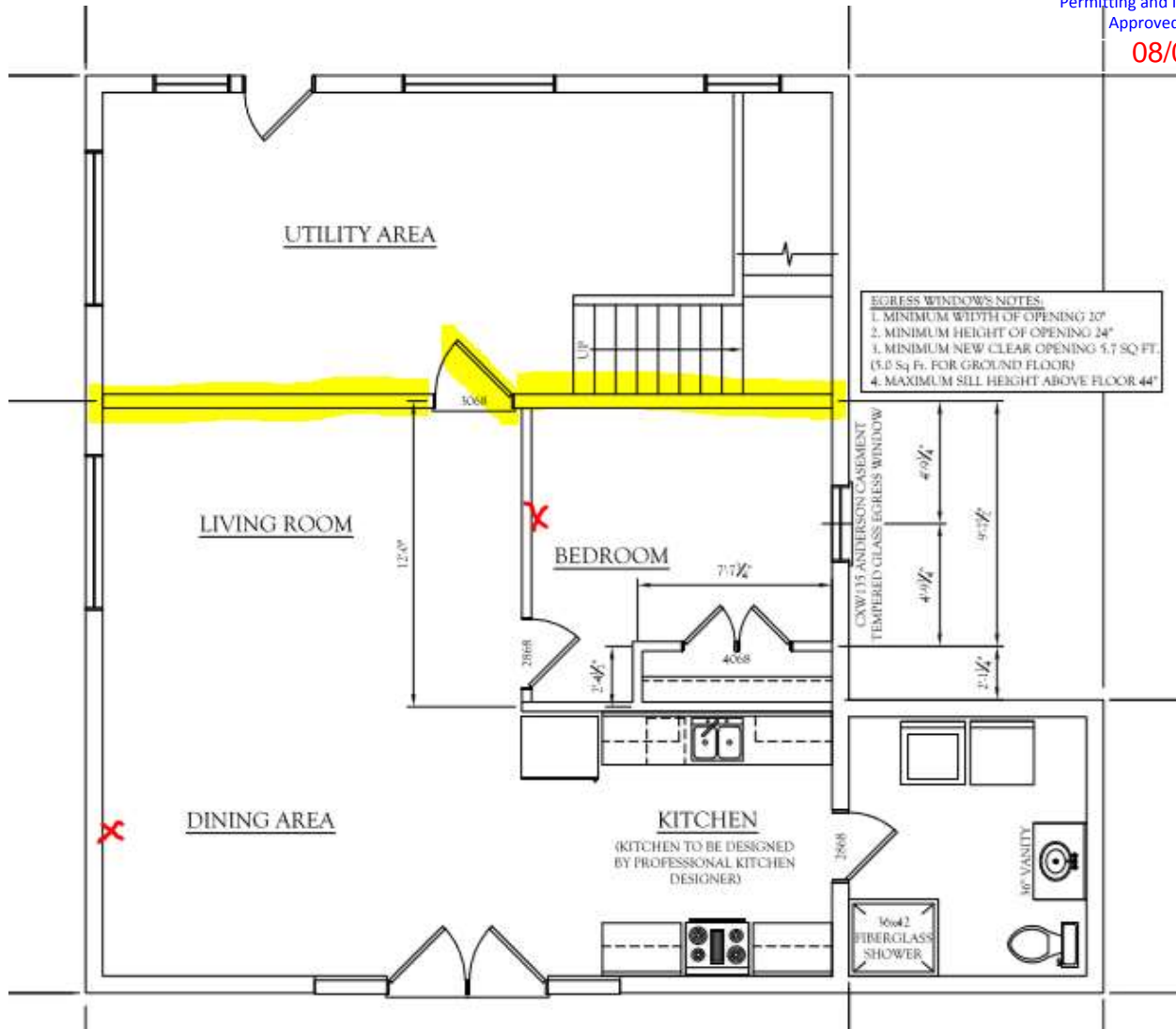
1. Great room, above butler pantry in dining area
2. Master bedroom
3. 2nd floor hallway within 10' of each bedroom door
4. Bedroom 1
5. Bedroom 2
6. ADU Bedroom
7. ADU Dining area

Fire Assemblies and Continuities depicted below with **yellow highlighting**

1. ADU to Utility area
 - a. Fire wall and fire door
 - b. Ceiling between ADU and Main unit



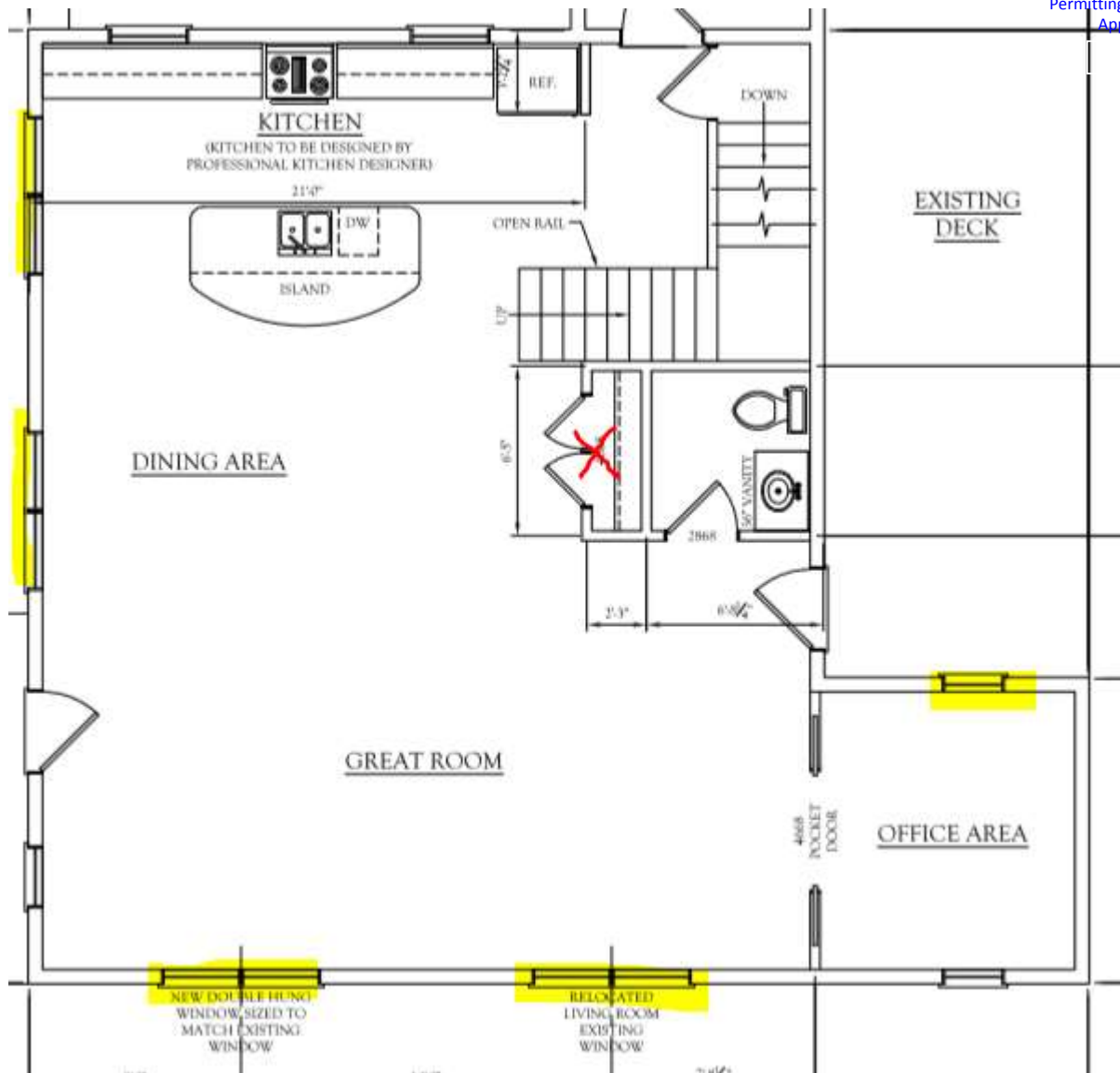
08/01/2018





Reviewed for Code Compliance
 Permitting and Inspections Department
 Approved with Conditions

08/01/2018



Window and Door Schedule

Window Schedule				
Manuf/Line	Model	RO (WxH)	Egress?	Location(s)
Anderson 400 Series	AW251	28.875" X28.875"	No	Office (front), Great room (driveway), Mudroom
Anderson 200 Series	244DH2446	28"x54"	No	Kitchen Range
Anderson 400 Series	TW210510(DBL)	5'11 7/8 x 6' 7/8"	Yes	Kitchen/Dining
Anderson 400 Series	TW3046	38.125"x56.875	Yes	Office (Porch side), BR1, BR2



08/01/2018

Anderson 400 Series	TW21056 (DBL)	5 11 7/8" x 5' 8 7/8"	Yes	Front Main Level-2 sets
Anderson 400 Series	TW21052	34.125"x64.875"	Yes	Mudroom
Velux Operable	M04	30.0625"x37.875"	No	Skylights 4 corners
Velux Fixed	M04	30.0625"x37.875"	No	Skylights 4 corners
Velux Operable	M08	30.0625 X 54.5"	No	Skylights Bathrooms
Velux Fixed	M08	30.0625 X 54.5"	No	Skylights Bathrooms
Anderson	TW3046	38.125"x56.875	Yes	Master BR
Anderson 200 series or similar	244DH3050	3050	Yes	Basement ADU - Double-hung with tempered glass

Door Schedule

Manuf/Type	Size	Location	Interior/Exterior
Therma-Tru FG Insulated Entry	3068	Back covered porch	Exterior
Therma-Tru FG Insulated Entry	3068	Mudroom to 2nd covered porch	Exterior
Therma-Tru FG Insulated Entry	3068	Mudroom to kitchen	Exterior
Therma-Tru FG Insulated Entry	3068	Kitchen to utility	Exterior
Therma-Tru FG Insulated Entry	3068	Front Porch Entry	Exterior
Therma-Tru FG Insulated Entry	3068	Dining to 2nd covered porch	Exterior
Therma-Tru FG Insulated Entry	3068	Utility to back-yard	Exterior
Pella- Window and Door entry	11'	ADU front entrance	Exterior
Brosco-6 panel pine	2068	1/2 bathroom	Interior
Therma-Tru FG Insulated Entry	3068	ADU to Utility	Exterior
TBD- French doors (double)	24"ea	Office	Interior
Brosco or similar -6 panel pine	2668	Master BR	Interior
Brosco or similar -6 panel pine	2668	Master Bath entry	Interior
Brosco or similar -6 panel pine	24"	Master Bath closet	Interior
Brosco or similar -6 panel pine	2668	Master closet	Interior
Brosco or similar -6 panel pine	2668	2nd Bathroom entry	Interior
Brosco or similar -6 panel pine	24"	2nd Bathroom closet	Interior
Brosco or similar -bi-fold	24" ea	Laundry bi-fold doors	Interior
Brosco or similar -6 panel pine	24"	Hall closet	Interior
Brosco or similar -6 panel pine	2668	Bedroom 1	Interior
Brosco or similar -6 panel pine	2668	Bedroom 2	Interior
Brosco or similar -6 panel pine	2668	ADU Bedroom	Interior
Brosco or similar -6 panel pine	2668	ADU Bathroom	Interior
Brosco or similar -bi-fold	24" ea	ADU closet bi-fold	Interior



08/01/2018

Stair Details

See drawings.

Insulation (R-value of Walls, ceilings and floors)

Insulation: Roof

4.5" SIP (3.5" EPS, R-13.3)

8" Blown cellulose, R-30.4

Layer of radiant barrier (R-9.5)

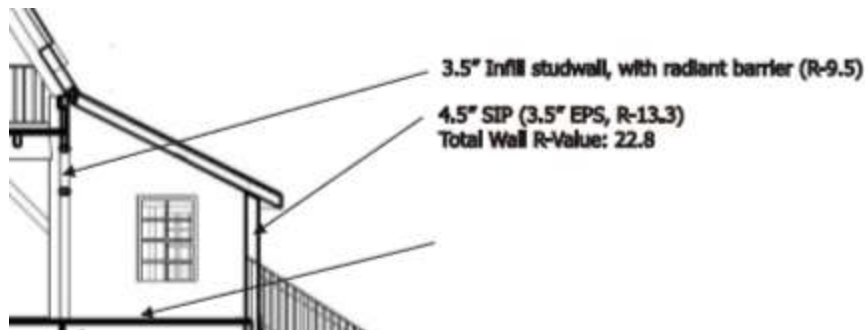
Total R-value of roof: 52.2

Insulation: Walls

3.5" Infill stud wall, with radiant barrier (R-9.5)

4.5" SIP (3.5" EPS, R-13.3)

Total Wall R-Value: 22.8



Deck Railings

Existing decks, no construction.

Installation of hand rails to code. (Trex Select, 42" high. No more than 4" between balusters)

Bathroom fixture placement/distance

Distance between bathroom fixtures will be 30". Will not be closer than 15" minimum.

Fast Track

Schedule B- all construction to take place within existing structure.

Trade Permits

All trade permits will be requested upon approval of this overall permit.

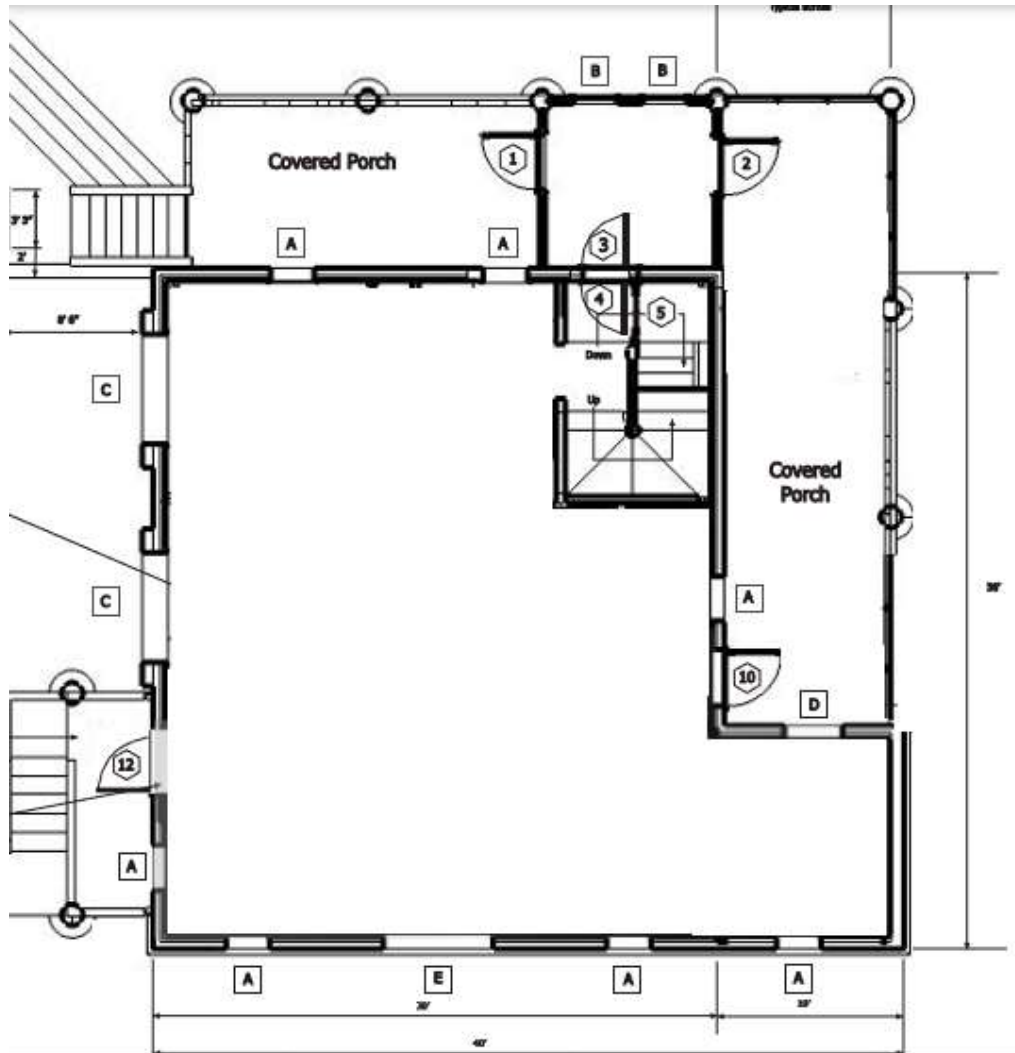


Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

08/01/2018

Existing Floor Plans

Existing: Main floor (current, no interior walls)

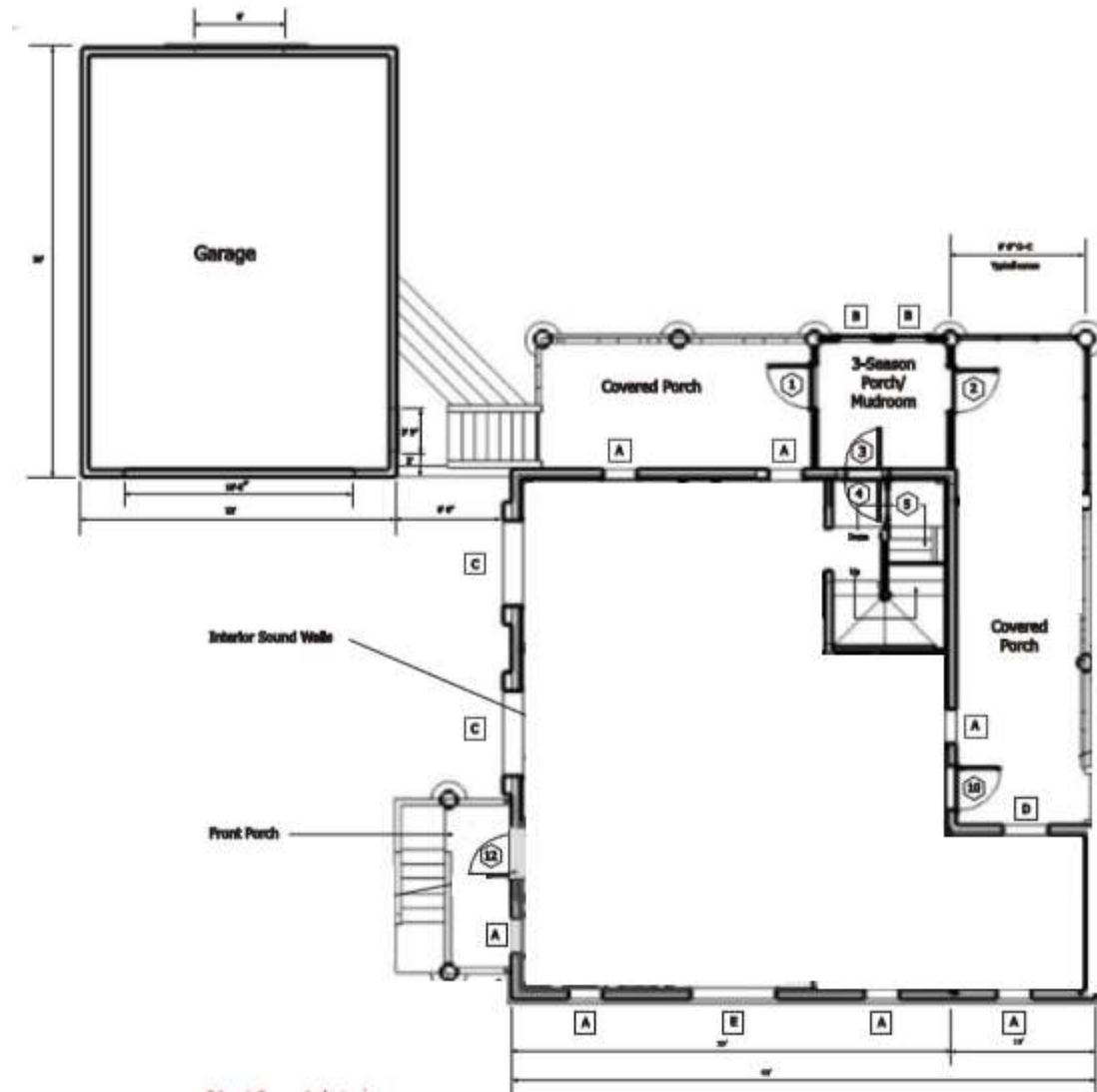




Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

08/01/2018

Existing: Main floor including garage

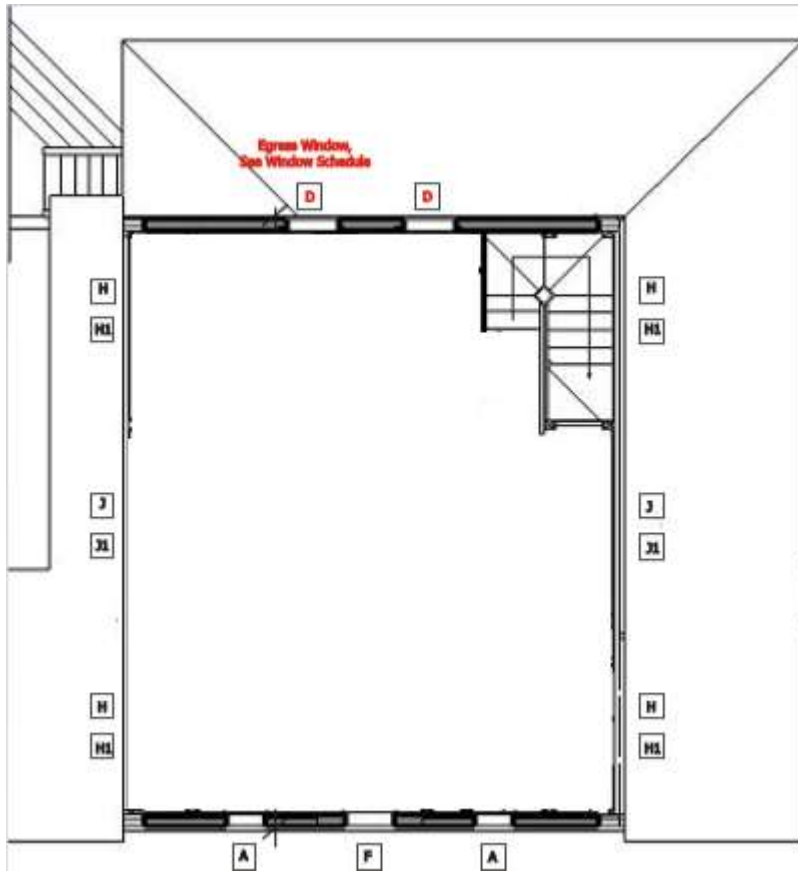




Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

08/01/2018

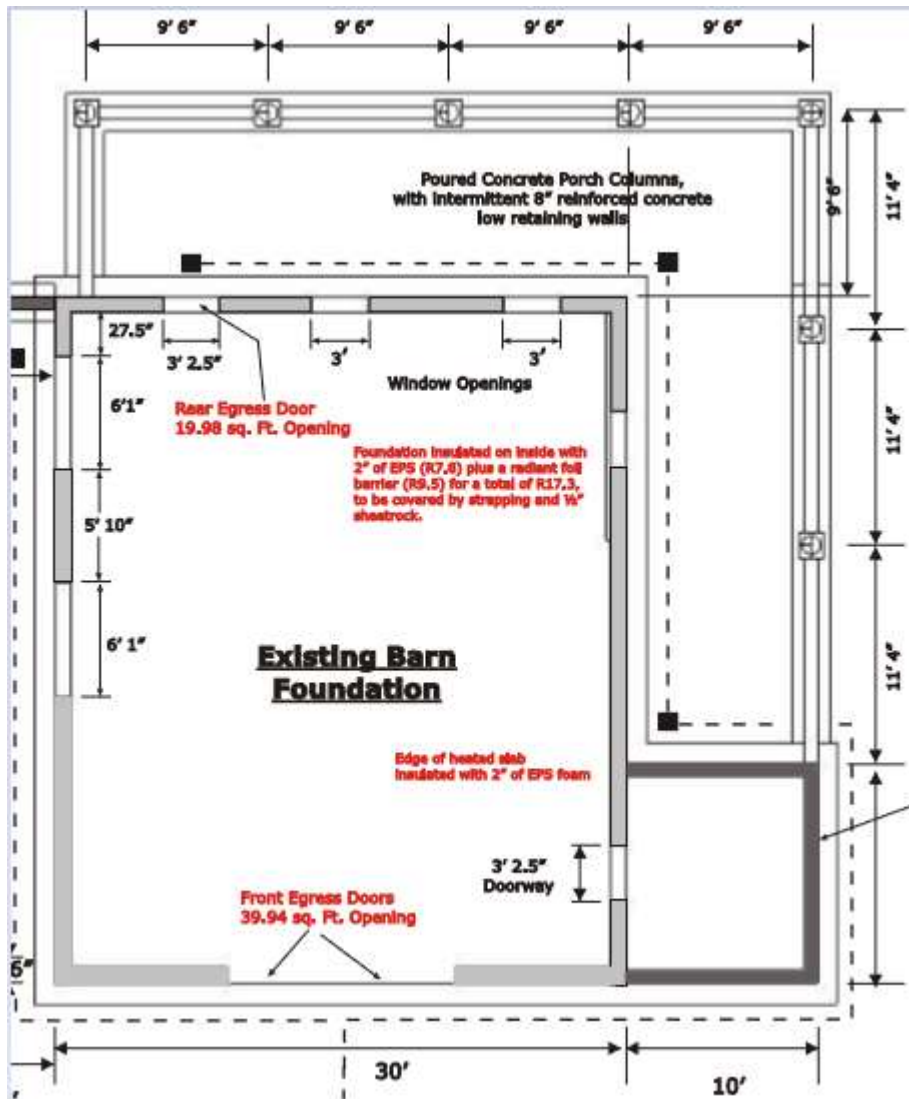
Existing: 2nd Floor (current, no interior walls)



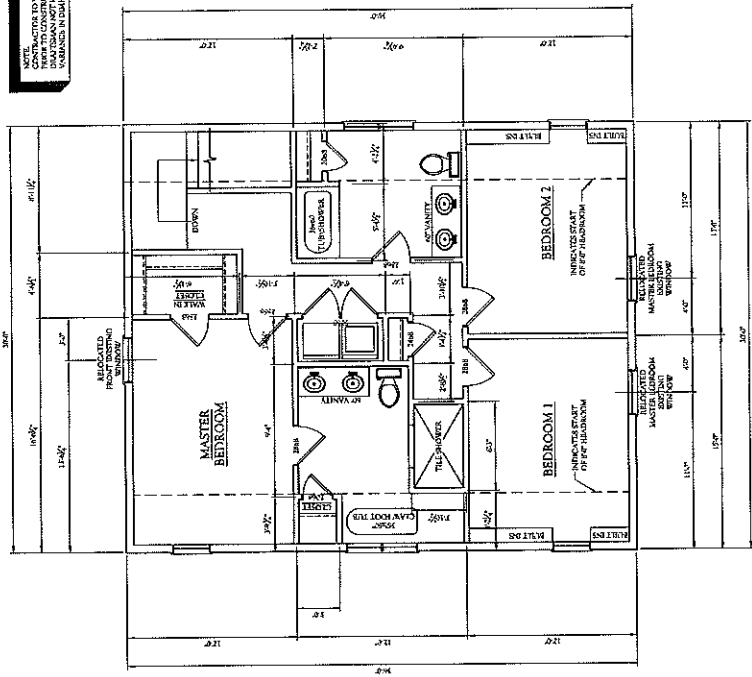


08/01/2018

Existing: Ground Level



NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS
ON SITE TO ENSURE ALL DIMENSIONS
MATCH DRAWING AND NOT RESPONSIBLE FOR ANY
VARIANCES IN DIMENSIONS

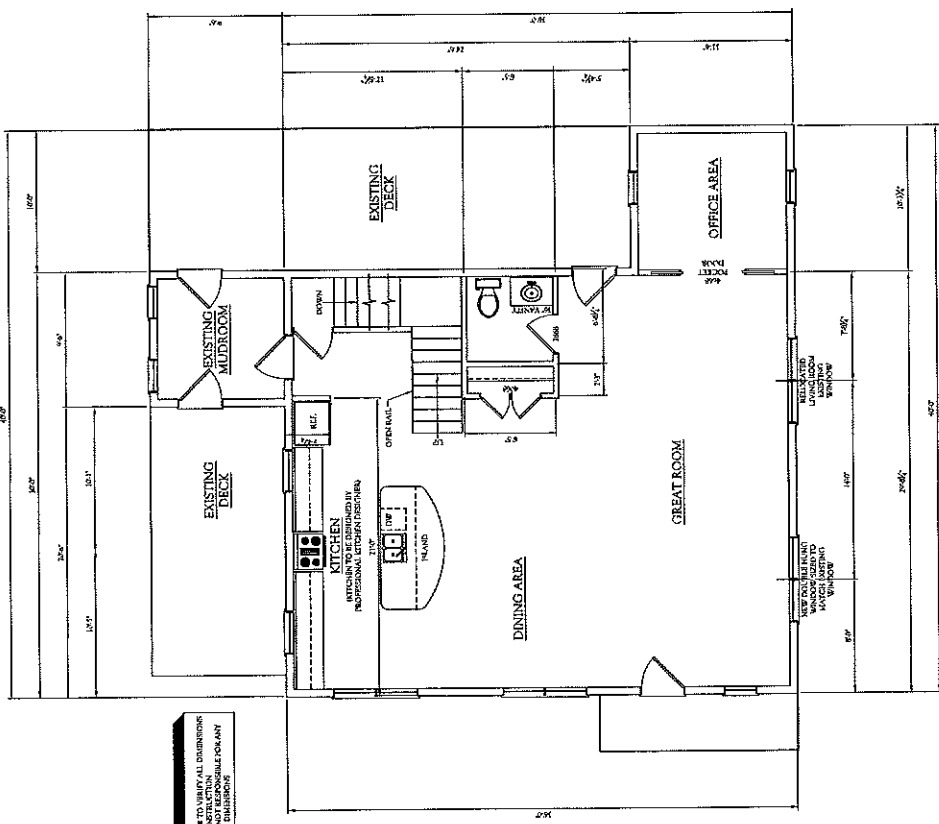


GLENN SMITH DESIGNS HOME PLANS AND GENERAL CONTRACTORS 15 MORNINGSTAR LANE PORTLAND, MAINE 04106 TEL: 603-882-1177 FAX: 603-882-1178 WWW.GLENNSMITHDESIGNS.COM	
DATE:	08/01/2018
PROJECT:	WATTERS RESIDENCE
CLIENT:	WATTERS RESIDENCE
DESIGNER:	GLENN SMITH
SCALE:	AS SHOWN

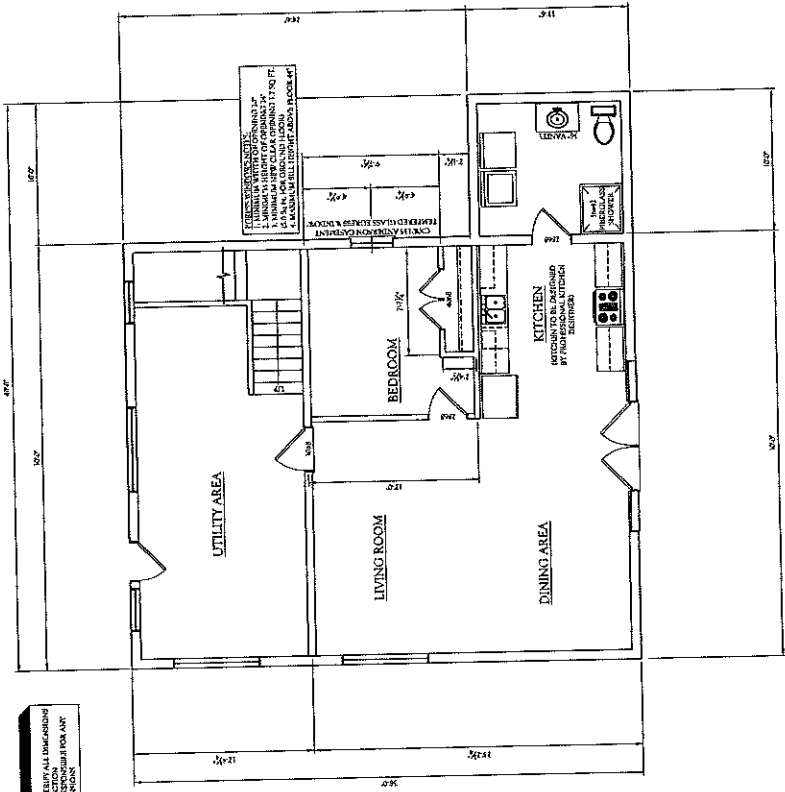


Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
08/01/2018

NOTE:
CONTRACTOR TO VERIFY ALL DIMENSIONS
ON SITE TO ENSURE ALL DIMENSIONS
MATCH DRAWING AND NOT RESPONSIBLE FOR ANY
VARIANCES IN DIMENSIONS



1st FLOOR PLAN
SCALE: 1/8" = 1'-0"



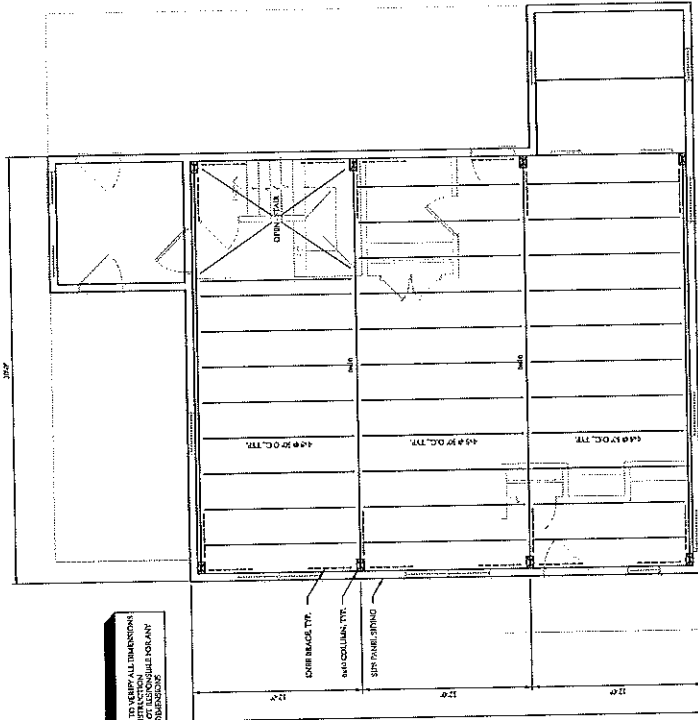
BASEMENT PLAN
SCALE: 1/4" = 1'-0"

CONTRACTOR TO VERIFY ALL DIMENSIONS
BEFORE CONSTRUCTION. THIS PLAN IS NOT TO BE USED FOR ANY
WORK IN EXISTING STRUCTURE.

GLENN SMITH DESIGNS	
HOME PLANNING & DESIGN SERVICES, INC.	
100 W. WASHINGTON ST., SUITE 200 PORTLAND, MAINE 04101	
DATE: 04/01/17	DRAWN BY: J. WATERS
THIS DRAWING IS THE PROPERTY OF GLENN SMITH DESIGNS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.	
DRAWING NO:	52
CLIENT:	WATERS RESIDENCE
TITLE:	15 MORNINGSTAR LANE PORTLAND, MAINE BASEMENT PLAN



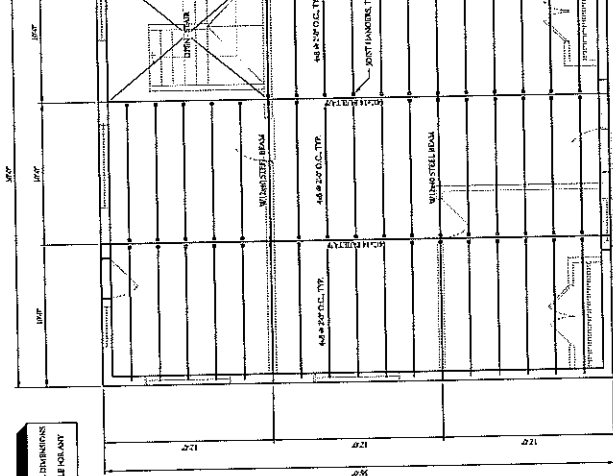
Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
08/01/2018



2nd FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.



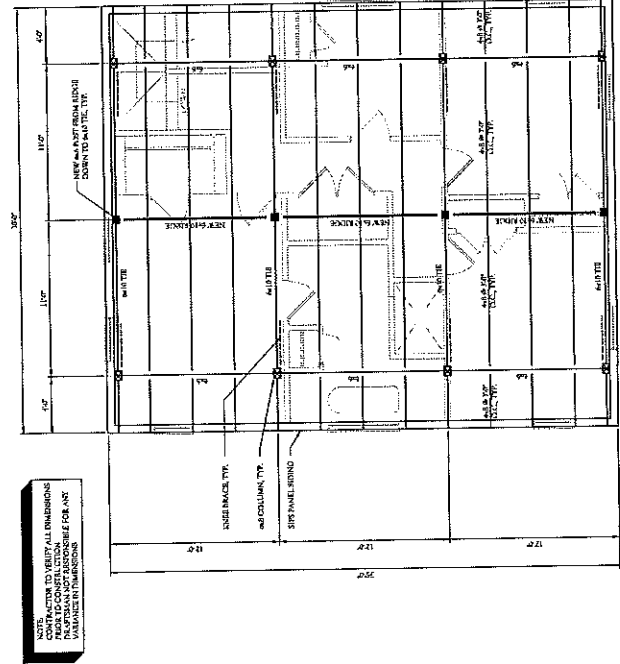
1st FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.

GLENN SMITH DESIGNS	
HOME PLANS AND GENERAL CONTRACTING	
1880 NORTH MAIN STREET	
PORTLAND, MAINE 04103	
TEL: (603) 851-7000 FAX: (603) 851-7001	
WWW.GLENNSMITHDESIGNS.COM	
THIS DRAWING IS PREPARED BY AN ARCHITECT OR ARCHITECTURAL FIRM THAT IS NOT A REGISTERED PROFESSIONAL ENGINEER OR ANY OTHER TITLE OF REGISTERED PROFESSIONAL ENGINEER.	
CONTRACT NO.	S3
CLIENT	WATTERS RESIDENCE PORTLAND, MAINE
TITLE	15 MORNINGSTAR LANE PORTLAND, MAINE FRAMING PLANS

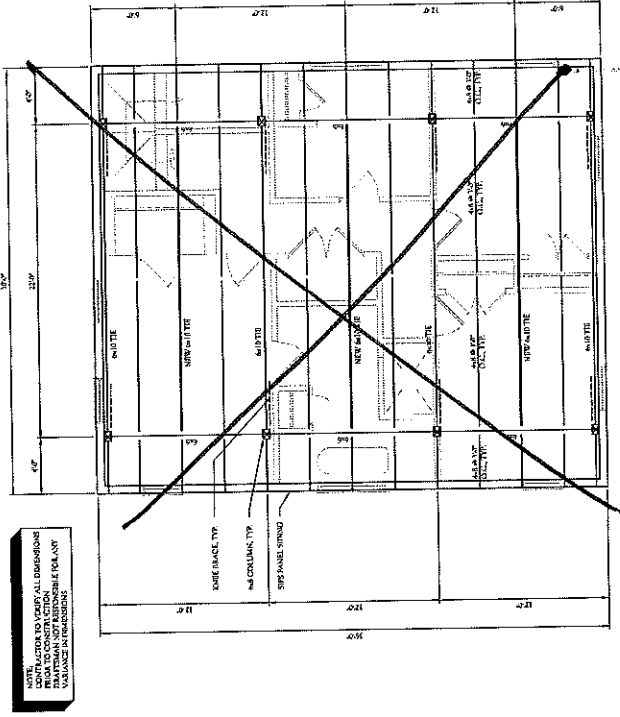


Reviewed for Code Compliance
 Permitting and Inspections Department
 Approved with Conditions
 08/01/2018



ROOF FRAMING REPAIR PLAN - OPTION 1
SCALE: 1/4" = 1'-0"

Customer
wants this plan "option 1"



ROOF FRAMING REPAIR PLAN - OPTION 2
SCALE: 1/4" = 1'-0"

Not
going to
be used.



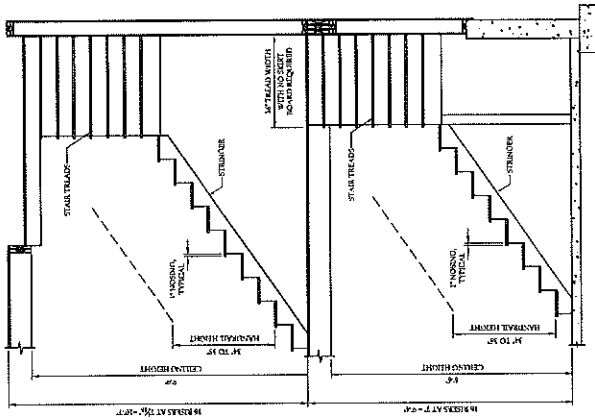
Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
08/01/2018

GLENN SMITH DESIGNS
HOME PLANS AND GENERAL CONTRACTING
130 WALTON WAY
PORTLAND, MAINE 04108
PHONE: 409-429-7711 / CELL: 603-863-2111

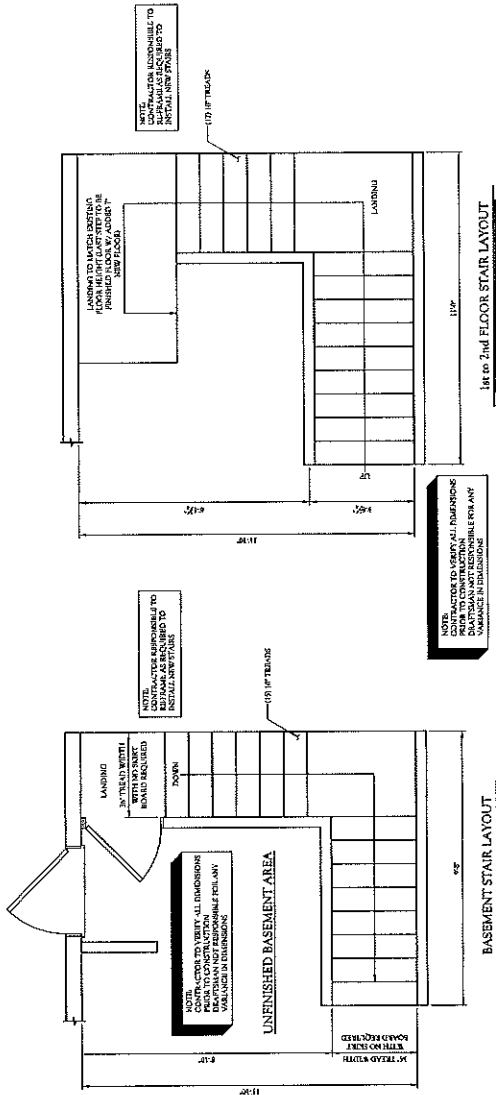
DRAWING NO. **S4**

CLIENT
WATTERS RESIDENCE
PORTLAND, MAINE

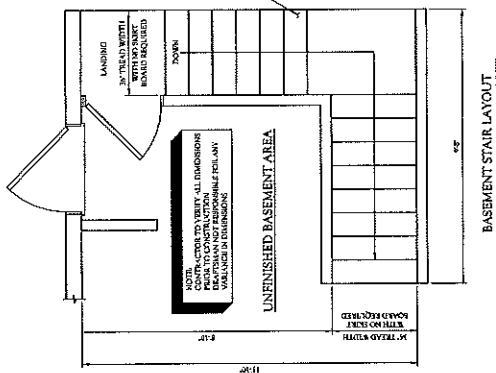
TITLE
15 MORNINGSTAR LANE
PORTLAND, MAINE
FRAMING PLANS



STAIR CROSS SECTION
SCALE: 1/4" = 1'-0"



1st to 2nd FLOOR STAIR LAYOUT
SCALE: 3/8" = 1'-0"



BASEMENT STAIR LAYOUT
SCALE: 3/8" = 1'-0"

CLEIN SMITH DESIGNS 100 FT. HALL AND GENERAL CONTRACTORS 100 FT. HALL AND GENERAL CONTRACTORS 100 FT. HALL AND GENERAL CONTRACTORS 100 FT. HALL AND GENERAL CONTRACTORS	CLIENT WAITERS RESIDENCE PORTLAND, MAINE
DRAWING NO. S5	TITLE 15 MORNINGSTAR LANE PORTLAND, MAINE STAIR DETAILS



Reviewed for Code Compliance
 Permitting and Inspections Department
 Approved with Conditions
 08/01/2018

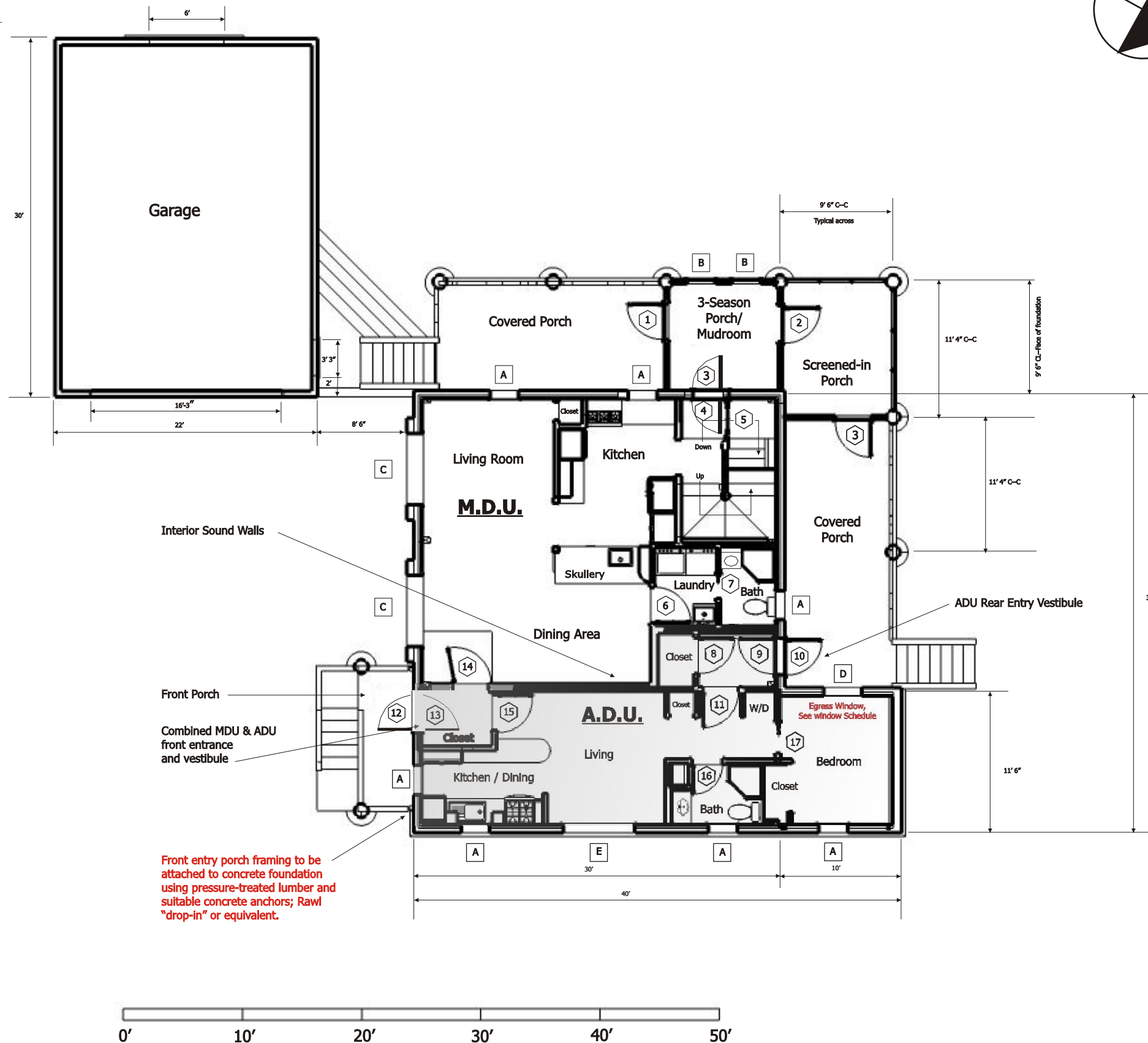
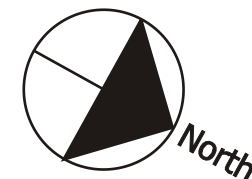


Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 05/29/14



5



Front entry porch framing to be attached to concrete foundation using pressure-treated lumber and suitable concrete anchors; Rawl "drop-in" or equivalent.

First Floor Plan

Scale: 1"=10'

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

Total 1st floor square footage: 1216.3 sq. ft. **08/01/2018**
Main Dwelling Unit square footage: 685.7 sq. ft.
Accessory Dwelling Unit Square footage: 530.6 sq. ft.

- ① Door size & type; see **Door Schedule**
- Ⓐ Window size, type, R.O.; see **Window Schedule**

Interior Walls: 2x4 25 ga steel studs @16" O.C. with one layer 1/2" sheetrock each side

Wet Walls: 2x6 25 ga steel studs @ 16" O.C. with one layer 1/2" sheetrock each side

Interior Sound Walls: Two 2x4 walls, steel studs, 1/2" sheetrock one side each, fiberglass batts

Interior Load-Bearing Walls: None

NFPA 13-D sprinkler system: Refer to plan designed by Dean & Allyn, Inc. (To be submitted with sprinkler permit application)

Insulation Levels:

Exterior walls: 3.5" of EPS Structural Insulated panels (SIPs) (R: 13.3) plus a layer of Insulated Radiant Barrier (R:9.5) for a **total R-Value of 22.8**

Roof: 3.5" of EPS in SIPs (R:13.3) plus 8" of compacted cellulose (R:30.4), plus a layer of insulated Radiant Barrier (R:9.5) for a **total R-Value of 52.2**

Foundation: Interior walls covered with 2" EPS, strapping and sheetrock, R-7.8

First floor framework: Uninsulated, as cellar floor will be a radiant slab, intended to heat the structure by convective heat rise. The first floor structure will also be a radiant (low-mass) heat source.

Revisions

Date	Description
5.28.14	Added Egress Window notes per R310, added front porch attachment note per R502.2
5.29.14	Moved bathroom sink in MDU to satisfy toilet clearance as required by R307.1

Residence & A.D.U. at 15 Morningstar Lane, Portland, ME 04103

Owners: Frederick A. & Colleen R. Witt
Contact Telephone #: 207-653-5347



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 05/29/14

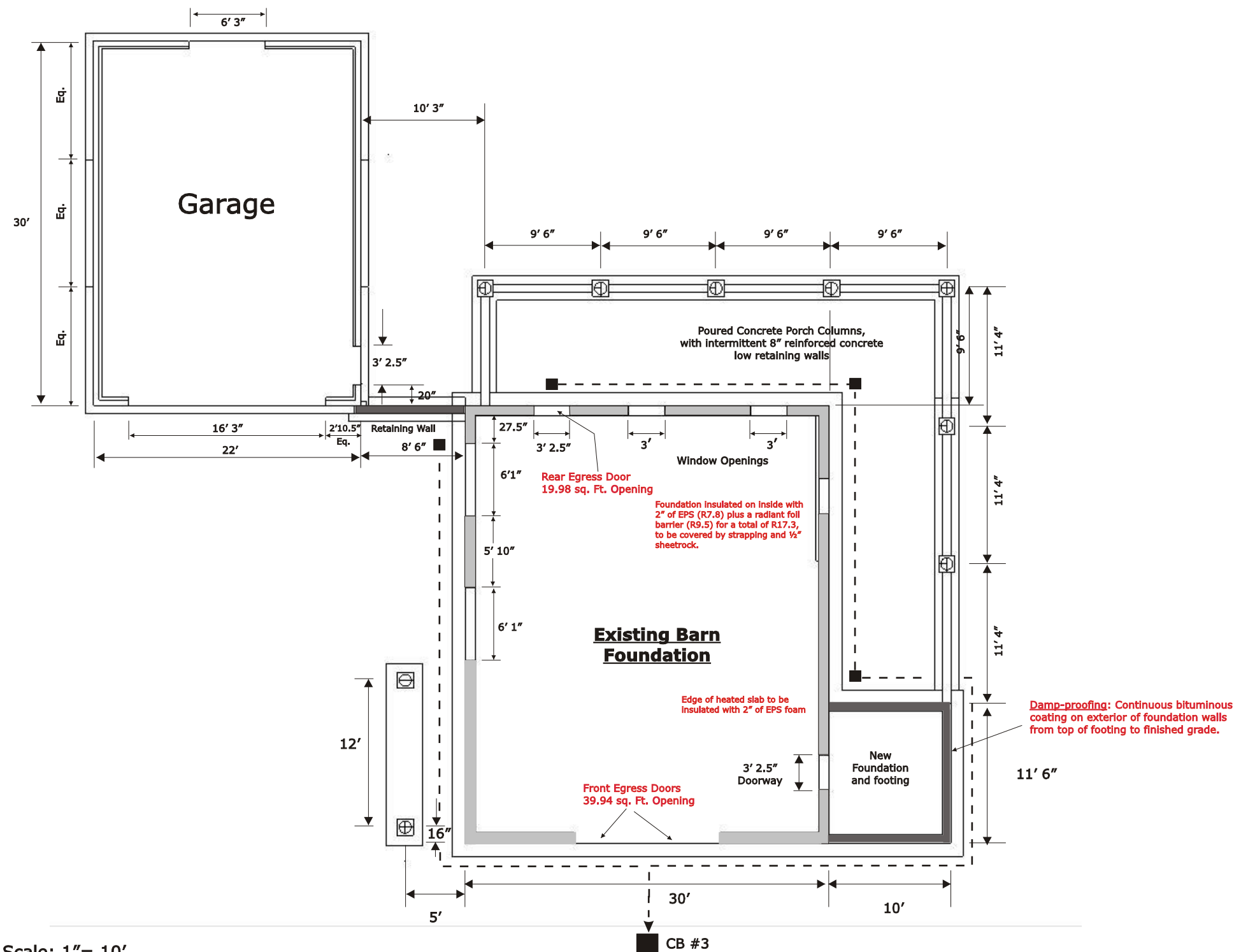


8

Foundation Plan

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

08/01/2018



Scale: 1" = 10'



Materials:

Footings/Walls: 3,000 psi 3/4 stone concrete

Columns: 4,000 PSI, pea-stone concrete

Retaining Wall Reinforcement: #4 Rebars, 2 high, 2 low, 2 in footing. 4 pcs. vertical in each 16" pillar, projecting up 24" for column pour.

See: "Column Details" Drawing

Pour #1: Footings, 8.5 yds

Pour #2: Walls and Pillars, 31.5 yds

Pour #3: Columns and Slabs, 21 yds

- 16" x 16" PVC Drain Box, flush to final grade
- - - 4" ADC perforated underdrain with filter sock
- Catch Basin #3 (Existing)

Revisions

Date	Description
4/19/14	Continuous footings, add drainage boxes and underdrain
4/28/14	Added egress notes per R310, added foundation drainage scheme per R405, added note on foundation wall damp proofing per R406, foundation insulation notes as per Table 402.1.1

Residence & A.D.U. at 15 Morningstar Lane, Portland, ME 04103

Owners: Frederick A. & Colleen R. Witt
Contact Telephone #: 207-653-5347