



# April Calla, Classic



**Wall Types**  
Exterior walls 2x6 wood stud  
Interior walls 2x4 wood stud, unless noted otherwise

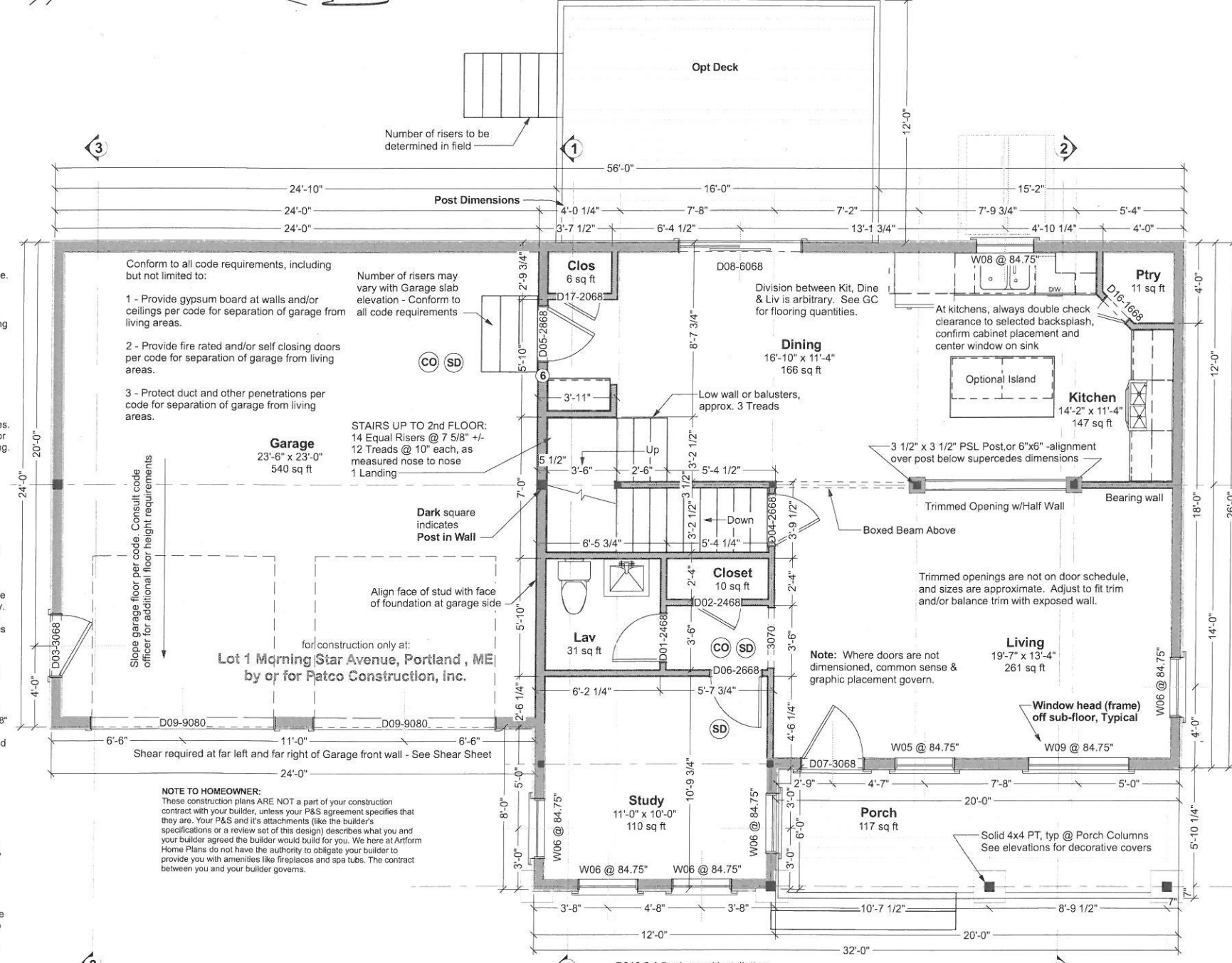
- Wall Keys**
- ② 2x wood studs on the flat
  - ③ 2x3 wood stud wall, 16" oc
  - ⑥ 2x6 wood stud wall, 24" OC
- Note: 2x4 wood stud wall, 24" OC unless otherwise noted

- Key Notes**
- A 30" x 22" Minimum Attic Access Panel - Insulated (RO 34" x 26")
  - F Field locate for plumbing or mechanical
  - V Verify size of fixture or appliance. Adjust dimensions to accommodate.
  - S Snug - Door or Window trim will be snug and may need to be cut down
  - C Center - Place door or window centered on wall
  - D Double Stud or structural mull - adapt to suit chosen window brand. Object is to have some "bite" for curtain hardware and exterior aesthetics.
  - SD Smoke Detector
  - CO Carbon Monoxide Detector

**Dimensions**  
Dimensions are to face of stud, unless noted otherwise. Closets are 24" clear inside, unless dimensioned otherwise.

- Square Footages**
- 1. Sq ft numbers are interior to room for use in calculating finishes.
  - 2. Cabinets and fixtures not subtracted.
  - 3. Add for doorways when floor finishes run through.

- Notes**
- 1 - Exterior walls 2x6 wood stud @ 24" oc. Provide insulation & vapor barrier conforming to state or local codes. Interior sheathing 1/2" gypsum board. Provide 1/2" exterior rated sheathing, house wrap with drainage plane and siding. Provide step flashing at walls adjacent to roof planes.
  - 2 - Interior walls 2x4 wood stud @ 24" OC, unless noted otherwise.
  - 3 - Roof - see structural for rafter sizes. Provide 5/8" exterior rated roof sheathing 15# roofing felt, ice & water shield at eaves and valleys, aluminum drip edge and asphalt shingles or metal roofing. Structure not calculated to support slate or tile. Flash all penetrations. Provide cricket at any added chimneys.
  - 4 - Provide roof and/or ceiling insulation per code. Provide soffit and ridge vents where required for insulation strategy. (Verify with code officer - closed cell spray foam or dense-pack cellulose installed at rafters and filling ridge and eaves generally contra-indicates venting, batt insulation always requires venting).
  - 5 - Provide smoke detectors where shown, where required by code and where required by local authorities.
  - 6 - Provide fire resistive materials where required by code, including but not limited to, firestopping at penetrations, 5/8" drywall on walls and 5/8" drywall on ceilings to separate garage (where garage present in design) from dwelling, and separation of dwellings (where more than one dwelling present in design), and protection of flammable insulation materials.
  - 7 - Confirm bottom of window opening relative to frame. Adjust head heights as required to conform to IRC 2009 R612.2, or provide code approved guards.
  - 8 - Compliance with code requirements for rooms size and clearances, (hallway widths, room sizes, etc) assume 1/2" drywall on walls and 1/2" drywall on 3/4" strapping on ceilings. Adjust as required if materials differ.
  - 9 - Some windows must be installed with a head height greater or lesser than the standard 80" or 82 1/2" to provide clearance at kitchen counters, to meet code sill height or to clear roofs. Where approx 84" head height is called for, install 2x10 header tight to double top plate, frame window RO tight to header.
  - 10 - Shear is only called out where Continuous Portal Frame will not suffice. See Section R602.10.4 (Pages 173 - 179) of the IRC 2009.



**First Floor Plan**

R313.2.1 Design and installation. Automatic residential fire sprinkler systems shall be designed and installed in accordance with NFPA 13D.

**Dear Code Officer,**  
These are pre-designed home plans, designed to bring good design and construction drawings to people at more affordable prices and faster time frames than traditional architecture. Where traditional "internet" home plans disclaim all responsibility, we split responsibility between us (Artform) and the owner. We encourage the future homeowners to use a quality builder who can assist them with this. They are responsible for thermal and moisture decisions and for meeting coding in ways that a quality builder should know. We are responsible for things that are directly related to the design and/or that a quality builder couldn't reasonably figure out on their own - specifically the following IRC 2009 code sections:

- 1 - Room sizes (Section R304)
- 2 - Ceiling Height (Section R305)
- 3 - Floor space & ceiling height at Toilet, Bath and Shower Spaces (Section R307)
- 4 - Hallway widths (Section R311.6)
- 5 - Door types & sizes (Section R311.2)
- 6 - Floor space in front of doors (Section R311.3)
- 7 - Stair width - The stairs in our designs will be a minimum of 36" wide measured wall surface to wall surface, allowing compliance with R311.7.1 with installation of correct handrail.
- 8 - Stairway headroom (Section R311.7.2)
- 9 - Stair treads and risers (Section R311.7.4)
- 10 - Landings for stairways (Section R311.7.5)
- 11 - Emergency Escape Window Sizes (Section R310.1.1, R310.1.2, R310.1.3 and R310.1.4). Casement windows may require manufacturer's emergency escape window hardware. Will also comply with NFPA 101.
- 12 - Structural Floor Framing (Section R502.3) Where dimensional lumber is shown, framing members will be sized according to this section of the code. Where engineered wood products are shown, those framing members will be sized according to the manufacturer's tables for loads and spans, or sizes will have been calculating using manufacturer's published materials properties.
- 13 - See structural sheets for additional notes.

The builder can and should add information to this set, such as Rescheck, a hand markup of our generic thermal and moisture section, additional information about doors and windows (such as fire rating, tempering, etc), foundation drops relative to site grading, and sometimes their chosen method of basement egress. These drawings are not intended to be used without that additional information.

Where a construction address is shown on the drawings, it is for copyright control only. We have not inspected the site, adapted the design to state specific laws (except where it says so in the drawings) or site or region specific climate conditions. Homeowner and/or Builder shall be responsible for thermal and moisture control strategies, materials choices and compliance with applicable laws and ordinances.

Please do feel free to call us with any questions. We can and do update our drawings and standard notes to address specific concerns, especially in jurisdictions where our clients will be building again.

**Dear Everybody,**  
With these drawings a copyright license is granted for a single construction only at Lot 1 Morning Star Avenue, Portland, ME by or for Patco Construction, Inc. This is a License to Build, and does not include a License to Modify, except as required to conform to building code or fulfill builder's/owners responsibilities.  
**Permissible uses of these drawings:**  
- All activities associated with construction at the listed address.  
- Pricing or preliminary discussions with zoning or code officials for construction at other addresses, with prior notification to Artform Home Plans - just use the Contact form on the web site - <http://www.artformhomeplans.com/contact.a5w>

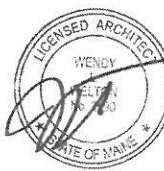
**Not Permitted:**  
- Application for any permits or other approvals for construction at properties other than the listed address, including but not limited to construction, zoning, conservation, or design review.  
- Modification of the basic design.

Use of these drawings outside these parameters is a violation of federal copyright law, punishable by both civil action and criminal prosecution. It's also stealing or enabling theft, which doesn't suddenly become less bad just because it's "intellectual property". Making changes, even significant changes, does not change this. Under copyright law, that's "derivative works". You still used our work, and we still spent significant time preparing it, quite possibly in the wee hours when everybody else was sleeping!

We can provide drawings suitable for use in obtaining design or zoning approvals without incurring the expense of a full set of construction drawings. Contact us for more information. We want to allow reasonable use at reasonable costs, just not have our work stolen. AFHP CD Commons 14.4 X6

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**Artform Home Plans**  
AFHP Design # 190.124 KR  
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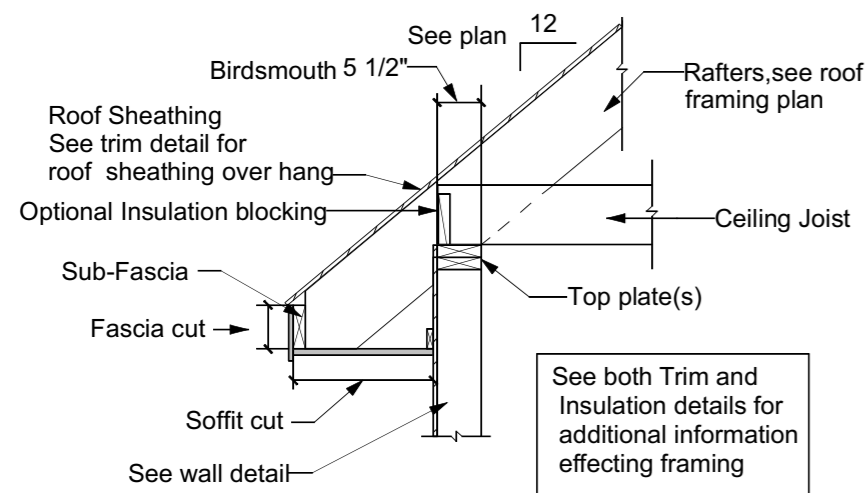
April Calla, Classic  
Lot 1 Morning Star Avenue  
Portland, ME

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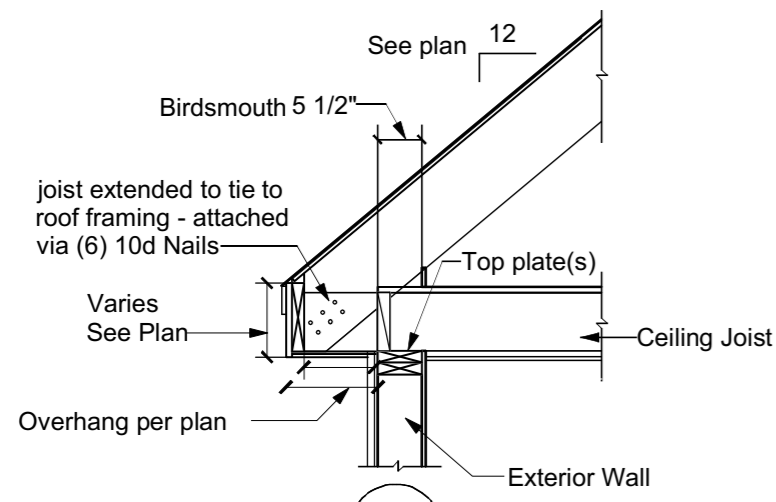
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PDF created on: 10/28/2014, drawn by AGJ  
Issued for: Construction

R3: 10.28.14 - Deck Change

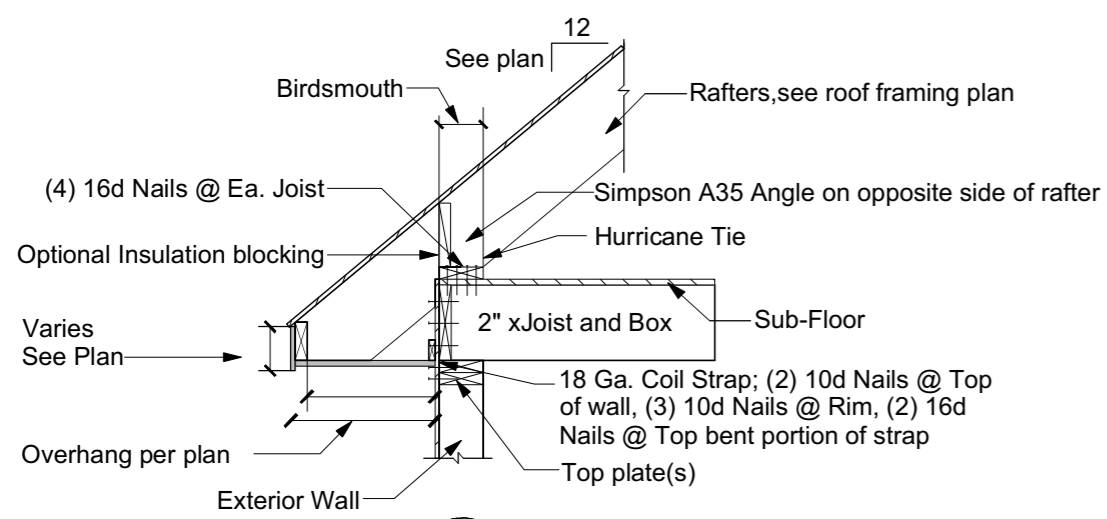
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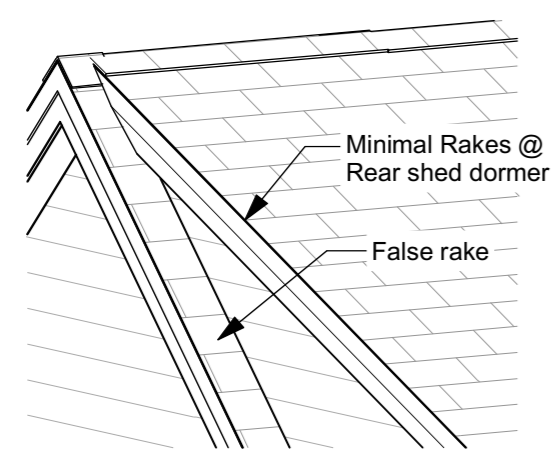
**A** Typical at each rafter of roof edge denoted by callout



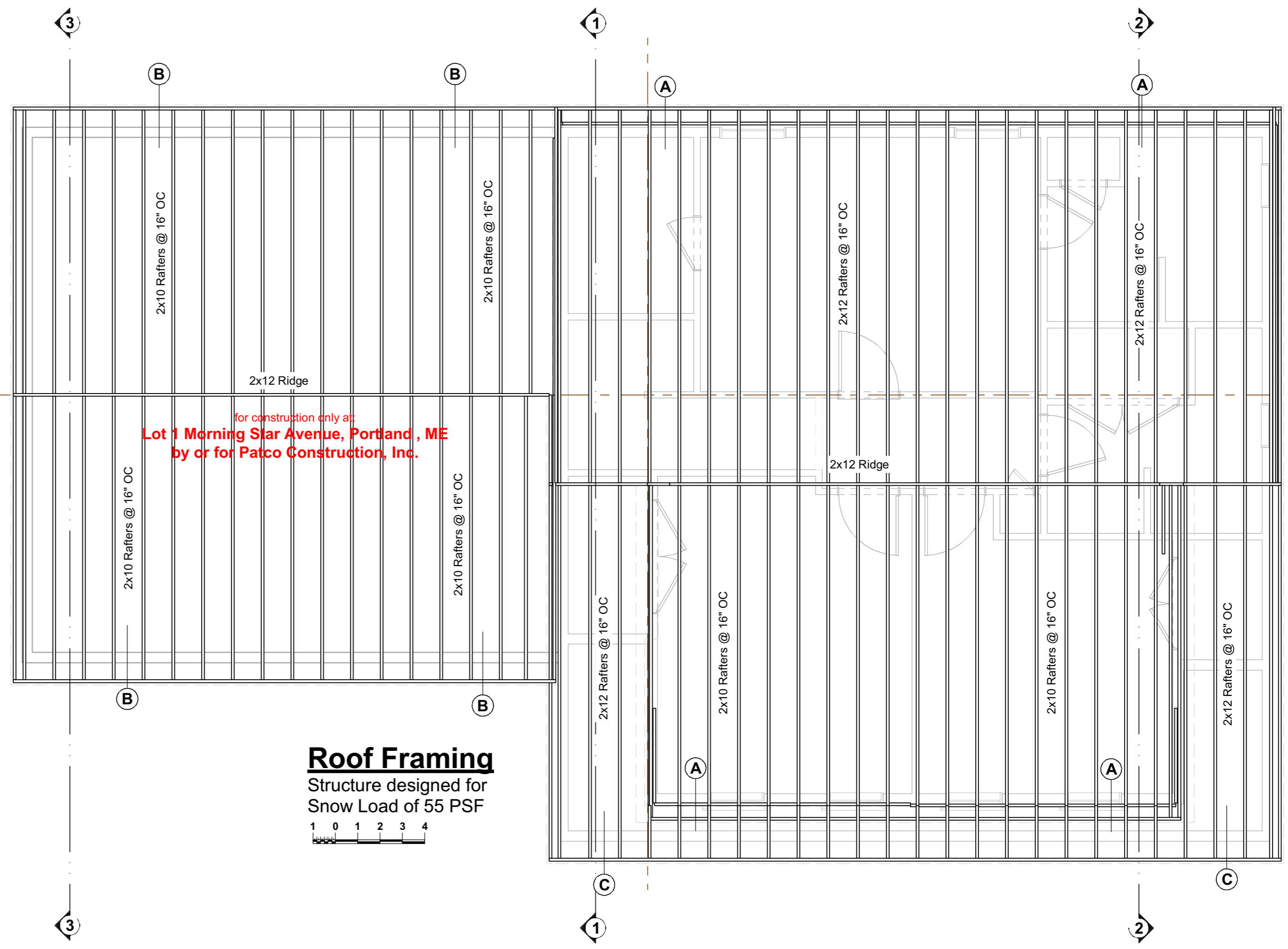
**B**



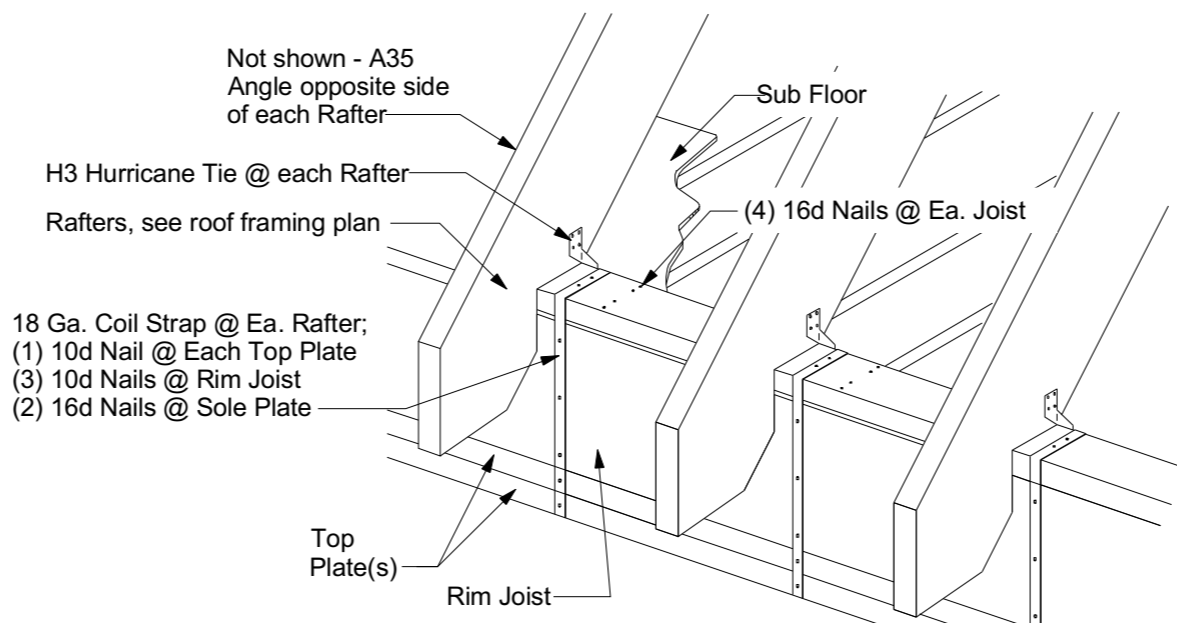
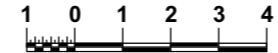
**C** Typical at each rafter of roof edge denoted by callout



**Alternate:**  
 12" False Rake and a 6" Shed Dormer Rake



**Roof Framing**  
 Structure designed for  
 Snow Load of 55 PSF



**Perspective View of Detail C**

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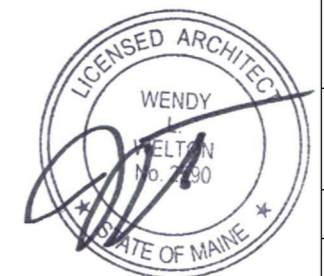
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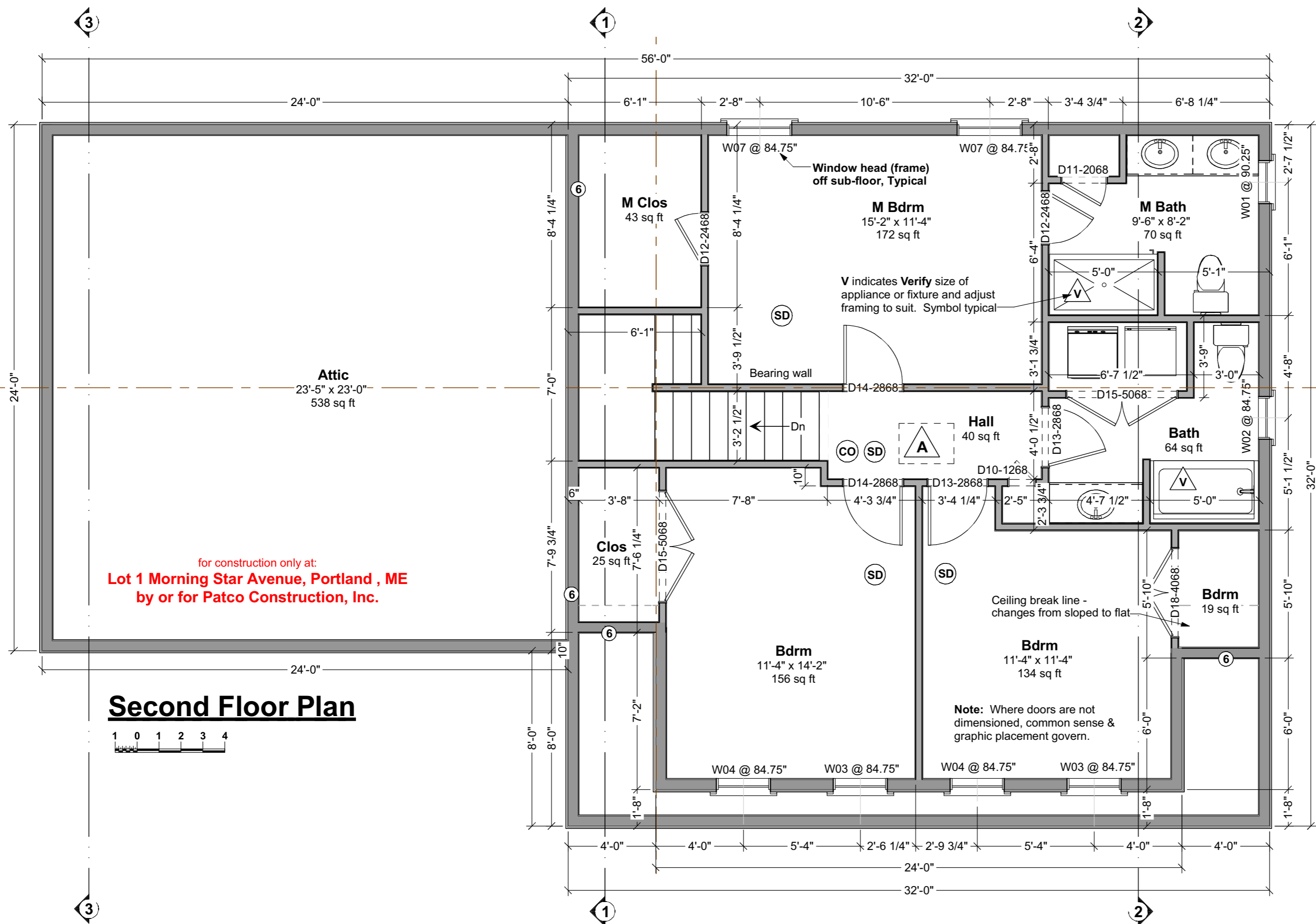
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 Lot 1 Morning Star Avenue  
 Portland, ME

**10**

1/4"=1'-0" unless noted otherwise / Print @ 1:1  
 PDF created on: 9/16/2014, drawn by ACJ  
 Issued for: **Construction**  
 R2: 9.15.14 - Reverse

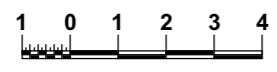




**Door & Window Notes**

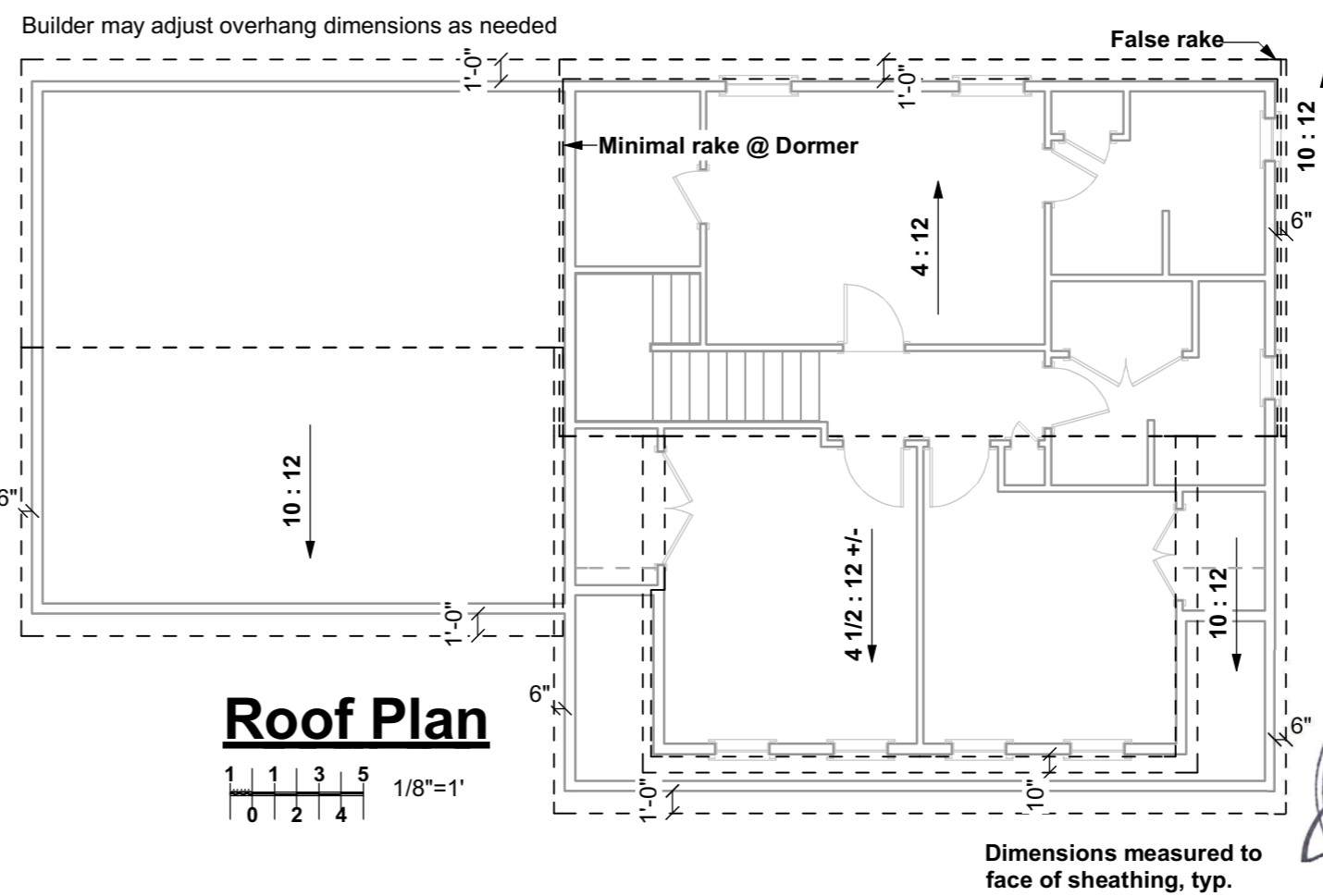
- Rated Doors:** Provide fire rated and/or self-closing doors where required by local codes or local authorities
- Trimmed Openings:** Trimmed openings not shown on schedule. See Plan.
- Window Tempering:** Provide tempered windows where required by local codes or local authorities. Tempering column provided here for convenience. Windows have not been reviewed for tempering requirements.
- Window RO's:** 1/4" or 1/2" on each of 4 sides allowed for window RO's, typical. Review framing size vs RO size. Adjust per manufacturer's requirements and/or builder preference.
- Egress Windows:** Provide minimum one door or window meeting egress requirements in basement, in each sleeping room, in each potential sleeping room, and other locations required by local code, in sizes required by local code. Note that casement windows coded by manufacturer as meeting IRC 2006 egress requirements typically need to be ordered with specific hardware. Emergency Escape Window Sizes (Section R310.1.1, R310.1.2, R310.1.3 and R310.1.4). Will also comply with NFPA 101.
- Basement Windows:** Add basement windows as required to meet state or local code requirements, including but not limited to egress and light/ventilation.
- Skylights:** Skylights are not shown on this schedule, but may be required. Consult builder and/or see floor plan.
- Minimum window sill height:** IRC 2006 and later requires that upper floor window sills be 24" from floor. Where 60" high windows are used, install with window heads @ 84 1/2" or more.

**Second Floor Plan**

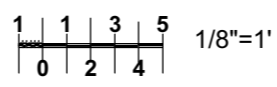


WINDOW SCHEDULE								
NUMBER	QTY	WIDTH	HEIGHT	R/O	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	1	23 1/2"	23 1/2"	24"X24"		YES	AWNING	
W02	1	23 1/2"	47 1/2"	24"X48"		YES	DOUBLE HUNG	
W03	2	29 1/2"	47 1/2"	30"X48"	YES		SNGL CASEMENT-HL	
W04	2	29 1/2"	47 1/2"	30"X48"	YES		SNGL CASEMENT-HR	
W05	1	35 1/2"	51 1/2"	36"X52"			DOUBLE HUNG	
W06	5	35 1/2"	59 1/2"	36"X60"			DOUBLE HUNG	
W07	2	35 1/2"	59 1/2"	36"X60"	YES		DOUBLE HUNG	
W08	1	34"	37"	34 1/2"X37 1/2"			DOUBLE HUNG	
W09	1	59 1/2"	59 1/2"	60"X60"			FIXED GLASS	
W10	2	36"	18"	36 1/2"X18 1/2"			HOPPER	

DOOR SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	TYPE	COMMENTS
D01	1	1	2468 L IN	28"	80"	HINGED	
D02	1	1	2468 R IN	28"	80"	HINGED	
D03	1	1	3068 R EX	36"	80"	HINGED	
D04	1	1	2668 R IN	30"	80"	HINGED	
D05	1	1	2868 L EX	32"	80"	HINGED	
D06	1	1	2668 L IN	30"	80"	HINGED	
D07	1	1	3068 L EX	36"	80"	HINGED	
D08	1	1	6068 R EX	72"	80"	SLIDER	
D09	2	1	9080	108"	96"	GARAGE	
D10	1	2	1268 R IN	14"	80"	HINGED	
D11	1	2	2068 R IN	24"	80"	HINGED	
D12	2	2	2468 L IN	28"	80"	HINGED	
D13	2	2	2868 R IN	32"	80"	HINGED	
D14	2	2	2868 L IN	32"	80"	HINGED	
D15	2	2	5068 L/R IN	60"	80"	DOUBLE HINGED	
D16	1	1	1668 L IN	18"	80"	HINGED	
D17	1	1	2068 R IN	24"	80"	HINGED	
D18	1	2	4068 L/R IN	48"	80"	DOUBLE HINGED	



**Roof Plan**



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**Structural General Notes:**

1. Builder shall consult and follow the building code and other regulations in effect for the building site for all construction details not shown in these drawings. Requirements described here are specific to this design and/or are provided as reference. Additional building code or local requirements may apply.
2. Builder shall maintain a safe worksite, including but not limited to, provision of temporary supports where appropriate and adherence to applicable safety standards.
3. Design is based on the snow load listed on the framing plans, 90 mph basic wind speed, Exposure type B, soil bearing capacity of 2000 psf, and Seismic Category C, unless otherwise noted on the framing plans. Builder shall promptly inform Artform Home Plans of differing conditions.

**Foundations**

1. No footing shall be poured on loose or unsuitable soils, in water or on frozen ground.
2. All exterior footings to conform to all applicable code requirements for frost protection.
3. All concrete shall have a minimum compressive strength of at least 3000 PSI at 28 days.
4. Foundation anchorage to comply with IRC 2009 Section R403.1.6, it shall consist of minimum size 1/2" diameter anchor bolts with 3/16" x 2" x 2" washers at a maximum of 72" oc for two stories or 48" oc for more than two stories, max of 12" from each corner, min of 2 bolts per wall. Anchor bolt shall extend 7" into concrete or grouted cells of concrete masonry units. Be aware that a garage under may be counted by your code officer as a story. Additional anchorage may be required at braced walls.

**Wood Framing**

1. All structural wood shall be identified by a grade mark or certificate of inspection by a recognized inspection agency.
2. Structural wood shall be Spruce-Pine-Fir (SPF) #2 or better.
3. When used, LVL or PSL indicate Laminated Veneer Lumber or Parallel Strand Lumber, respectively. Products used shall equal or exceed the strength properties for the size indicated as manufactured by TrusJoist.
4. When used, AJS indicates wood I-joists as manufactured by Boise Cascade. Products of alternate manufacturers may be substituted provided they meet or exceed the strength properties for the member specified.
5. All floor joists shall have bridging installed at mid-span or at 8'-0" oc maximum.
6. Floor systems are designed for performance with subfloor glued and screwed.
7. At posts, provide solid framing/blocking to supports below. Provide minimum 1 1/2" bearing length for all beams and headers, unless noted otherwise.
8. All wood permanently exposed to the weather, in contact with concrete or in contact with the ground shall meet code requirements for wood in these environments.
9. Deck ledgers shall be securely attached to the structure and/or independently supported, including against lateral movement, per building code requirements and best practices. Unless otherwise noted, decks shall have solid 4x4 pt posts up to 6 ft above grade, and solid 8x8 for heights above that.
10. Wherever beams are noted as Flush framed, install joint hangers at all joists, sized appropriately for the members being connected.
11. Support the lower end of roof beams via minimum 2" horizontal bearing on a post, ledger or via an appropriately sized and configured hanger.
12. Where multiple beams are supported on one post, provide min 2" bearing for each, via either appropriately sized post cap or additional post(s).
13. Hangers, post caps, ties and other connectors shall be as manufactured by Simpson Strong Tie, as designed to connect the members shown, and shall be installed per manufacturer's instructions.

**Prefabricated Wood Trusses**

1. Where trusses are indicated on the drawings, truss design shall be provided by truss manufacturer.
2. Trusses shall be designed in accordance with applicable provisions of the latest edition of the National Design Specifications for Wood Construction (NDS), American Forest and Paper Association (APA), and Design Specifications for Metal Plate Connected Wood Trusses (ANSI/TPI 1), Truss Plate Institute (TPI) and code of jurisdiction.
3. Manufacturer shall furnish design drawings bearing seal and registration number of a structural engineer licensed in the state where project will be built.

**TYPICAL PERIMETER FOUNDATION WALL:**

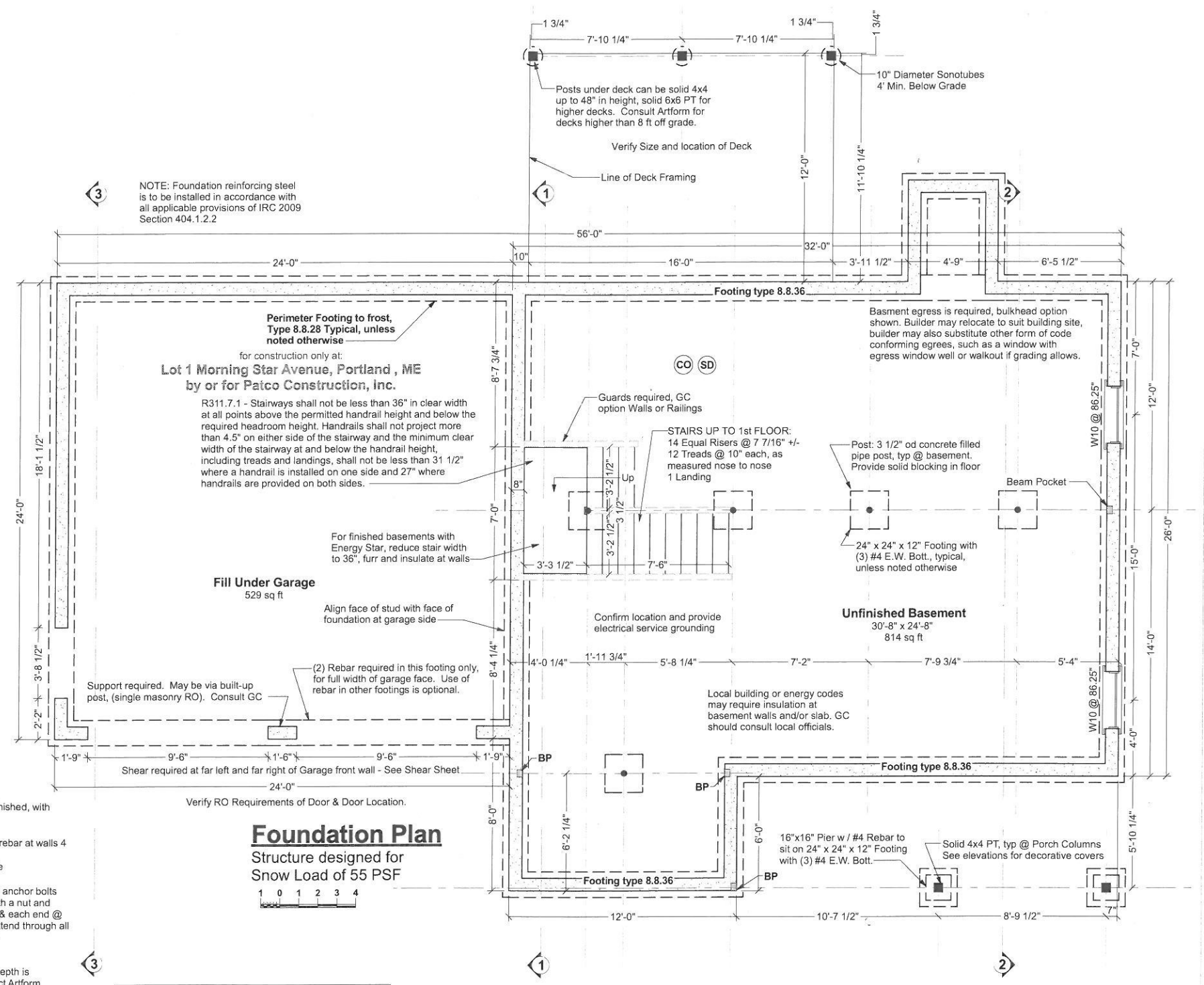
- 8" poured concrete, 8 ft forms, min 7'-10" finished, with total of 3 rebar, as follows:
- (1) #4 rebar, 4" from top
- (1) #4 rebar @ vertical midpoint. Omit this rebar at walls 4 ft high or less.
- (1) #4 rebar, min 3" from bottom or per code
- Lap corners & splices of rebar per code.
- Secure sill to foundation with 1/2" diameter anchor bolts that extend 7" into concrete and tightened with a nut and washer @ 6" oc & max 12" from each corner & each end @ wood sill splices - if built-up sill, bolts must extend through all sill plates or straps must secure all sill plates.

**TYPICAL PERIMETER FOOTING:**

1. Verify that depth of home matches chart. Depth is foundation dimension eave to eave. Contact Artform Home Plans if you believe the chart does not match the plan.
  2. Select column for snow load shown on the structural plans.
  3. Select soil bearing pressure based on soil type and/or consultation with code officer.
  4. The required footing size is at the intersection of the Snow Load and Soil PSI. Rebar is not required. Key or pin foundation wall to footing per code. For the purposes of permitting, soil bearing for New England is assumed to be 2,000 PSI.
- FAQ - Adding rebar to footings does not reduce the required width. Rebar affects performance with earth movement, like an earthquake and has near zero effect on bearing capacity.

**Guide to Soil PSI**

3,000	Sandy gravel and/or gravel (GW and GP)
2,000	Sand, silty sand, clayey sand, silty gravel and clayey gravel (SW, SP, SM, SC, GM and GC)
1,500	Clay, sandy clay, silty clay, clayey silt, silt and sandy silt (CL, ML, MH and CH)



NOTE: Foundation reinforcing steel is to be installed in accordance with all applicable provisions of IRC 2009 Section 404.1.2.2

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by or for Patco Construction, Inc.

R311.7.1 - Stairways shall not be less than 36" in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5" on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 31 1/2" where a handrail is installed on one side and 27" where handrails are provided on both sides.

Fill Under Garage  
529 sq ft

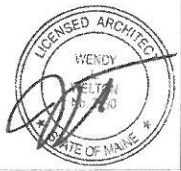
**Foundation Plan**  
Structure designed for  
Snow Load of 55 PSF

**Footings Type 8.8.28**

Soil PSI	Snow Load			
	50	60	70	80
3,000	16" x 8"	16" x 8"	16" x 8"	16" x 8"
2,000	18" x 8"	18" x 8"	18" x 8"	20" x 8"
1,500	22" x 8"	22" x 8"	24" x 8"	24" x 8"

**Footings Type 8.8.36**

Soil PSI	Snow Load			
	50	60	70	80
3,000	16" x 8"	16" x 8"	16" x 8"	16" x 8"
2,000	20" x 8"	20" x 8"	22" x 8"	24" x 8"
1,500	26" x 8"	28" x 8"	30" x 8"	30" x 8"



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3  
Construction

R3: 10.28.14 - Deck Change

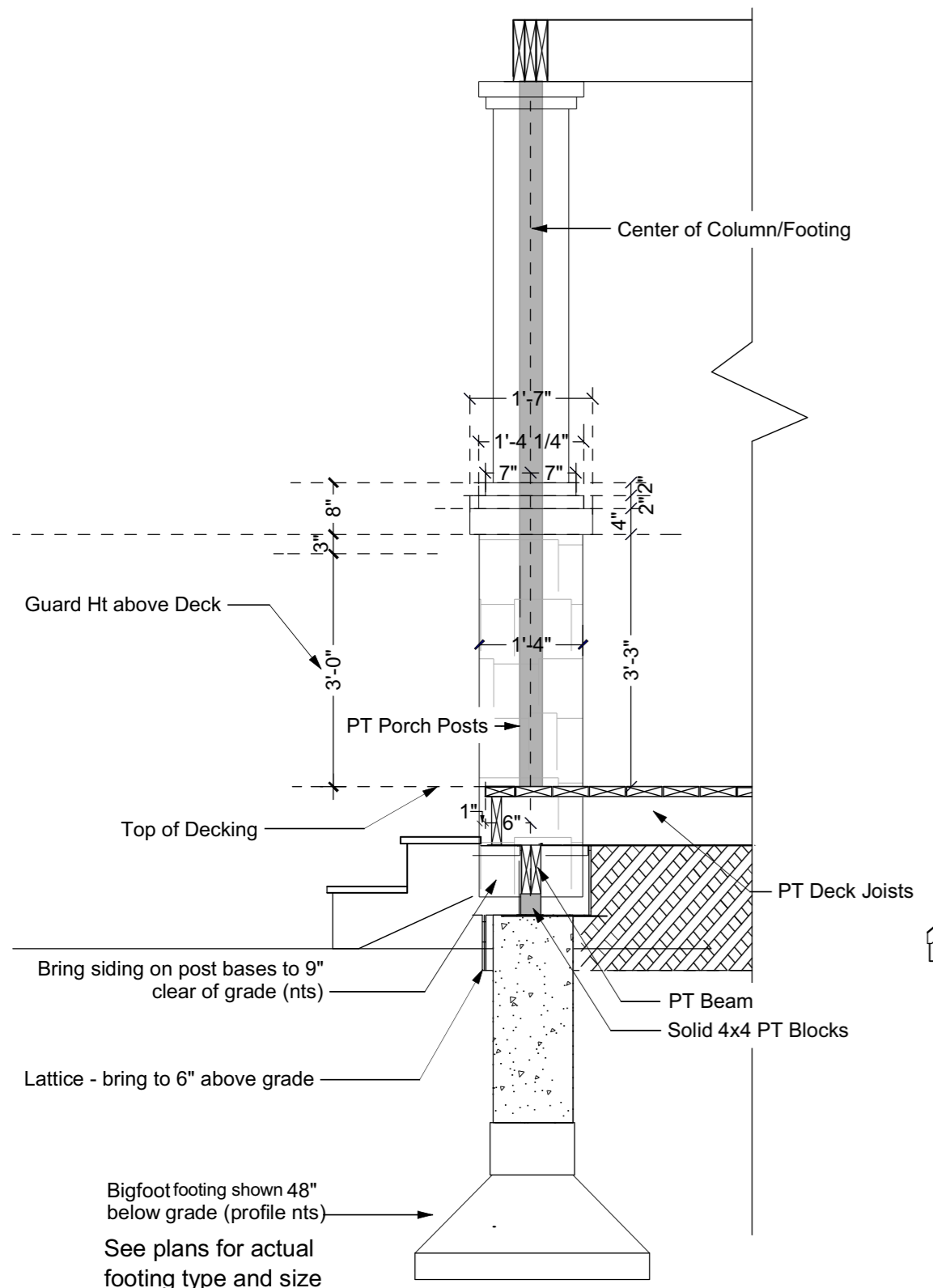


**Front Elevation**

Not shown - number of steps may vary - handrail may be required in jurisdictions that have not adopted IRC 2009

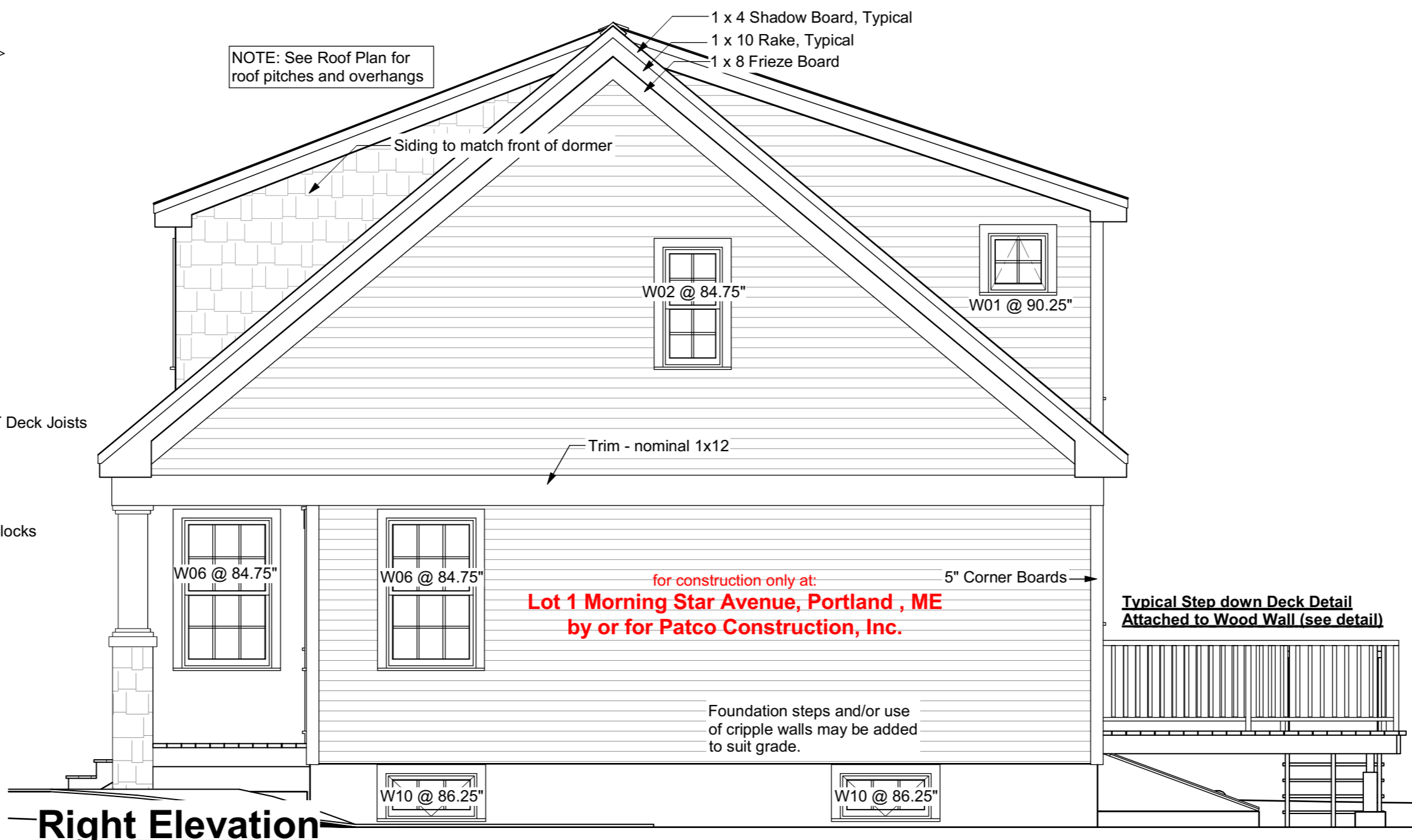
Note - Actual grade level may vary. Where zoning height restrictions apply, builder shall verify conformance. Manual markup of drawings to demonstrate compliance is recommended.

Garage slab height may vary. If garage slab height is lower than shown, consult Artform for aesthetic direction. Taller garage doors, transoms, lintels and/or additional frieze boards may be required to achieve desired look.



**Column Detail**

From Column Center = 7" to Edge of Decking, 6" to Edge of Deck Framing.



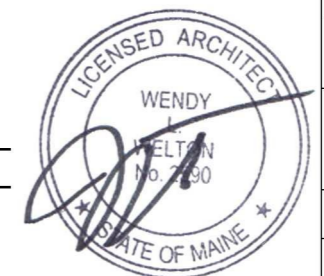
**Right Elevation**

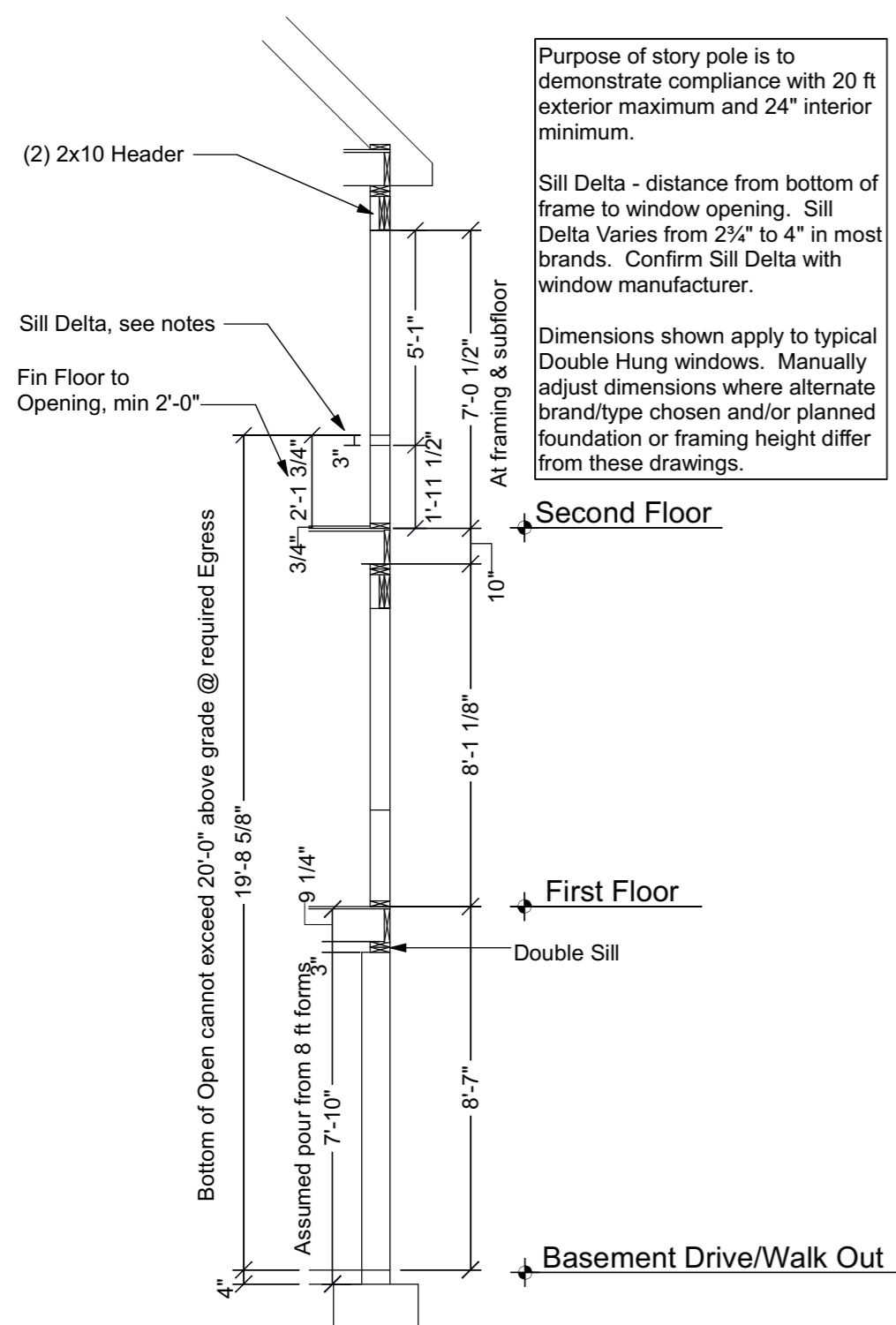
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If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that fall within our scope, as listed on the first page. We can also often provide affordable support for issues that are your responsibility, such as energy design/calcs, or additional detailing.

**Artform Home Plans**  
AFHP Design # 190.124 KR  
© 2006-2014 Wendy L. Welton 603.431.9559

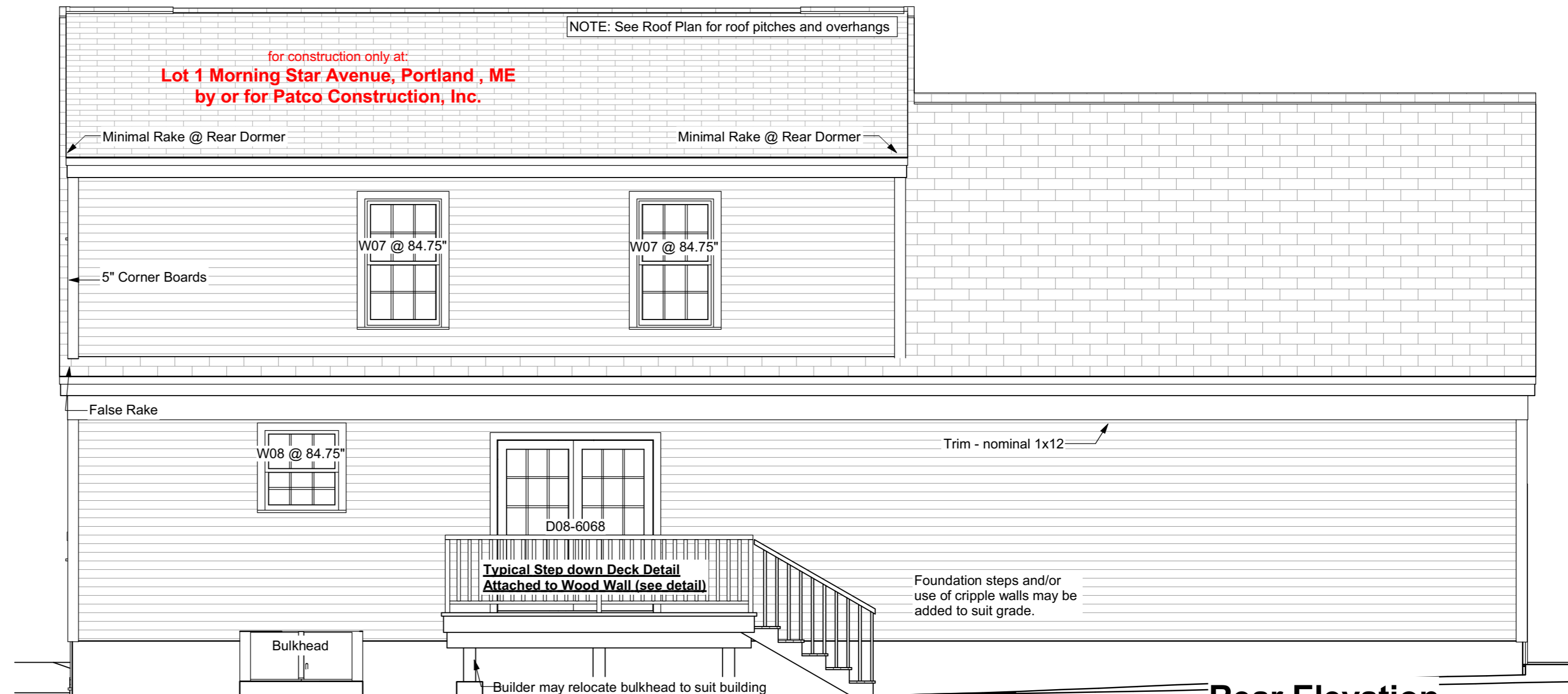
**April Calla, Classic**  
Lot 1 Morning Star Avenue  
Portland, ME





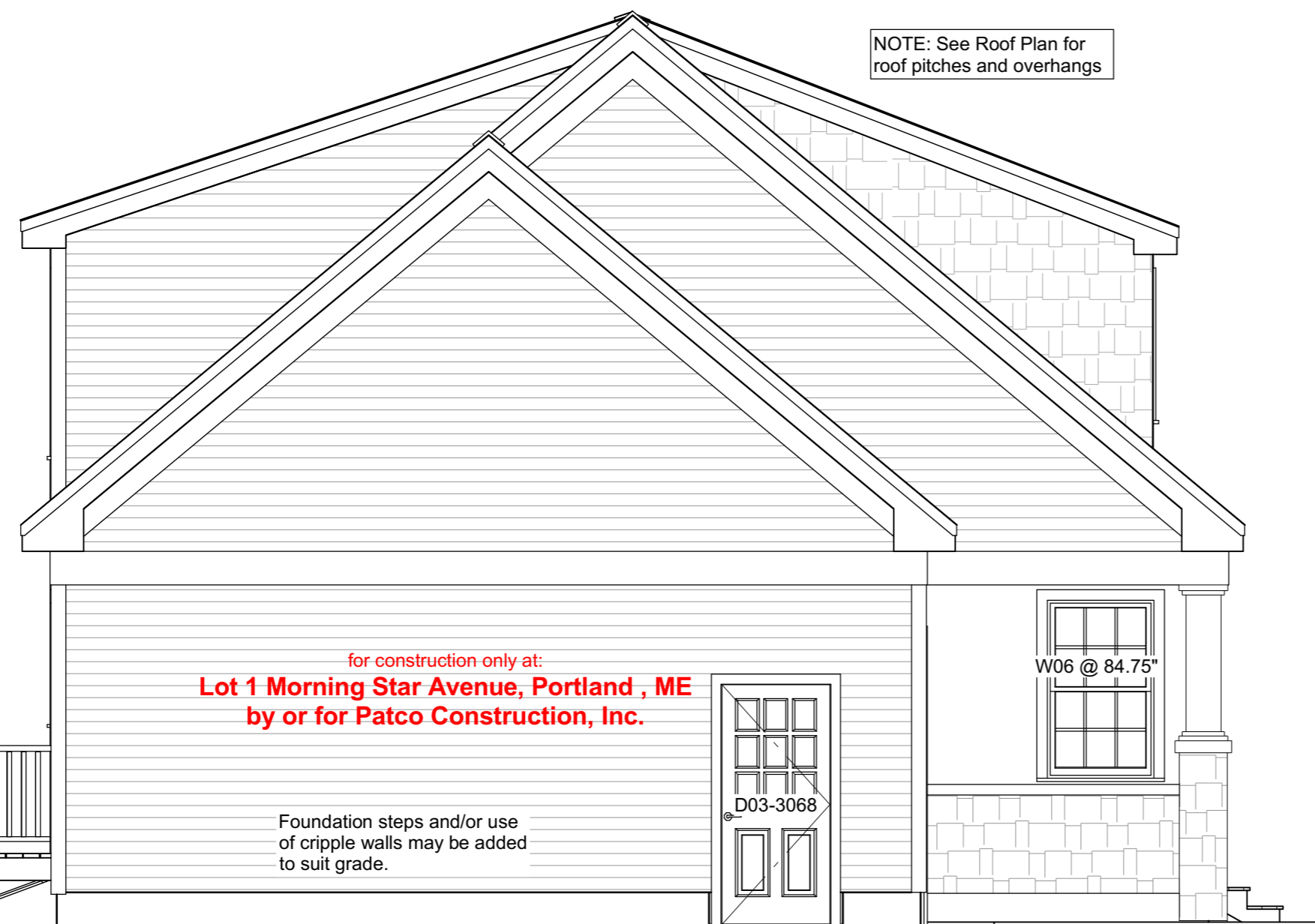
**Window Story Pole**

Scale 1/4"=1'-0"

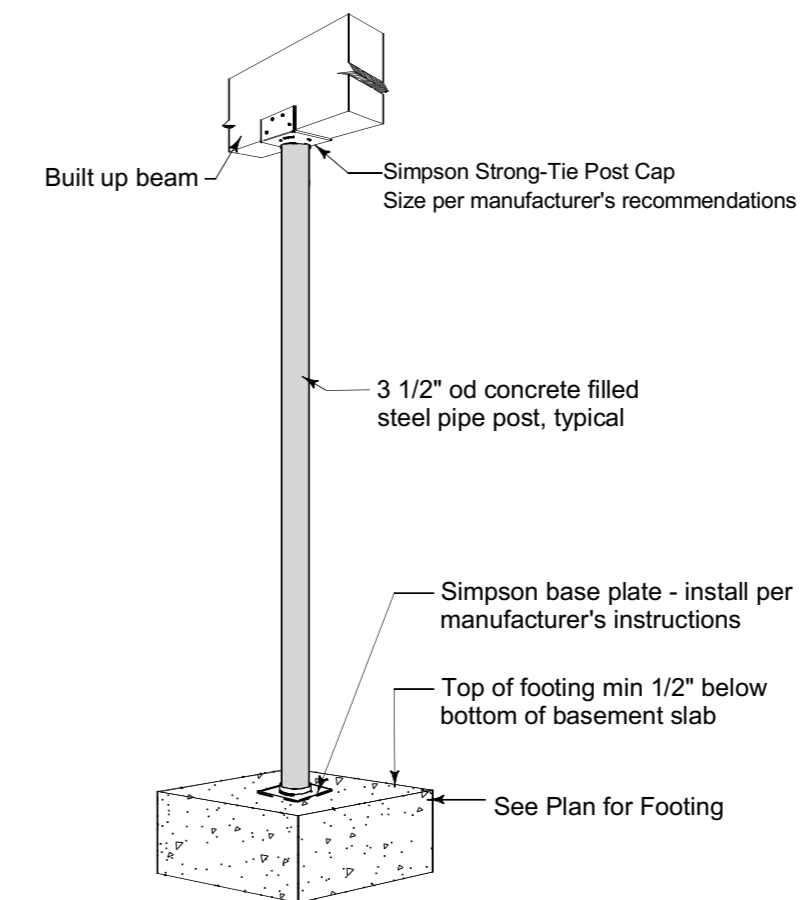


**Rear Elevation**

Posts under deck can be solid 4x4 up to 48" in height, solid 6x6 PT for higher decks. Consult Artform for decks higher than 8 ft off grade.  
 Builder may relocate bulkhead to suit building site. Basement egress is required. Builder may substitute other code conforming egress, such as window with egress window well

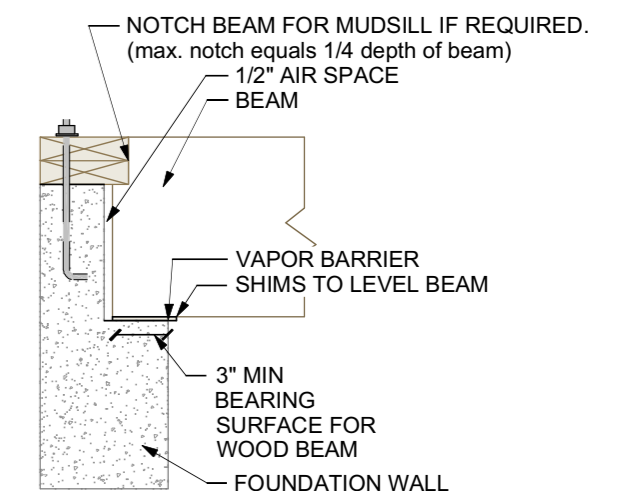


**Left Elevation**



**Typical Basement Post**

Not to Scale

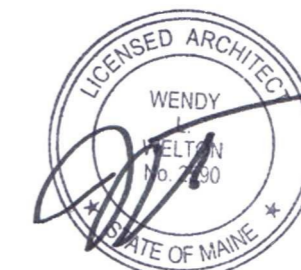


**Beam Pocket**

Scale 1/2"=1'-0"

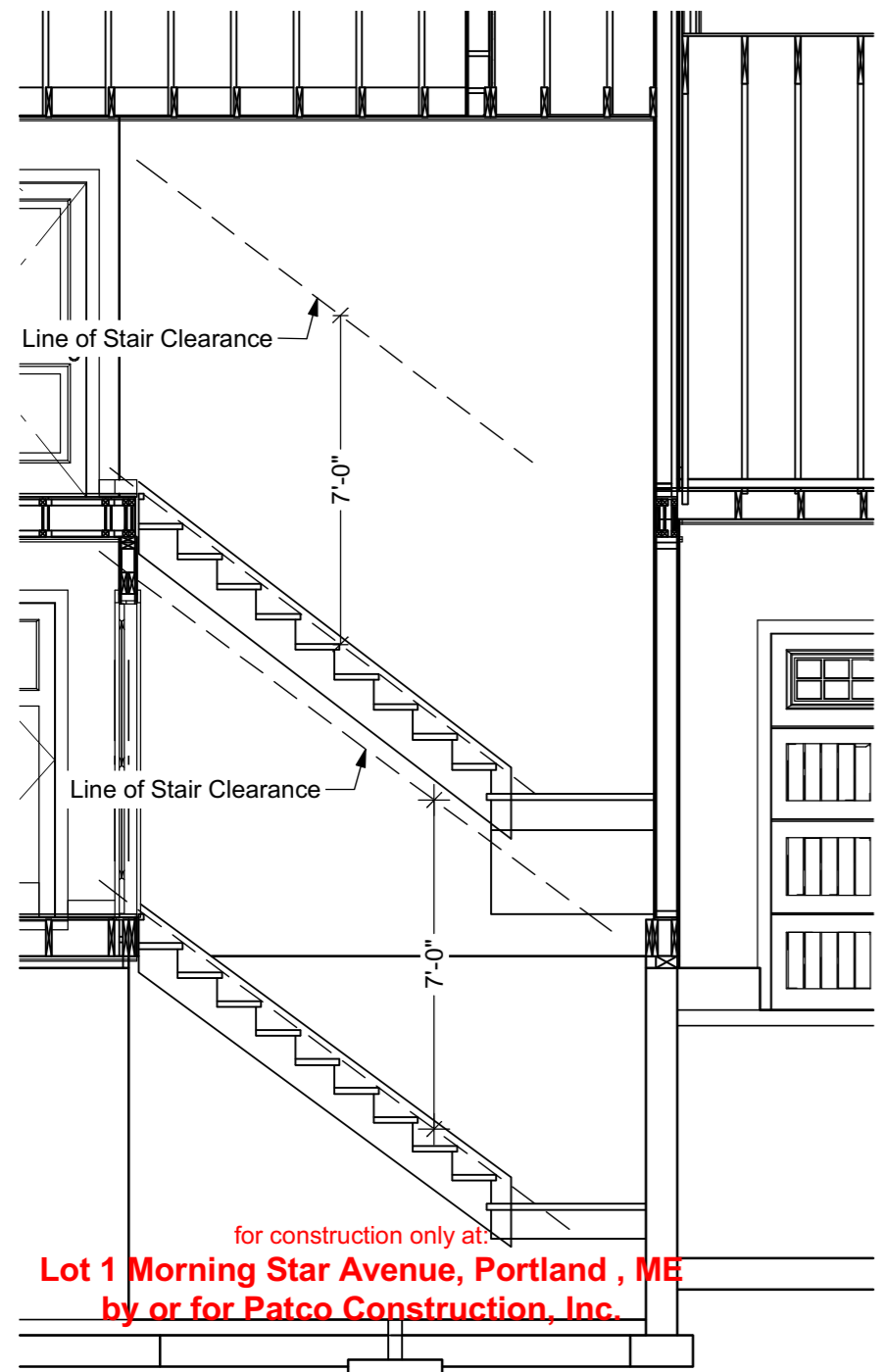
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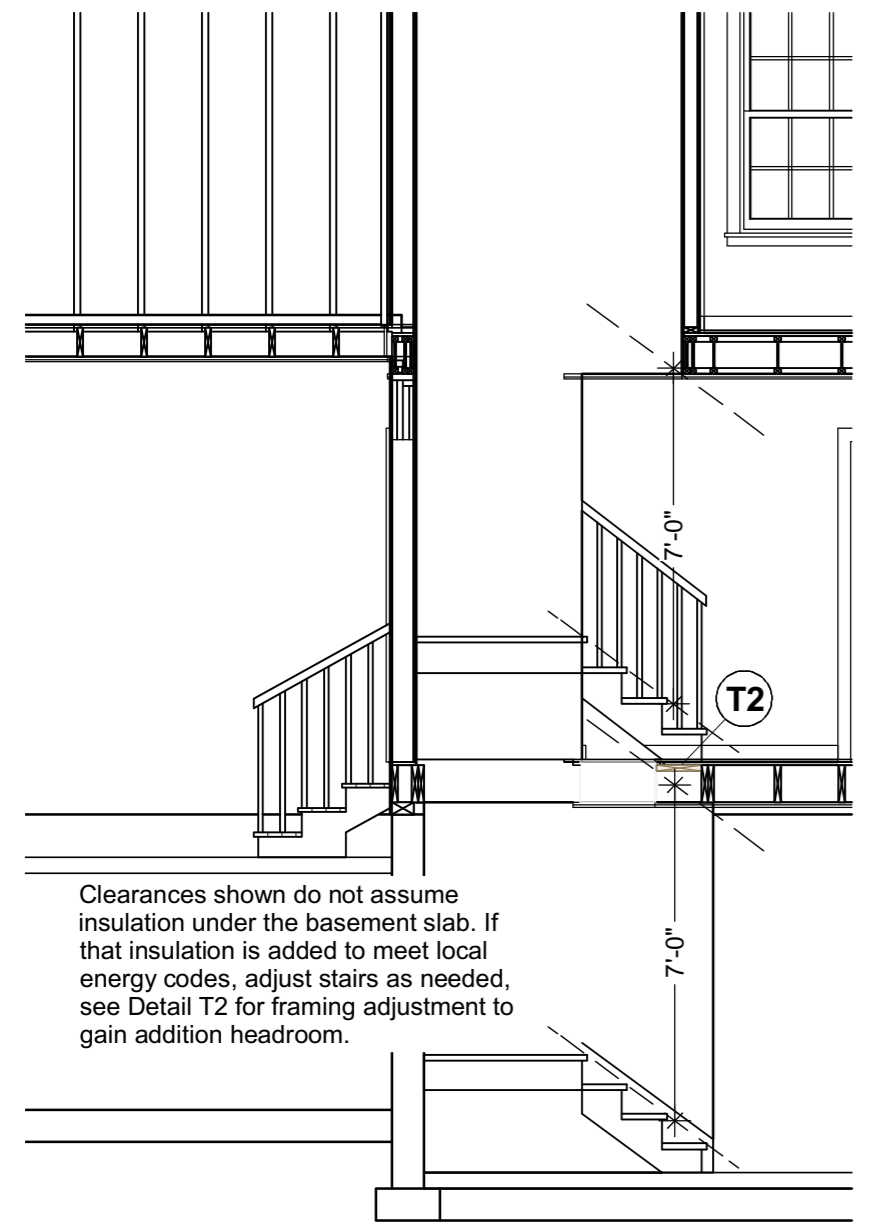


<b>Artform Home Plans</b> AFHP Design # 190.124 KR © 2006-2014 Wendy L. Welton 603.431.9559		<b>5</b>
<b>April Calla, Classic</b> Lot 1 Morning Star Avenue Portland, ME		
1/4"=1'-0" unless noted otherwise / Print @ 1:1 PDF created on: 9/16/2014, drawn by ACJ	Issued for: <b>Construction</b>	

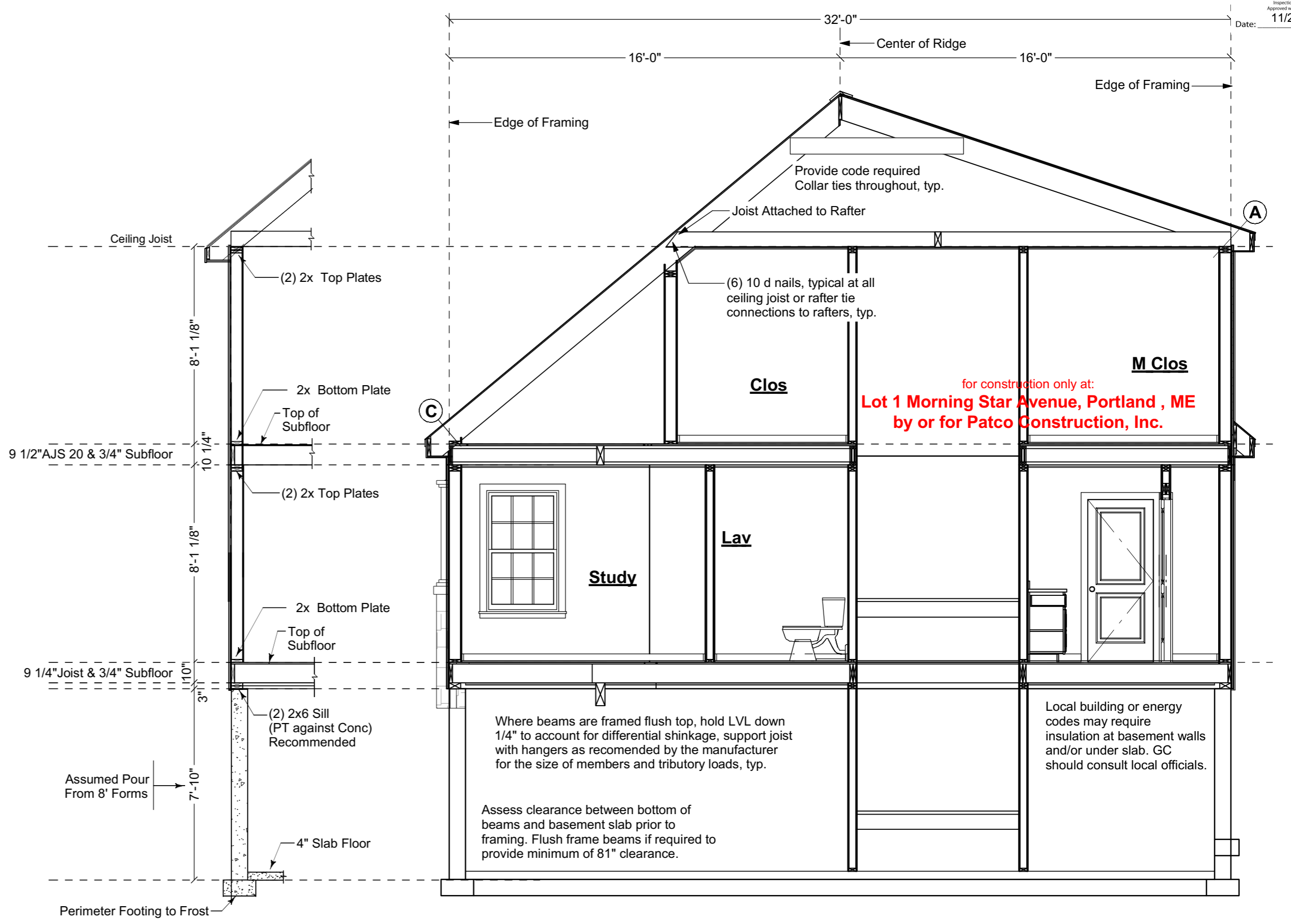
9/16/2014 10:37:34 AM  
Hiby Collection\April in the Country\April Calla 190124 - Classic124.v4 KR - alt stair design\CD 190.124.v4 KR 850 April Calla Classic - 1 Morning Star.layout



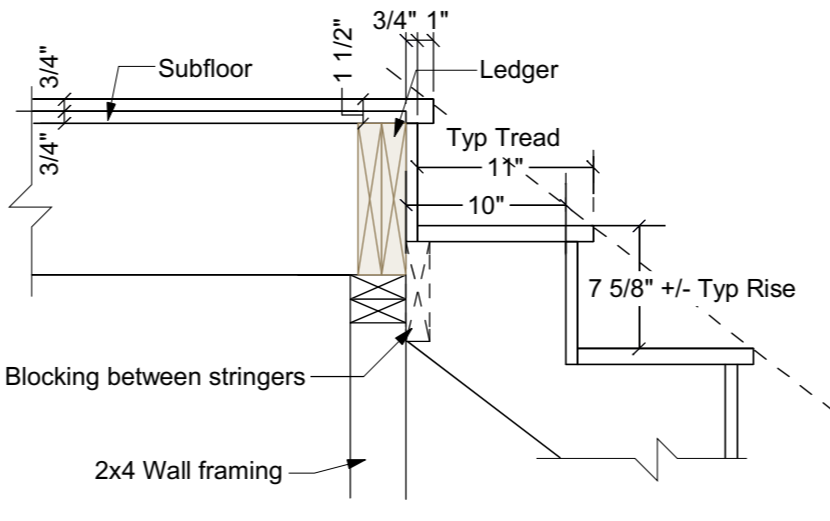
**Line of Stair Clearance (Upper)**



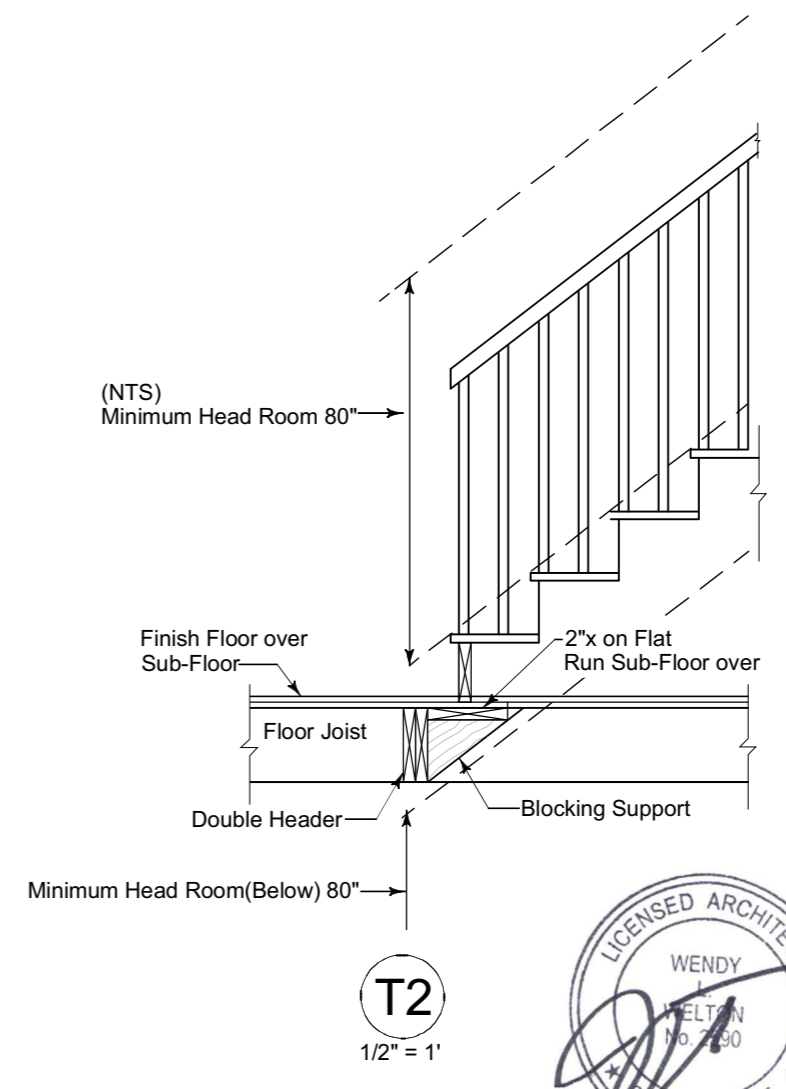
**Line of Stair Clearance (Lower)**



**1 Cross Section @ Study**



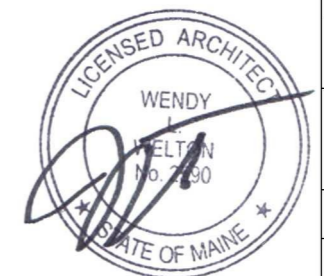
Detail shows assumptions used for framing plan RO  
Framer may adjust to suit different head support methods  
**Top of Carriage (B)**  
Scale: 1" = 1'-0"



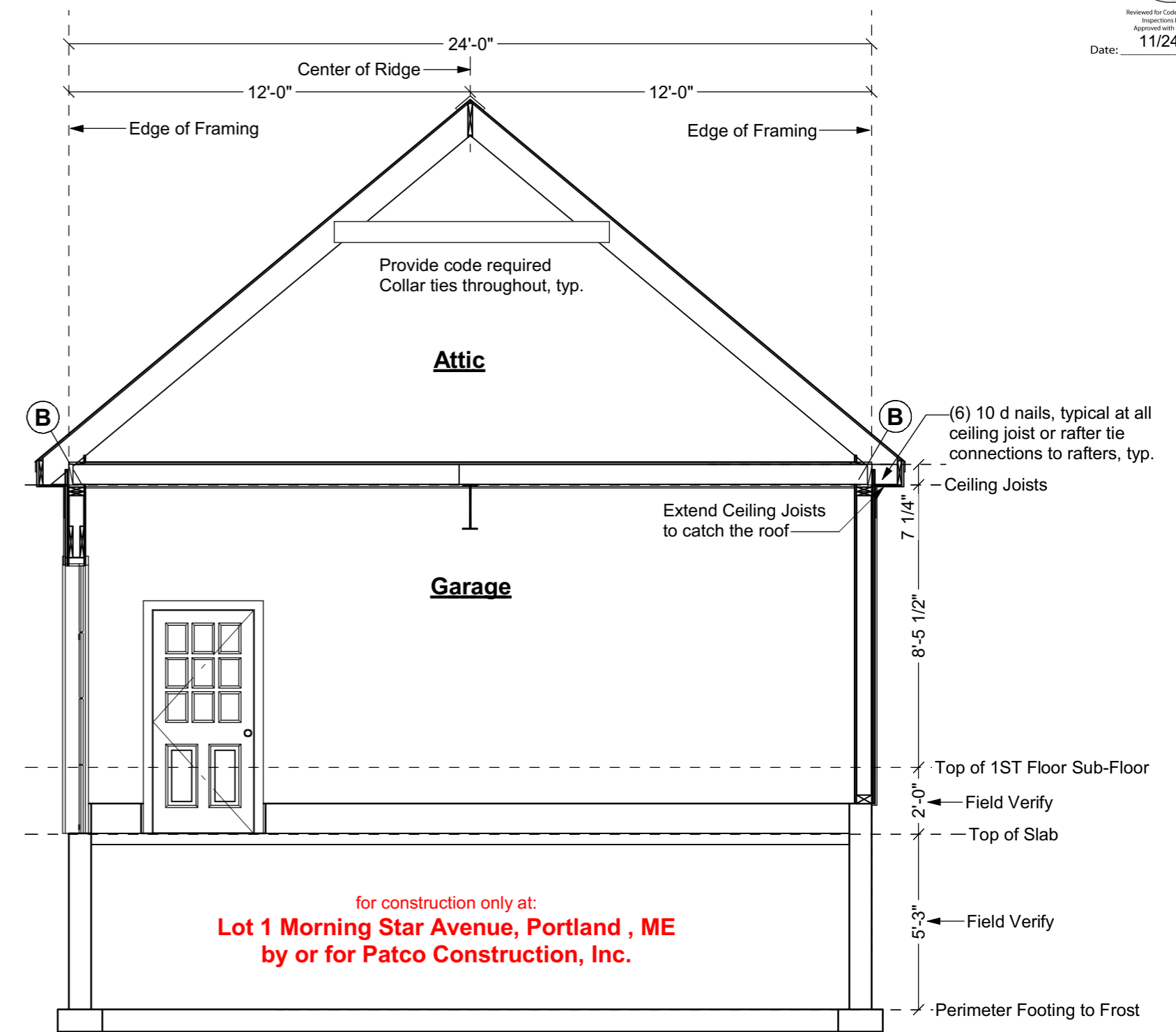
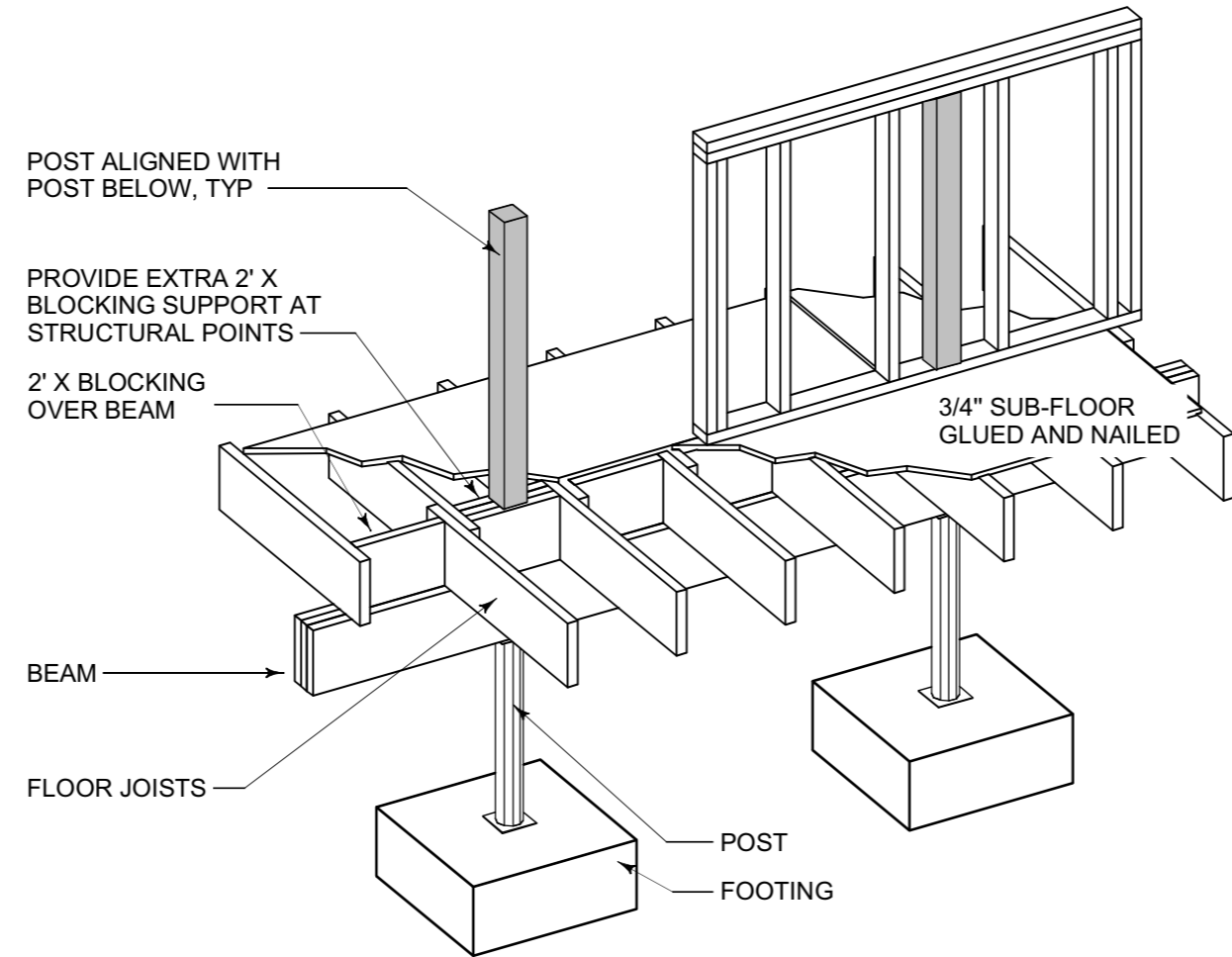
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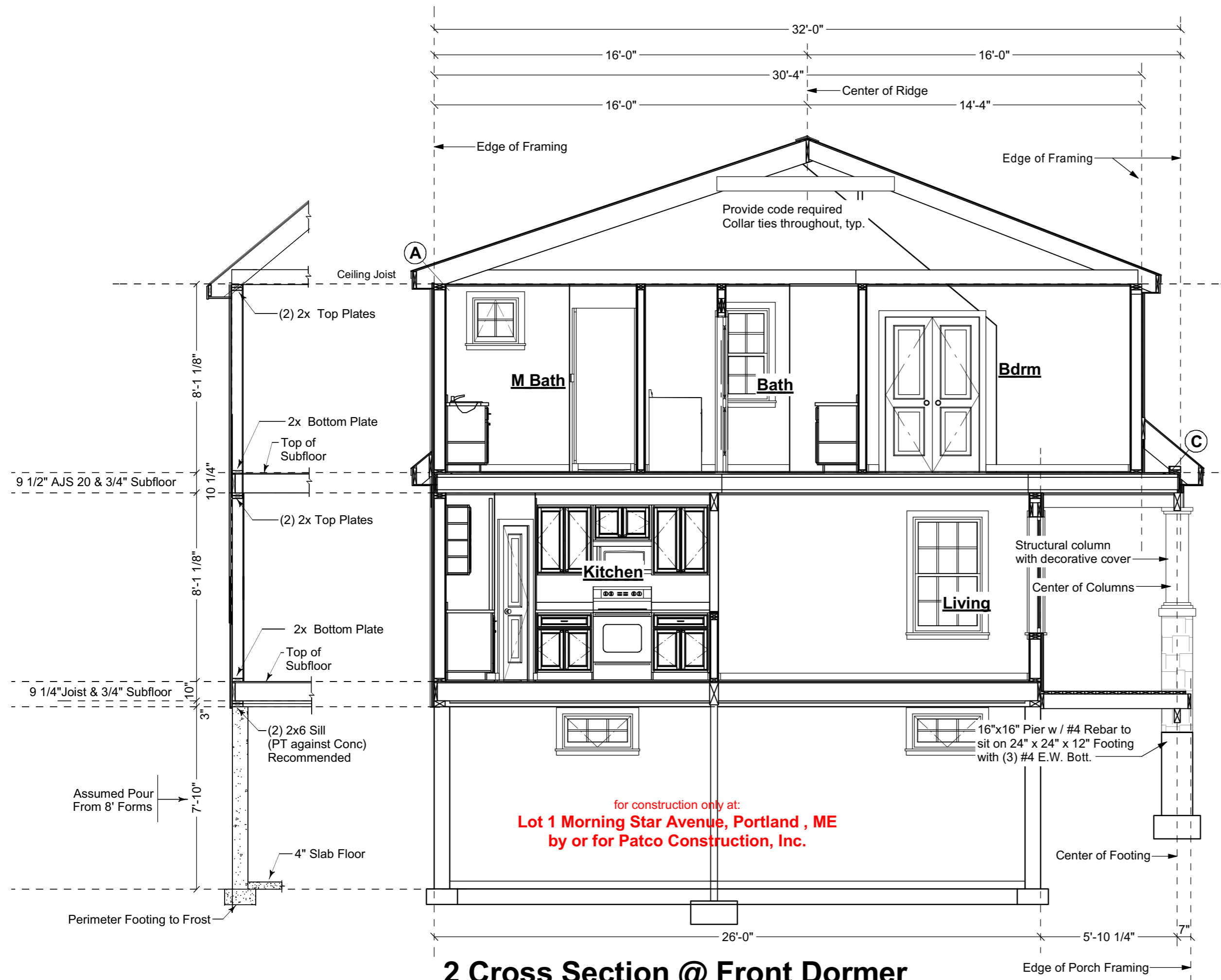
		<p><b>6</b></p>
<p>AFHP Design # 190.124 KR © 2006-2014 Wendy L. Welton 603.431.9559</p> <p><b>April Calla, Classic</b> Lot 1 Morning Star Avenue Portland, ME</p>		
<p>1/4"=1'-0" unless noted otherwise / Print @ 1:1 PDF created on: 9/16/2014, drawn by ACJ</p>		<p>Issued for: <b>Construction</b></p>



Follow manufacturer's instructions both for installation of joist hangers to joist and to beam. The illustration below, by Simpson Strong Tie, is provided as a courtesy. Consult their full manual for acceptable fastener sizes and other important instructions.



**3 Cross Section @ Garage**



**2 Cross Section @ Front Dormer**

for construction only at:  
**Lot 1 Morning Star Avenue, Portland, ME**  
by or for **Patco Construction, Inc.**

for construction only at:  
**Lot 1 Morning Star Avenue, Portland, ME**  
by or for **Patco Construction, Inc.**

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**Artform Home Plans**

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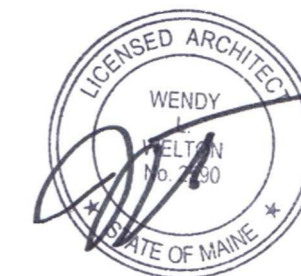
**April Calla, Classic**  
Lot 1 Morning Star Avenue  
Portland, ME

**7**

1/4"=1'-0" unless noted otherwise / Print @ 1:1  
PDF created on: 9/16/2014, drawn by ACJ

Issued for:  
**Construction**

R2: 9.15.14 - Reverse







**Framers Check List**

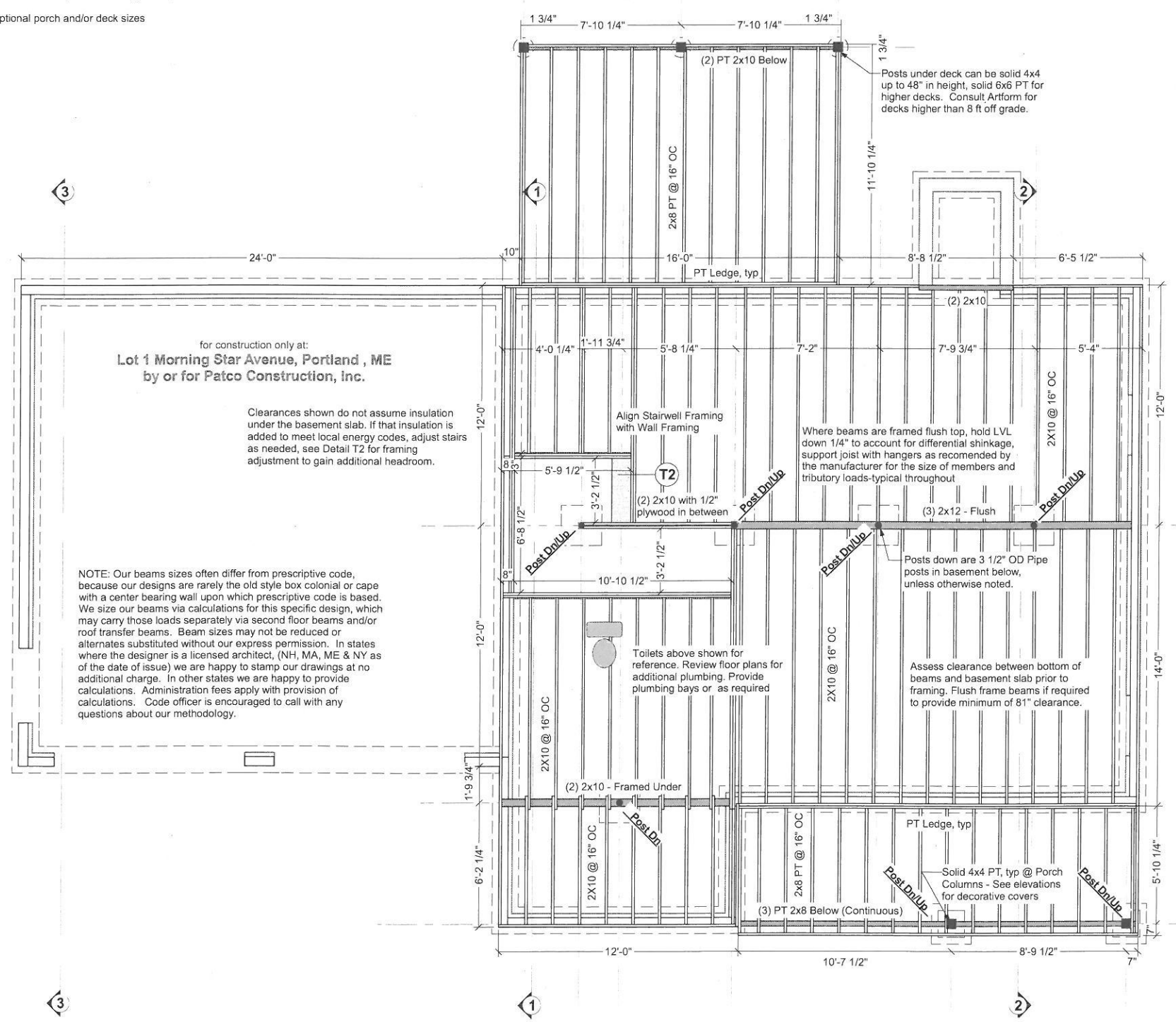
Confirm or review the following prior to framing:

Initials Date Checked

- \_\_\_\_\_ Framing Plans, floor plans, elevations & sections on-site & reviewed
- \_\_\_\_\_ Confirmed window brand and sizes, adjusted RO's
- \_\_\_\_\_ Confirmed kitchen sink location & assoc. window
- \_\_\_\_\_ Confirmed duct chase sizes
- \_\_\_\_\_ Consult GC re: regional adjustments to framing member sizes per lumber yard calculations
- \_\_\_\_\_ If rafter size changed to accommodate snow load different, reviewed details, particularly where windows near roofs, for needed adjustments
- \_\_\_\_\_ Confirmed optional porch and/or deck sizes

10/28/2014 11:37:08 AM

H:\by Collection\April in the Country\April Callia Classic - 1 Morning Star.layout



for construction only at:  
**Lot 1 Morning Star Avenue, Portland, ME**  
by or for Patco Construction, Inc.

Clearances shown do not assume insulation under the basement slab. If that insulation is added to meet local energy codes, adjust stairs as needed, see Detail T2 for framing adjustment to gain additional headroom.

NOTE: Our beams sizes often differ from prescriptive code, because our designs are rarely the old style box colonial or cape with a center bearing wall upon which prescriptive code is based. We size our beams via calculations for this specific design, which may carry those loads separately via second floor beams and/or roof transfer beams. Beam sizes may not be reduced or alternates substituted without our express permission. In states where the designer is a licensed architect, (NH, MA, ME & NY as of the date of issue) we are happy to stamp our drawings at no additional charge. In other states we are happy to provide calculations. Administration fees apply with provision of calculations. Code officer is encouraged to call with any questions about our methodology.

Toilets above shown for reference. Review floor plans for additional plumbing. Provide plumbing bays or as required

Where beams are framed flush top, hold LVL down 1/4" to account for differential shrinkage, support joist with hangers as recommended by the manufacturer for the size of members and tributary loads-typical throughout

Posts down are 3 1/2" OD Pipe posts in basement below, unless otherwise noted.  
Assess clearance between bottom of beams and basement slab prior to framing. Flush frame beams if required to provide minimum of 81" clearance.

Solid 4x4 PT, typ @ Porch Columns - See elevations for decorative covers

**First Floor Framing**  
Structure designed for  
Snow Load of 55 PSF



**Built-up Beams:**  
Unless otherwise noted, connect multiple ply beams as follows:

- (2) 9 1/4" LVL:
  - Flush framed
    - (2) rows 3 3/8" TrussLock @ 24" oc, or
    - (2) rows SDS 1/4x3 1/2 @ 24" oc
  - Framed under (2) rows 10d nails @ 24" oc
- (2) 11 1/4" LVL:
  - Flush framed
    - (2) rows 3 3/8" TrussLock @ 19.2" oc, or
    - (2) rows SDS 1/4x3 1/2 @ 19.2" oc
  - Framed under (2) rows 10d nails @ 24" oc
- (2) 16" LVL or greater:
  - Flush framed
    - (3) rows 3 3/8" TrussLock @ 19.2" oc, or
    - (3) rows SDS 1/4x3 1/2 @ 19.2" oc
  - Framed under (2) rows 10d nails @ 24" oc
- (3) 9 1/4" LVL:
  - Flush framed
    - (2) rows 3 3/8" TrussLock @ 19.2" oc, or
    - (2) rows SDS 1/4x3 1/2 @ 19.2" oc
  - Framed under (2) rows 10d nails @ 24" oc
- (3) 11 1/4" LVL:
  - Flush framed
    - (2) rows 3 3/8" TrussLock @ 16" oc, or
    - (2) rows SDS 1/4x3 1/2 @ 16" oc
  - Framed under (2) rows 10d nails @ 24" oc
- (3) 16" LVL or greater:
  - Flush framed
    - (3) rows 3 3/8" TrussLock @ 16" oc, or
    - (3) rows SDS 1/4x3 1/2 @ 16" oc
  - Framed under (2) rows 10d nails @ 24" oc
- (4) 9 1/4" LVL:
  - Flush framed
    - (2) rows 5" TrussLock @ 16" oc, or
    - (2) rows SDS 1/4x6 @ 16" oc
  - Framed under (2) rows 10d nails @ 24" oc
- (4) 11 1/4" LVL:
  - Flush framed
    - (2) rows 5" TrussLock @ 16" oc, or
    - (2) rows SDS 1/4x6 @ 16" oc
  - Framed under (2) rows 10d nails @ 12" oc
- (4) 16" LVL or greater:
  - Flush framed
    - (3) rows 5" TrussLock @ 16" oc, or
    - (3) rows SDS 1/4x6 @ 16" oc
  - Framed under (2) rows 10d nails @ 12" oc

**Beam Substitutions:**

(2) 9 1/4" LVL may replace a double or triple 2x10 beam. No other substitutions are allowed. Conventional lumber beams MAY NOT be substituted for LVL beams by any "rule of thumb". Substitutions must be calculated by either Artform or a structural engineer. If calculated by a structural engineer, provide stamped plans and/or calculations.

We specify LVL beams as built up members to allow framers to use existing stock. You may substitute single piece LVLs of equivalent overall size for built-up members, unless otherwise noted.

Built-up members MAY NOT replace single piece LVL's where specified.

Where a beam of 1 3/4" or less in width is specified as framed under, either brace at 48" or double member for lateral stability.

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 AFHP Design # 190.124 KR  
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 April Calla, Classic  
 Lot 1 Morning Star Avenue  
 Portland, ME

8

1/4"=1'-0" unless noted otherwise / Print @ 1:1  
PDF created on: 10/28/2014, drawn by ACJ  
R3: 10.28.14 - Deck Change  
Issued for: Construction





Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

Morningstare Lane CBL #385 001102

385-C-11

PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life Date: 11/24/14



Jeff Levine, AICP, Director  
Director of Planning and Urban Development

Tammy Munson  
Director, Inspections Division

**Electronic Signature and Fee Payment Confirmation**

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

- to provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),
- call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,
- hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,
- or deliver a payment method through the U.S. Postal Service, at the following address:

City of Portland  
Inspections Division  
389 Congress Street, Room 315  
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. **After all approvals have been met and completed, I will then be issued my permit via e-mail.** No work shall be started until I have received my permit.

Applicant Signature: [Signature] Date: 9/12/2014

I have provided digital copies and sent them on: September 22nd 2014 [Signature] Date: 9/22/14

NOTE: All electronic paperwork must be delivered to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov) or by physical means ie; a thumb drive or CD to the office.

Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

E

# Level I – Minor Residential Development Review Applicatio Portland, Maine

Planning and Urban Development Department  
Planning Division

Date: 11/24/14

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level I: Minor Residential site plan and building permit.

### Level I: Minor Residential development includes:

- Development of a single-family or a two-family building, excluding building additions, decks, or accessory structures, such development shall be deemed minor residential development for purposes of this article regardless of its size.
- The addition of any additional dwelling unit to a building initially reviewed as a two-family dwelling or multifamily structure, if the additional dwelling unit does not require subdivision review under Maine State Statutes and Portland's Subdivision Ordinance.

**As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000 in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at <http://www.portlandmaine.gov/756/Codes-Regulations-Ordinances>

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/756/Codes-Regulations-Ordinances>

#### Inspection Division

Room 315, City Hall  
389 Congress Street  
(207) 874-8703

#### Office Hours

Monday thru Friday  
8:00 a.m. – 4:00 p.m.

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#### Planning Division

Fourth Floor, City Hall  
389 Congress Street  
(207) 874-8721

#### Office Hours

Monday thru Friday  
8:00 a.m. – 4:30 p.m.



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<b>Project Address:</b>		
<b>Total Square Footage of Proposed Structure/Area:</b> Home: 1818 sq ft (904 1st / 914 2nd) Porch: 120 sq ft Rear Deck: 192 sq ft Garage: 576 sq ft	<b>Area of lot (total sq. ft.):</b> Garage: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Detached <input type="checkbox"/> Sq. Ft.: <u>576 sq ft</u>	Number of St Number of B: Number of B: Date: 11/24/14
<b>Tax Assessor's Chart, Block &amp; Lot(s):</b> Chart#      Block #      Lot #		
Current legal use: <u>VACANT LAND</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Is property part of a subdivision? <u>Yes</u> If yes, please name <u>Morningstar Lane</u> Project Description:		
<b>APPLICANT</b> – (must be owner, Lessee or Buyer) Name: <u>Jesse Braley</u> Business Name, if applicable: <u>Patco Construction, Inc.</u> Address: <u>1293 Main. Street</u> City/State : <u>Sanford, ME</u> Zip Code: <u>04073</u>		Work # <u>207-324-5574 ex 115</u> Home# Cell # <u>207-651-7181</u> e-mail: <u>jbraley@patco.com</u>
<b>OWNER INFORMATION</b> – (if different from Applicant) Name: Address: City/State : Zip Code:		Work # Home# Cell # e-mail:
<b>CONTRACTOR INFORMATION:</b> Name: <u>Patco Construction, Inc.</u> Address: <u>1293 Main St.</u> City/State : <u>Sanford, ME</u> Zip Code: <u>04073</u> Phone Number: <u>651-7181</u> e-mail: <u>jbraley@patco.com</u>		<b>Contact when Building Permit is Ready:</b> Name: <u>Jesse Braley</u> Phone Number: <u>651-7181</u> e-mail: <u>jbraley@patco.com</u>



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Inspections Division  
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<b>ENGINEER INFORMATION:</b> Name: Address: City/State : Zip Code:	<b>Engineer Contact Information</b> E-mail: Home #: Work #: Cell #: Fax#: Date: 11/24/14
<b>SURVEYOR INFORMATION:</b> Name: Livingston Hughes Surveyors (David Hughes) Address: 88 Upper Guinea Rd City/State : Zip Code: Kennebunkport, ME 04046	<b>Surveyor Contact Information</b> E-mail: dhughes@livingstonhughes.com Home #: Work #: 207-967-0761 Cell #: Fax#:
<b>ARCHITECT INFORMATION:</b> Name: Art Form Architecture, LLC (Wendy Walton) Address: 580 Greenland Rd City/State : Portsmouth, NH Zip Code: 03801	<b>Architect Contact Information</b> E-mail: wendy@artform.us Home #: Work #: 603-431-9559 Cell #: Fax#:

### DEVELOPMENT REVIEW FEES:

Payment may be made in cash, credit card or check addressed to the City of Portland.

<b>Level I Minor Residential Site Plan</b>	<b>Fees Paid:</b>
1. <b>Application Fee - \$300.00</b>	\$ 300 <sup>-</sup>
2. <b>Inspection Fee - \$100.00</b> (for site plan inspection by the Planning Division)	\$ 100 <sup>-</sup>
3. <b>Certificate of Occupancy Fee - \$100.00</b>	\$ 100 <sup>-</sup>
4. <b>Building Permit (Cost of Work)</b>	\$ 2690 <sup>-</sup>
<b>Total Due:</b>	\$ 3190. <sup>00</sup>
<b>Building Permit Fee</b> - \$25 for the first \$1,000 construction cost - \$11 every additional \$1,000.	
<b>Performance Guarantee</b> - Exempt except for those projects that complete construction in the winter and the site work is incomplete.	



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 Inspections Division  
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Please submit all of the information outlined on the applicable Checklist, show and 5 of this Application. In addition, a CD or PDF (e-mailed to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)) of the entire Application, including be submitted with the Application. Failure to do so may result in the automatic permit. Date: 11/24/14

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: [www.portlandmaine.gov](http://www.portlandmaine.gov) Copies of the ordinances may be purchased through the Planning Division. All of the information on the checklist must be submitted for review. The applicant must check off the items contained in the application package to ensure the application is complete.


**Property Taxes:**

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before a permit of any kind is accepted.

**Separate Permits:**

Separate permits are required for internal and external plumbing, HVAC, and electrical installations.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of Applicant: 	Date: 9/18/2014
--	--------------------

This is not the permit - you may not commence any work until the permit is issued.

A CD or PDF of the entire application, including all plans, must be submitted with the

<b>General Submittal Requirements – Level I Minor Residential</b>			
<b>Applicant Checklist</b>	<b>Planner Checklist (internal)</b>	<b>Number of Copies</b>	<b>Submittal Requirement</b>
<input checked="" type="checkbox"/>		2	Completed application form and check list.
<input checked="" type="checkbox"/>		1	Application fees.
<input checked="" type="checkbox"/>		2	Evidence of right, title and interest.
<input checked="" type="checkbox"/>		2	Copies of required state and/or federal permits.
<input checked="" type="checkbox"/>		2	Written Description of existing and proposed easements or other burdens.
<input checked="" type="checkbox"/>		2	Written requests for waivers from individual site plan and/or technical standards.
<input checked="" type="checkbox"/>		2	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). Refer to Fire Department Checklist on page 6 of this application.

application. (e-mail to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov))



Reviewed for Code Compliance  
 Inspections Division  
 Approved with Conditions

### Site Plans and Boundary Survey Requirements – Level I Minor Resident

Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
<input type="checkbox"/>		3	Boundary survey meeting the requirements of section 11.010 of the City of Portland Technical Manual with the site plan information listed below shown on the plan, including a north arrow and a scale greater than or equal to 1"=20'. (Photocopies of the plat or hand drawn building footprints will not be accepted.)
<input type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Zoning district, setbacks and dimensional requirements. Show zone lines and overlay zones that apply to the property, including Shoreland Zone &amp;/or Stream Protection Zone.</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Existing and proposed structures (including location of proposed piers, docks or wharves if in Shoreland Zone).</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Location and dimension of existing and proposed paved areas.</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Proposed ground floor area of building.</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Finish floor elevation (FEE) or sill elevation.</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Exterior building elevations (show all 4 sides).</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Existing and proposed utilities (or septic system, where applicable)</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Existing and proposed grading and contours.</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Proposed stormwater management and erosion controls.</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Total area and limits of proposed land disturbance.</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Proposed protections to or alterations of watercourses.</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Proposed wetland protections or impacts.</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Existing vegetation to be preserved and proposed site landscaping and street trees (2 trees per unit for a single or two-family house).</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Existing and proposed curb and sidewalk, except for a single family home.</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Existing and proposed easements or public or private rights of way.</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Show foundation/perimeter drain and outlet.</li> </ul>
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> <li>▪ Additional requirements may apply for lots on unimproved streets.</li> </ul>

Date: 11/24/14





Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

**Building Permit Submittal Requirements –Level I: Minor Residential Development**

Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
		<b>1</b>	<b>One (1) complete set of construction drawings m</b>
<input checked="" type="checkbox"/>			▪ <i>Cross section with framing details</i>
<input checked="" type="checkbox"/>			▪ <i>Floor plans and elevations to scale</i>
<input checked="" type="checkbox"/>			▪ <i>Stair details including dimensions of : rise/run, head room, guards/handrails, baluster space</i>
<input checked="" type="checkbox"/>			▪ <i>Window and door schedules</i>
<input checked="" type="checkbox"/>			▪ <i>Foundation plans w/required drainage and damp proofing, if applicable</i>
<input checked="" type="checkbox"/>			▪ <i>Detail egress requirements and fire separation, if applicable</i>
<input checked="" type="checkbox"/>			▪ <i>Insulation R-factors of walls, ceilings &amp; floors &amp; U-factors of windows per the IECC 2003</i>
<input checked="" type="checkbox"/>			▪ <i>Deck construction including: pier layout, framing, fastenings, guards, stair dimensions</i>
<input checked="" type="checkbox"/>			▪ <i>As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)</i>
<input checked="" type="checkbox"/>			▪ <i>Reduced plans or electronic files in pdf format are also required if original plans are larger than 11X17"</i>

Date: 11/24/14

**\*\* Reminder: \*\***

1. **A CD or PDF of the entire application, including all plans, must be submitted with the application.**
2. Separate permits are required for internal and external plumbing, HVAC, and electrical installations.
3. Please submit all of the information outlined in this application checklist.
4. If the application is incomplete, the application may be refused.
5. The Planning and Urban Development Department may request additional information prior to the issuance of a permit.



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Inspections Division  
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### Site Plan Standards for Review of Level I: Minor Residential

Level I: Minor Residential site plan applications are subject to the following site plan standards contained in section 14-526 of Article V, Site Plan:

Date: 11/24/14

- 14-526 (a) **Transportation Standards:**
  - 2.a. Site Access and Circulation (i) and (ii);
  - 2.c. Sidewalks: *(if the site plan is a two- family or multi-family building only)*;
  - 4.a. Location and required number of vehicle parking spaces:(i) and (iv)
  
- 14-526 (b) **Environmental Quality Standards:**
  - 1. Preservation of significant natural features.
  - 2.a. Landscaping and landscape preservation
  - 2.b. Site landscaping (iii)
  - 3.a. Water quality, stormwater management and erosion control: a., d., e., and f.
  
- 14-526 (c) **Public Infrastructure and Community Safety Standards:**
  - 1. Consistency with Master Plan
  - 2. Public Safety and fire prevention
  - 3. Availability and adequate capacity of public utilities; a., c., d., and e.
  
- 14-526 (d) **Site Design Standards:**
  - 5. Historic Resources
  - 9. Zoning related design standards

• *Except as provided in Article III of the City Code, or to conditions imposed under Section 14-526(e) only, or to those submission requirements set forth in section 14-527 as relate solely thereto.*



### PORTLAND FIRE DEPARTMENT SITE REVIEW FIRE DEPARTMENT CHECKLIST



A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

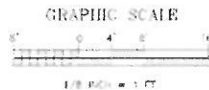
- 1. Name, address, telephone number of applicant. ✓
- 2. Name address, telephone number of architect ✓
- 3. Proposed uses of any structures [NFPA and IBC classification] ✓
- 4. Square footage of all structures [total and per story] ✓
- 5. Elevation of all structures ✓
- 6. Proposed fire protection of all structures ✓
  - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)** ✓
- 7. Hydrant locations ✓



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

Date: 11/24/14

- Each PDF drawing file shall contain no more than one plan sheet. Applications, Reports, Spec books and Code Analysis are considered one document and may be submitted as one PDF file with multiple pages.
- The suggested file naming convention shall not exceed 70 characters. The naming convention requires each applicant to consistently number and name the plan sheets and documents. The recommendation is to include a Category/Discipline letter (such as A for Architectural), a sheet number (numeric sheet sequence), and a descriptive title (such as Existing Exterior Elevation) For example: **A1Existing Exterior Elevations**. Examples of commonly used categories/disciplines and descriptive sheet titles are attached for your reference. **\*\*Please note the descriptive Sheet Title is required for each plan sheet and document. Revised file submissions must use the EXACT same file name as originally submitted. The Electronic Plan Review software will recognize this submission as Version 2.**
- Searchable PDF files are requested for calculations, reports, and other supporting documentation (text files).
- A graphic scale or a scale to reference shall be included on each sheet of the plan set. The scale shall be not less than (1) inch to one (100) feet for the site plan. Plans and maps shall be prepared by competent professionals, based upon the boundary survey. Example of what a graphic scale is below:



- A blank space shall be in the top left corner of all plans must be reserved for the City of Portland electronic stamp.
- Building permit applications require that professionally designed plans must include a Code Analysis sheet including the *Maine Uniform Energy and Building Code* and Portland City Code, Chapter 10, Fire Prevention and Protection, which includes NFPA 1, *Fire Code*, and NFPA 101, *Life Safety Code*. The Fire Code analysis may be required for Site Plan Review. Chapter 10 of the City Code can be viewed at <http://www.portlandmaine.gov/citycode/chapter010.pdf>.



Reviewed for Code Compliance  
 Inspections Division  
 Approved with Conditions

## Instructions and Examples for Naming Your PDF Files for Electronic Submittal

1. Select a Category Discipline below that best fits your PDF drawing or document (A-SK)
2. Insert the Sheet/Page Number - Start at Sheet 1 for each different category (A1, A2, A3 or A1, C1, D1)
3. Insert a Sheet Title/Description (Examples of commonly used descriptions below)
4. Your final file name should resemble this convention: **A1 Existing Exterior Elevations**
5. The file name for each revision of the same plan **must** be exactly the same as the previous version

1. 2. 3.

A	1	Existing Exterior Elevation
D	1	Floor Plans
F	1	Fire Alarm
LS	1	Life Safety Plans

Date: 11/24/14

### Categories/Disciplines and Example Sheet Titles/Descriptions

#### **A = Architectural**

Existing Exterior Elevations  
 Proposed Exterior Elevations  
 Existing Floor Plans  
 Proposed Floor Plans  
 Wall/Partition Type Details  
 Building Sections  
 Interior Elevations  
 Door Schedule  
 Window Schedule  
 Wall Sections  
 Stair Plans & Details  
 Stair Sections & Details  
 Misc. Details

#### **C = Civil**

Structural Notes  
 Structural Notes  
 Structural Notes  
 Existing Conditions  
 Utility  
 Lighting Plan  
 Exterior Lighting Plan  
 Grading/Drainage  
 Erosion Control  
 Detail  
 Survey  
 Site Plan  
 Subdivision Plat

#### **D = Demolition**

Floor Plans  
 Elevation Plans  
 Ceiling Plans

#### **E = Electrical**

Electrical Legend & Abrev.  
 Electrical Floor Plans  
 Power & Lighting Plans  
 Electrical Panels

#### **F = Fire Protection**

Fire Alarm  
 Fire Sprinklers  
 Standpipe Systems  
 Fire Mains and Hydrants

#### **G = General**

Title Cover Sheet/Index  
 Index  
 Code Analysis  
 Key Plan  
 General Notes  
 Scope of Work Plan

#### **I = Interior Finishes**

Floor, Wall & Ceiling Finish Plan  
 Furniture & Fixture Plan  
 Reflected Ceiling Plan  
 Interior Elevations  
 Casework Details  
 Window Schedules  
 Door Schedules

#### **L = Landscaping**

Landscaping Plans

#### **LS = Life Safety**

Life Safety Plans

#### **M = Mechanical**

Mechanical Floor Plans  
 Mechanical Legend & Schedules  
 Mechanical Design  
 Mechanical Details

#### **P = Plumbing**

Plumbing Floor Plans  
 Plumbing Legend & Schedules  
 Plumbing Supply Plans  
 Plumbing Sanitary Plans  
 Plumbing Design  
 Plumbing Details

#### **Q = Equipment**

Appliances  
 Fixtures

#### **S = Structural**

Foundation Plan  
 Floor Plans  
 Roof Plan  
 Framing Sections & Details

#### **X = Other Disciplines**

As Built Plans

#### **SK = Contractor/Shop Drawings**



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

# Applicant Submittal Requirements for Electronic Plan Review

---

Date: 11/24/14

## Application Submittal Standard Requirements

Applications must be complete and legible with all required information and supporting documents. Electronic plans must be submitted in the required format listed below in order for the application to be deemed complete and ready for review.

1. Contact information on the application must be complete and legible. An email address is required.
2. Applications must have the proper Chart, Block and Lot (CBL) number for the property as identified on the City's Tax Maps. If the property includes multiple CBL's, all of the numbers must be included in the application. For Building Inspections permitting process only, the E911 property address must be included on the application and if there is no current property address, the E911 number is assigned by the Department of Public Services (contact 874-8801).
3. Applications must meet the submittal requirements in the corresponding checklist for the particular application.
4. Applications must be accompanied by an electronic version of the submitted plans. (see electronic file requirements below)

## Electronic File Requirements

Plan Sheets must be submitted electronically as stated below. The digital submission must comply with this format in order for the application to be deemed complete. Submissions that vary from the format will be deemed incomplete and will delay the plan review of the project. Proper format for file submission is:

- The City of Portland will accept only layered vector PDF or regular PDF files for the plan review process. *It is recommended that drawings created in AutoCAD be converted to a Vector PDF by using the AutoDesk Vector Graphic Converter "DWG to PDF.pc3 plotter driver".*

Revised: July 25, 2013



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions  
Date: 11/24/14

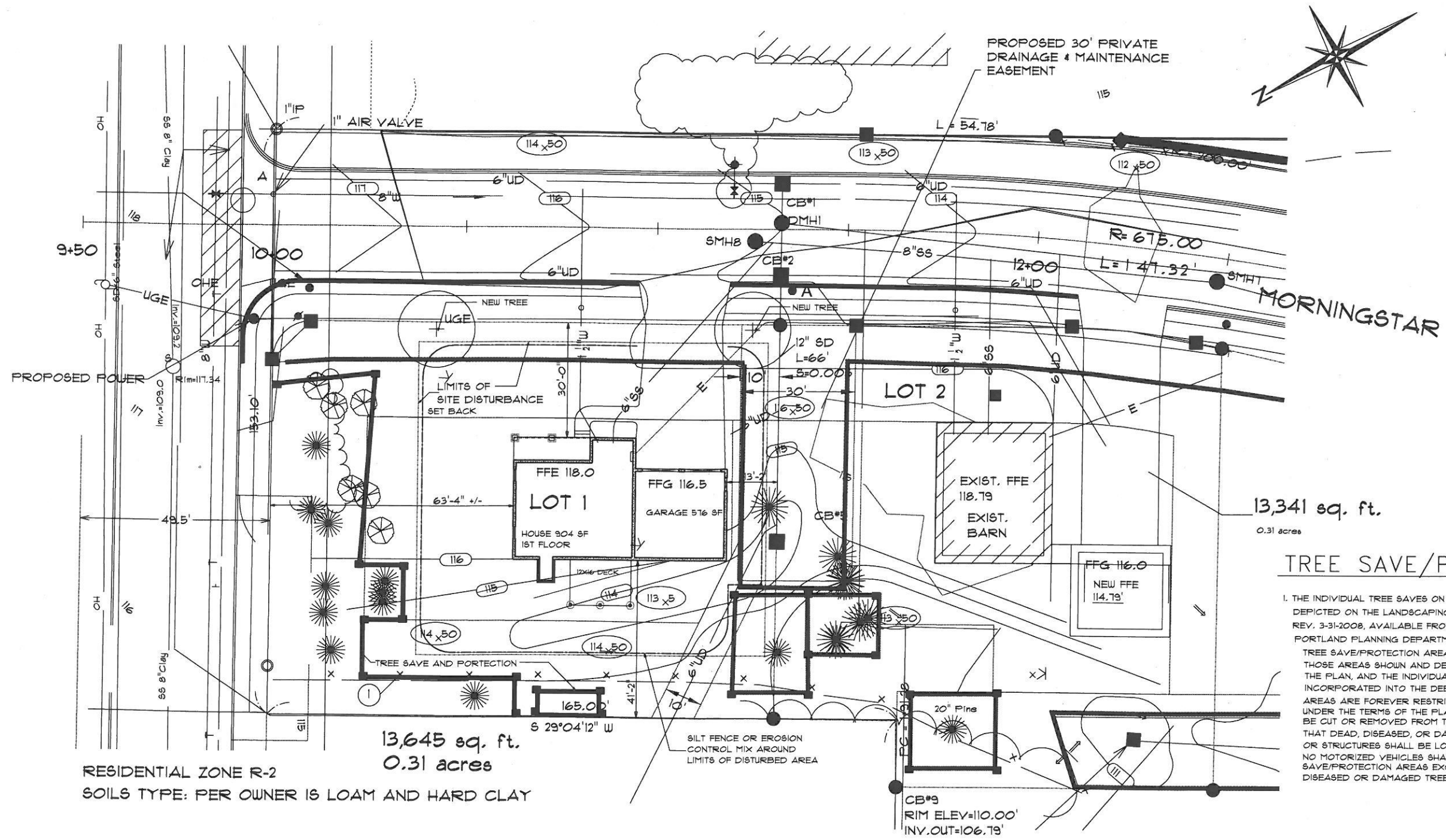
**PATCO**  
CONSTRUCTION, INC.  
1293 MAINE ST. SANFORD, ME. 04073 - (207)824-5574 FAX (207)824-164  
Copyright © 2003 PATCO Construction, Inc. All Rights Reserved.

**LOT 1 MORNING STAR**  
**LANE**  
**THE CALLA BUNGALOW CAPE**



DATE: AUG. 15, 2014  
SCALE: AS SHOWN  
DRAWN BY: PEL  
JOB NO.: 4221  
CH'KD BY:

SHEET:  
OF



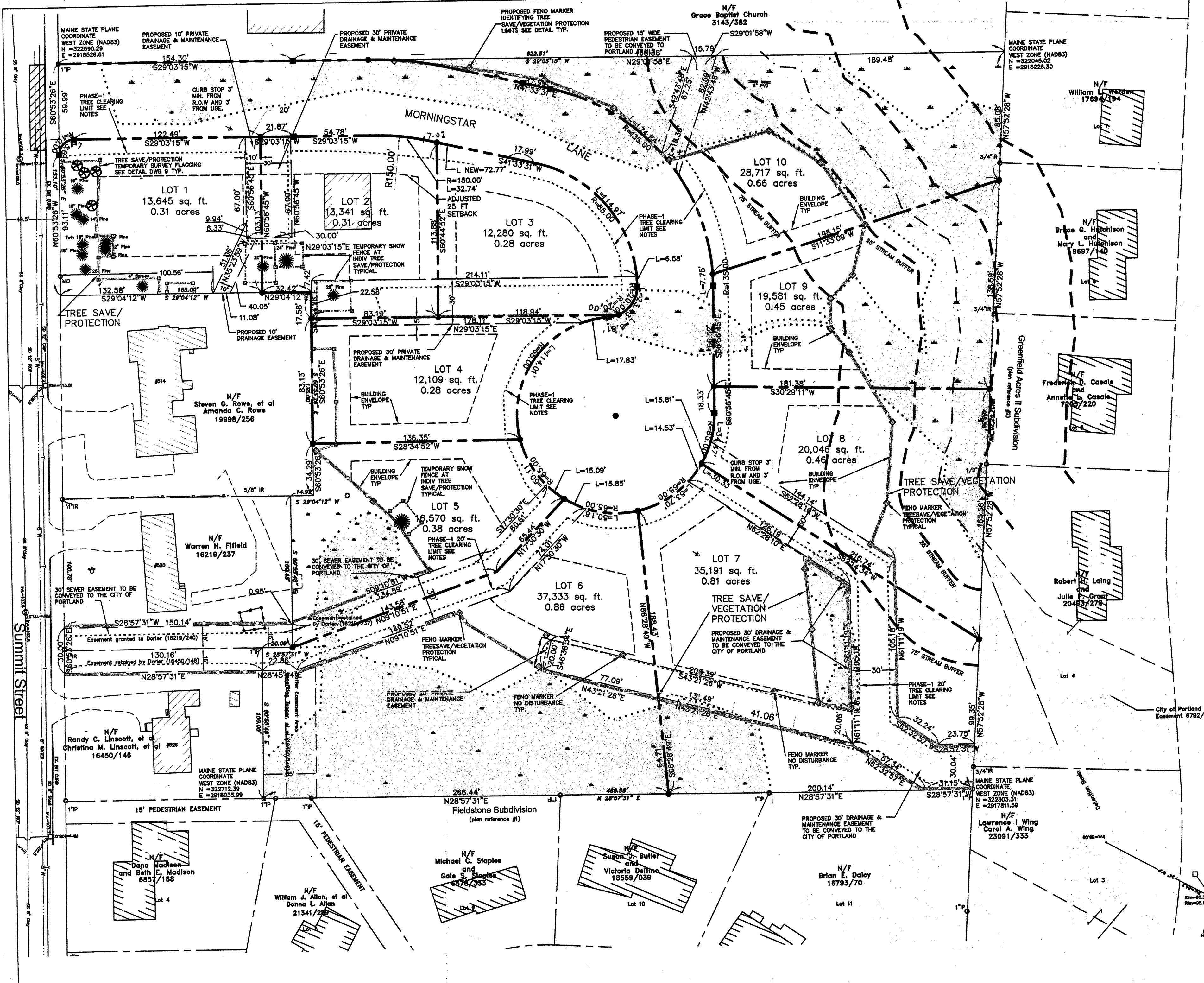
13,341 sq. ft.  
0.31 acres

**TREE SAVE/PROTECTION AREAS**

1. THE INDIVIDUAL TREE SAVES ON LOTS 1-4 SHALL BE PROTECTED AS DEPICTED ON THE LANDSCAPING AND LIGHTING PLAN, DRAWING 5, REV. 3-31-2008, AVAILABLE FROM THE CITY OF PORTLAND PLANNING DEPARTMENT.  
TREE SAVE/PROTECTION AREAS: "TREE SAVE/ PROTECTION AREAS" MEANS THOSE AREAS SHOWN AND DESCRIBED AS "TREE SAVE/ PROTECTION" ON THE PLAN, AND THE INDIVIDUAL TREE SAVES, IF ANY, SHOWN ON PLANS INCORPORATED INTO THE DEED TO EACH LOT. THE TREE SAVE/PROTECTION AREAS ARE FOREVER RESTRICTED TO THE PRESENT USE AS A WOODED AREA UNDER THE TERMS OF THE PLAN AND THIS DECLARATION. NO TREES SHALL BE CUT OR REMOVED FROM THE TREE SAVE/PROTECTION AREAS, EXCEPT THAT DEAD, DISEASED, OR DAMAGED TREES MAY BE REMOVED. NO BUILDINGS OR STRUCTURES SHALL BE LOCATED IN THE TREE SAVE/PROTECTION AREAS. NO MOTORIZED VEHICLES SHALL BE PERMITTED IN THE TREE SAVE/PROTECTION AREAS EXCEPT AS NEEDED FOR THE REMOVAL OF DEAD, DISEASED OR DAMAGED TREES.

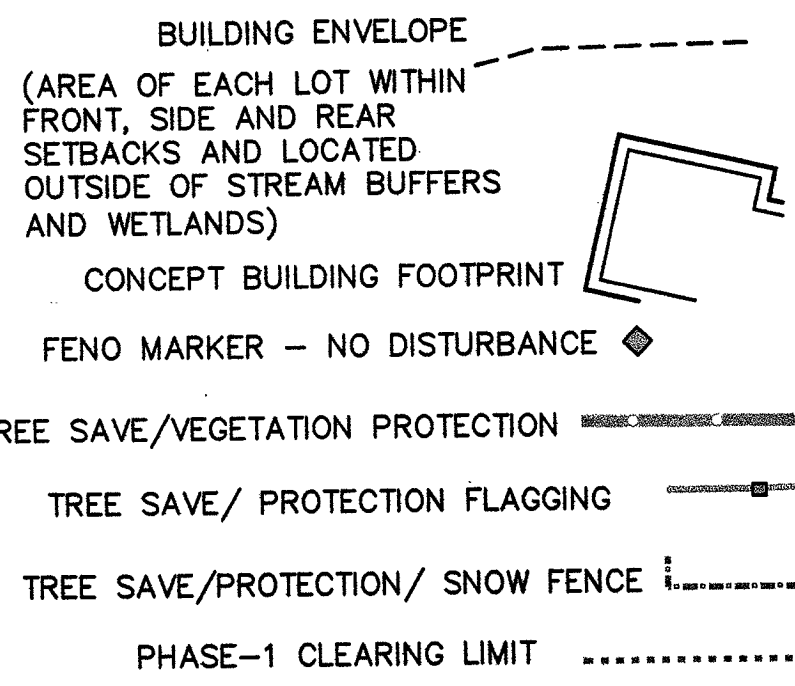
RESIDENTIAL ZONE R-2  
SOILS TYPE: PER OWNER IS LOAM AND HARD CLAY

**SITE PLAN**  
SCALE: 1" = 30'



**LEGEND**

- Iron pin found
- Utility pole
- Catch basin
- ⊕ Water shut off
- Edge of pavement
- Fence
- Overhead electric
- N/F Now or formerly of
- Property line
- Bituminous curb
- Sanitary Sewer
- Storm Drain
- ▨ Existing building
- Proposed easement
- ⋯ Wetland boundary
- Iron pin to be set
- Monument to be set

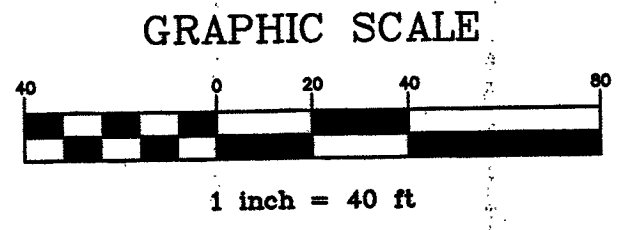
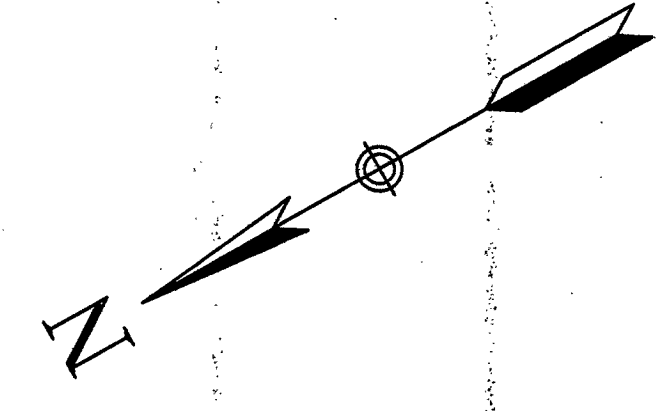


**TREE SAVE/PROTECTION AREAS**

- THE INDIVIDUAL TREE SAVES ON LOTS 1-4 SHALL BE PROTECTED AS DEPICTED ON THE LANDSCAPING AND LIGHTING PLAN, DRAWING 5, REV. 3-31-2008, AVAILABLE FROM THE CITY OF PORTLAND PLANNING DEPARTMENT.

**TREE SAVE & VEGETATION PROTECTION NOTES**

- TREE CLEARING: PHASE 1 TREE CLEARING SHALL BE LIMITED TO THE ROAD RIGHT OF WAY, DRAINAGE EASEMENT AND UTILITY RUNS (SANITARY SEWER EASEMENT). AFTER COMPLETION OF THE ROAD CONSTRUCTION, THE APPLICANT SHALL OBTAIN A LICENSED MAINE ARBORIST TO RECOMMEND MEASURES FOR THE APPLICANT TO TAKE TO ENHANCE TREE SURVIVAL IN THE TREE SAVE/PROTECTION AREAS.  
PHASE 2 TREE CLEARING: PRIOR TO CLEARING FOR INDIVIDUAL HOUSE LOTS, THE CITY ARBORIST SHALL INSPECT THE LOTS AND IDENTIFY TREES OUTSIDE THE BUILDING ENVELOPE TO BE PRESERVED. THESE SHALL BE MARKED AND ADDED TO THE INDIVIDUAL LOT PLANS. IF TREES IDENTIFIED BY THE CITY ARBORIST ARE UNABLE TO BE PRESERVED, THEY SHALL BE REPLACED IN THE MONTH WITH A TREE (TWO TREES WHERE TREES LARGER THAN 12" DBH ARE LOST) WITH CREDIT GIVEN TO TREES PROPOSED WITHIN THE LOTS OTHER THAN 2 STREET TREES PER LOT, AS SHOWN ON LANDSCAPE PLAN DRAWING #5 DATED MARCH 31, 2008.
- PRIOR TO THE SALE OF ANY LOT, "FENNO" MARKERS SHALL BE PLACED EVERY 50 FEET: (1) AT THE CORNERS AND ALONG THE LINE OF THE "PROPOSED 20' PRIVATE DRAINAGE AND MAINTENANCE EASEMENT" OVER LOTS 6 AND 7 WITH THE FENNO MARKERS TO BEAR THE ENGRAVED WORDING: "DO NOT FILL ALTER OR DISTURB BEYOND THIS POINT"; AND (2) AT THE CORNERS AND LIMITS OF TREE SAVE/VEGETATION PROTECTION AREAS IN THE REAR YARDS OF LOTS 5-10, EXCEPT FOR THOSE AREAS ALONG LOTS 6&7 WHERE FENNO MARKERS SHALL BE PLACED ALONG THE LINE OF THE "20 FT PRIVATE DRAINAGE & MAINTENANCE EASEMENT" AS PROVIDED IN (1) ABOVE, WITH FENNO MARKERS TO BEAR THE ENGRAVED WORDING "DO NOT FILL ALTER OR DISTURB BEYOND THIS POINT". A REQUIREMENT IN THE ASSOCIATION DOCUMENTS AND DEED SHALL NOTE THE FENNO MARKERS SHALL NOT BE REMOVED.
- THE TREE SAVE/VEGETATION PROTECTION AREAS ON LOTS 5,6,7,8,9 AND 10 SHALL BE FURTHER RESTRICTED AS FOLLOWS: NO DISTURBANCE TO VEGETATION OR GROUND COVER SHALL TAKE PLACE WITHIN THESE AREAS, INCLUDING DISTURBANCE THROUGH TREE CUTTING, GRADING, MOWING, RAKING, GRASS CLIPPING/ LEAF DUMPING AND/OR REMOVAL OF FALLEN TREES. PROVIDED, HOWEVER, THAT HAZARDOUS TREES/ TREE LIMBS, INCLUDING BUT NOT LIMITED TO LEANING TREES THAT THREATEN STRUCTURES, ARE ALLOWED TO BE REMOVED, SUBJECT TO THE APPROVAL OF THE PORTLAND PLANNING AUTHORITY (CITY ARBORIST); AND THAT THE PROPOSED PORTLAND TRAILS PEDESTRIAN EASEMENT MAY BE CONSTRUCTED AND USED FOR ITS INTENDED PURPOSES AS SHOWN ON THE PLAN. DEPARTMENT OF ENVIRONMENTAL PROTECTION APPROVAL SHALL BE OBTAINED PRIOR TO ANY ADDITIONAL WETLAND ALTERATIONS ON THE PROJECT SITE.



**OWNER OF RECORD**

THE MORNINGSTAR REAL ESTATE TRUST  
BOOK 22645, PAGE 38

**CERTIFICATION:**

This survey conforms to the current Standards of Practice as defined by the Maine State Board of Licensure for Land Surveyors.  
Rex J. Croteau, Maine PLS #2273

THIS SUBDIVISION PLAT AMENDS THE 2013 SECOND AMENDED RECORDING PLAT AMENDED BY THE PLANNING BOARD ON AUGUST 13, 2013 AND RECORDED ON AUGUST 14, 2013 IN PLAN BOOK 213 PAGE 321, TO RELOCATE THE LIMIT OF WETLAND FILL/TREESAVE ON LOTS 8, 9 AND 10 TO CREATE MORE USABLE BUILDING ENVELOPES.

**APPROVAL-**  
DIRECTOR OF PLANNING AND URBAN DEVELOPMENT  
DATE \_\_\_\_\_  
JEFF LEVINE, AICP, DIRECTOR OF PLANNING AND URBAN DEVELOPMENT

**PROJECT DATA:**

- PROPERTY IS LOCATED IN THE R-2 RESIDENTIAL ZONE WHICH PERMITS MEDIUM DENSITY SINGLE FAMILY DWELLINGS ON INDIVIDUAL LOTS
  - PARCEL ACREAGE:  
LOTS 1 TO 10 4.79 AC  
PROPOSED ROW 0.89 AC  
TOTAL AREA 5.68 AC
  - SPACE & BULK REGULATIONS: R-2 RESIDENTIAL ZONE - SINGLE FAMILY
 

* MIN LOT AREA	10,000 SF	REQUIRED	10,132 SF
* MIN STREET FRONTAGE	50'	PROVIDED	50'
* MIN FRONT & REAR YARD	25'		
* MIN SIDE YARD	1 STORY = 12'		
	1.5 STORY = 12'		
	2 STORY = 14'		
	2.5 STORY = 16'		
- (REFER TO ZONING ORDINANCE FOR ACCESSORY STRUCTURES & SWIMMING POOLS)
- |                       |     |
|-----------------------|-----|
| * MAX BUILDING HEIGHT | 35' |
| * MAX LOT COVERAGE    | 20% |
| * MIN LOT WIDTH       | 80' |

- References:**
- "Fieldstone, A Residential Development, Washington Ave. / Summit St., Portland, Maine" made for Kasprzak Inc. by Land Plan Associates dated August 23, 1983 as recorded in Plan Book 139, Page 31.
  - "Greenfield Acres II, Lester Drive, Portland, Maine" for Kasprzak Inc. by Land Plan Associates dated February, 1985, as recorded in Plan Book 148, Page 23.
  - City of Portland Engineering Department Right of Way Plans.
  - Plan of Land on Summit Street and Lambert Street for Eugene Dimilio by Owen Haskell, Inc. dated January 3, 1989.
  - Plan of Property 514 & 526 Summit Street for Ronald J. Dorier by Titcomb Associates dated March 19, 2001 and revised April 11, 2001.

- Notes:**
- Bearings are referenced to true north (see plan reference #4).
  - Book and Page references are to the Cumberland County Registry of Deeds.
  - All utility locations shown on this plan are approximate, based on location of visible features and information provided by others. Dig State and/or the appropriate utilities should be contacted prior to any construction.

**DEP TIER 1 APPROVAL SPECIAL CONDITION:**

PRIOR TO THE START OF CONSTRUCTION ON INDIVIDUAL LOTS, THE STREAM BUFFERS, AS DEPICTED BY THE PROPOSED TREE LINE ON LOTS 8, 9 AND 10, AND THE WETLANDS ON LOTS 8 AND 7, AS SHOWN ON DRAWING 4 OF THE PLANS REFERRED TO ABOVE, SHALL BE PERMANENTLY MARKED ON THE GROUND. IN ADDITION, THE DEEDS FOR LOTS 5 THROUGH 10 MUST HAVE ATTACHED TO THEM A PLOT PLAN FOR THE LOT, DRAWN TO SCALE, THAT SPECIFIES THE LOCATION OF THE STREAM BUFFER AND WETLAND ON THAT LOT. THE WETLANDS AND STREAM BUFFERS SHALL REMAIN IN THEIR NATURAL STATE EXCEPT THAT LEANING TREES THAT THREATEN STRUCTURES MAY BE REMOVED. DEPARTMENT APPROVAL SHALL BE OBTAINED PRIOR TO ANY ADDITIONAL WETLAND ALTERATIONS ON THE PROJECT SITE.

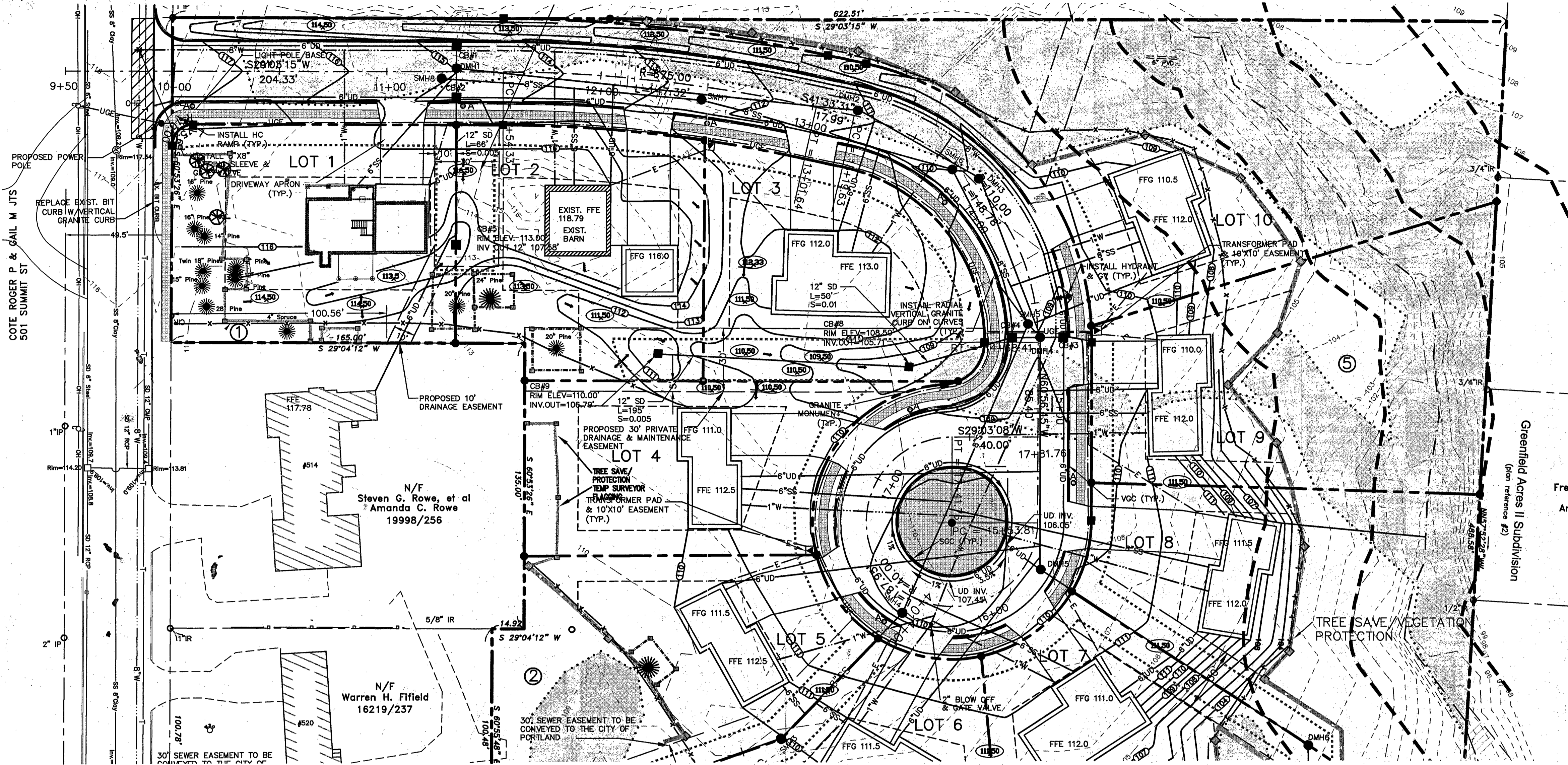
Stantec Consulting Services Inc.  
22 Free Street, Suite 205  
Portland, ME, U.S.A.  
04101-5000  
Tel: 207.775.3211  
Fax: 207.775.6454

**MORNINGSTAR LANE**  
SUMMIT STREET, PORTLAND, MAINE  
PREPARED FOR:  
**MORNINGSTAR REAL ESTATE TRUST**  
9 CRAIGIE STREET  
PORTLAND, MAINE 04102

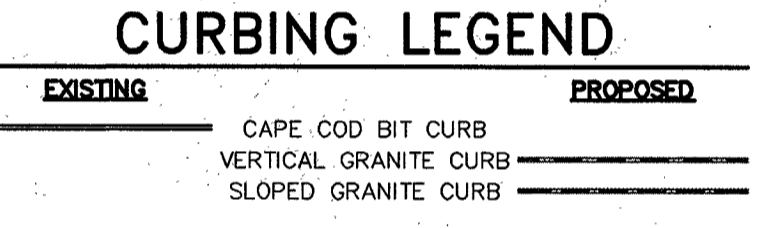
Revision	Date
REVISED PER ENG/STAFF REVIEW COMMENTS	8-18-08
REV. REV. 8/21/08 STAFF REVIEW COMMENTS	8-22-08
PRELIMINARY REVIEW - CITY OF PORTLAND	10-28-07
REVISED PER ENG/STAFF REVIEW COMMENTS	11-15-07
REVISED PER ENG/STAFF REVIEW COMMENTS	12-07-07
REVISED PER ENG/STAFF REVIEW COMMENTS	02-15-08
REVISED PER ENG/STAFF REVIEW COMMENTS	03-21-08
THIRD AMENDED RECORDING PLAT	12-19-13

**THIRD AMENDED RECORDING PLAT**

Job No. 210800008  
Drawing

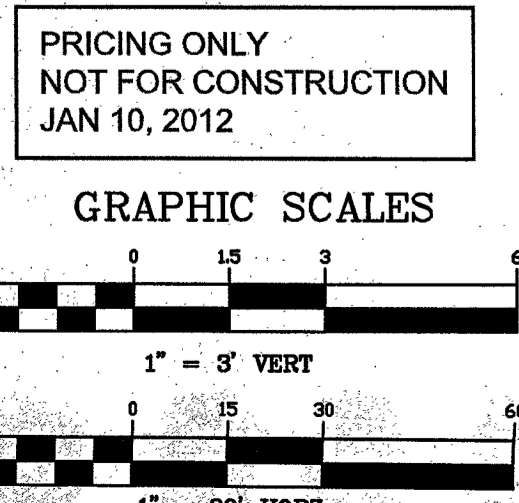
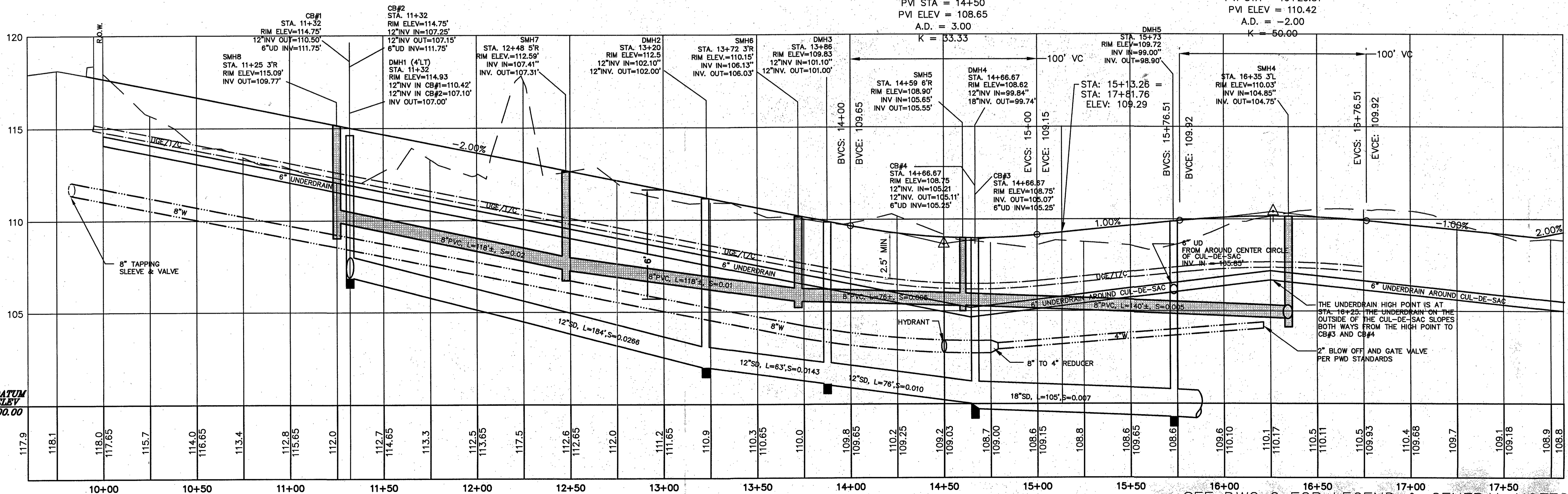


- NOTES:**
- HOUSE STYLES, AND LOCATIONS ARE CONCEPTUAL ONLY. FINAL DESIGNS BY INDIVIDUAL LOT OWNERS. DRIVEWAY LOCATIONS AND DRAINAGE SCHEME SHALL NOT BE ALTERED FROM THE APPROVED SITE PLAN.
  - CONTRACTOR TO PROVIDE DRIVE APRONS TO ROW LINE.
  - ALL CURBING RADIUS <100' SHALL BE RADIAL OUT PER PLAN DIMENSIONS.
  - SEE PLAT PLAN FOR TREE SAVE/ PROTECTION NOTES.
  - UTILITY STUB LOCATIONS ARE CONCEPTUAL ONLY. FINAL LOCATION TO BE DETERMINED IN FIELD.



LOW POINT ELEV = 108.99  
 LOW POINT STA = 14+66.67  
 PVI STA = 14+50  
 PVI ELEV = 108.65  
 A.D. = 3.00  
 K = 53.33

HIGH POINT ELEV = 110.17  
 HIGH POINT STA = 16+26.51  
 PVI STA = 16+26.51  
 PVI ELEV = 110.42  
 A.D. = -2.00  
 K = -50.00



Revision	Date
DESIGNED LDM	05-07-07
DRAWN PJP	05-07-07
CHECKED LDM	05-07-07
SCALE 1" = 30'	05-07-07
DATE 05-07-07	05-07-07
REVISED PER CONDITIONS OF FINAL APPROVAL	06-06-08
REVISED PER ENG/STAFF REVIEW COMMENTS	02-15-08
REVISED PER ENG/STAFF REVIEW COMMENTS	02-19-07
REVISED PER ENG/STAFF REVIEW COMMENTS	11-15-07
REVISED PER ENG/STAFF REVIEW COMMENTS	10-25-07
PRELIMINARY REVIEW - CITY OF PORTLAND	9-22-08
REVISED PER ENG/STAFF REVIEW COMMENTS	6-15-06

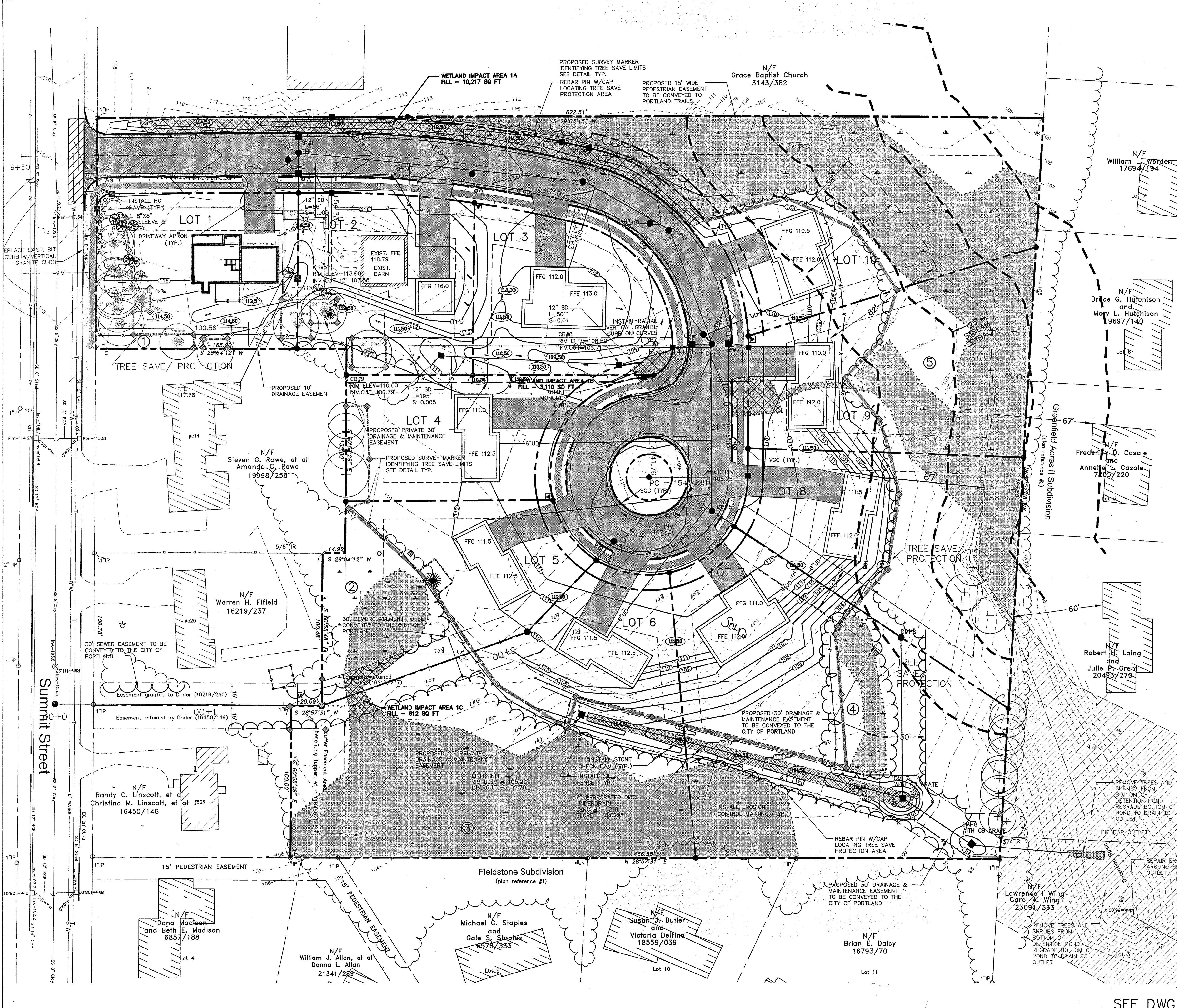
**MORNINGSTAR LANE  
 PLAN & PROFILE**

Job No. 210800008  
 Drawing

**MORNINGSTAR LANE**  
 SUMMIT STREET, PORTLAND, MAINE  
 PREPARED FOR:  
**MORNINGSTAR REAL ESTATE TRUST**  
 9 CRAIGIE STREET  
 PORTLAND, MAINE 04102

Stantec Consulting Services Inc.  
 22 Free Street, Suite 205  
 Portland, ME U.S.A.  
 04101-3900  
 Tel. 207.775.3211  
 Fax. 207.775.6434





**WETLAND IMPACT SUMMARY**

LOCATION	IMPACT AREA (SQ. FT.)
1-A	10,217
1-B	3,110
1-C	612
<b>TOTAL</b>	<b>13,939</b>

**UNDISTURBED AREA SUMMARY**

LOCATION	AREA (SQ. FT.)
①	2,546
②	6,478
③	30,670
④	3,369
⑤	49,766
<b>TOTAL UNDISTURBED</b>	<b>92,289 SQ FT</b>
<b>TOTAL AREA</b>	<b>247,334 SQ FT</b>
<b>PERCENT UNDISTURBED</b>	<b>=38%</b>

**LOT 10**

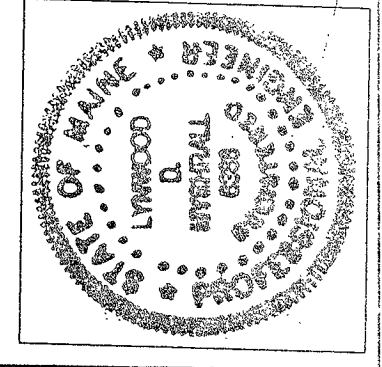
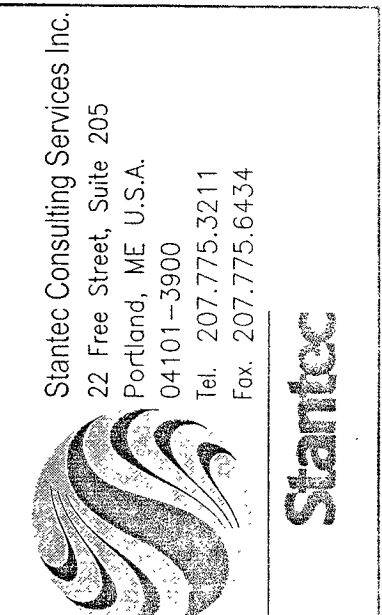
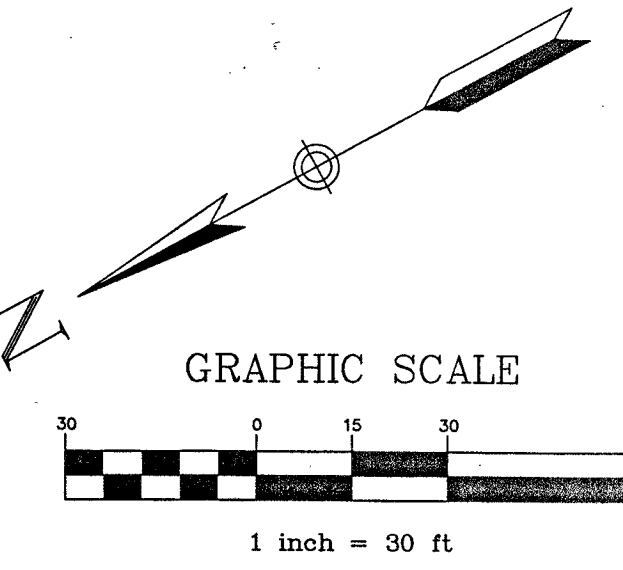
DISTURBED AREA	TOTAL LOT AREA
6,886 SQ FT	28,717 SQ FT
<b>PERCENT UNDISTURBED</b>	<b>=76%</b>

**DEP TIER 1 APPROVAL SPECIAL CONDITION:**

PRIOR TO THE START OF CONSTRUCTION ON INDIVIDUAL LOTS, THE STREAM BUFFERS, AS DEPICTED BY THE PROPOSED TREE LINE ON LOTS 8, 9 AND 10, AND THE WETLANDS ON LOTS 5, 6 AND 7, AS SHOWN ON DRAWING 4 OF THE PLANS REFERRED TO ABOVE, SHALL BE PERMANENTLY MARKED ON THE GROUND. IN ADDITION, THE DEEDS FOR LOTS 5 THROUGH 10 MUST HAVE ATTACHED TO THEM A PLOT PLAN FOR THAT LOT, DRAWN TO SCALE, THAT SPECIFIES THE LOCATION OF THE STREAM BUFFER OR WETLAND ON THAT LOT. THE WETLANDS AND STREAM BUFFERS SHALL REMAIN IN THEIR NATURAL STATE EXCEPT THAT LEANING TREES THAT THREATEN STRUCTURES MAY BE REMOVED. DEPARTMENT APPROVAL SHALL BE OBTAINED PRIOR TO ANY ADDITIONAL WETLAND ALTERATIONS ON THE PROJECT SITE.

**PROGRESS PLAN NOT FOR CONSTRUCTION**  
THIS DOCUMENT IS ISSUED FOR INFORMATIONAL PURPOSES ONLY. THE DATA SHOWN HEREON IS SUBJECT TO REVISION.

**NOT FOR CONSTRUCTION**  
Date 3/31/08



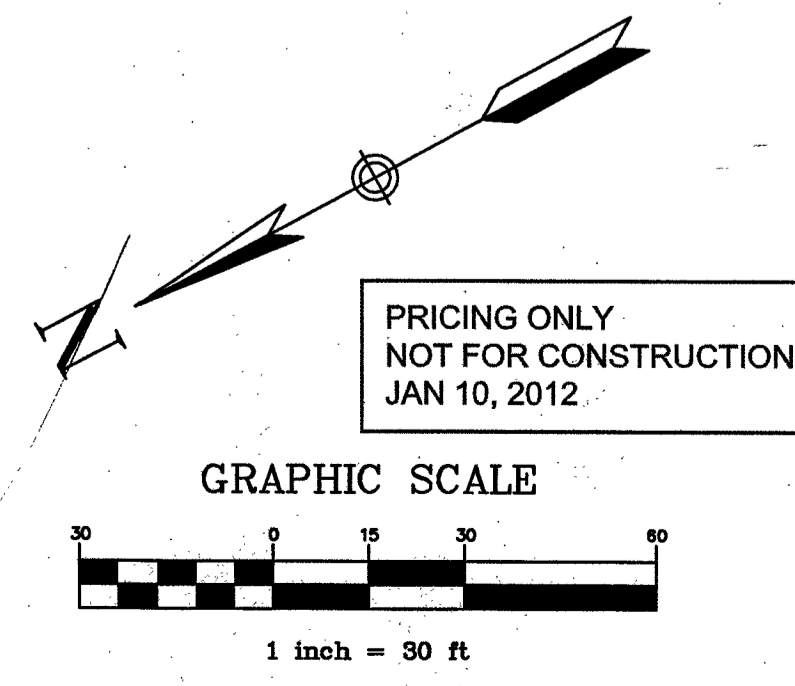
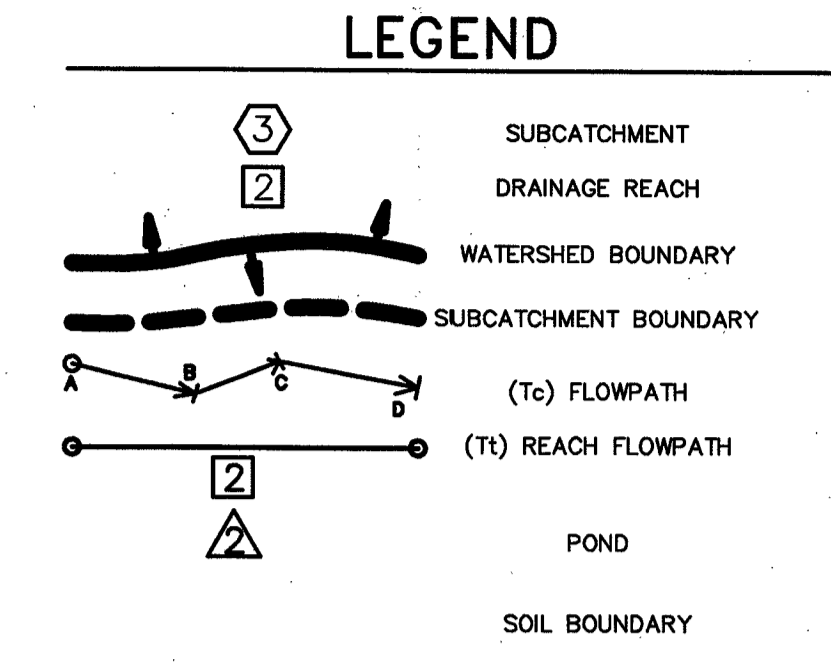
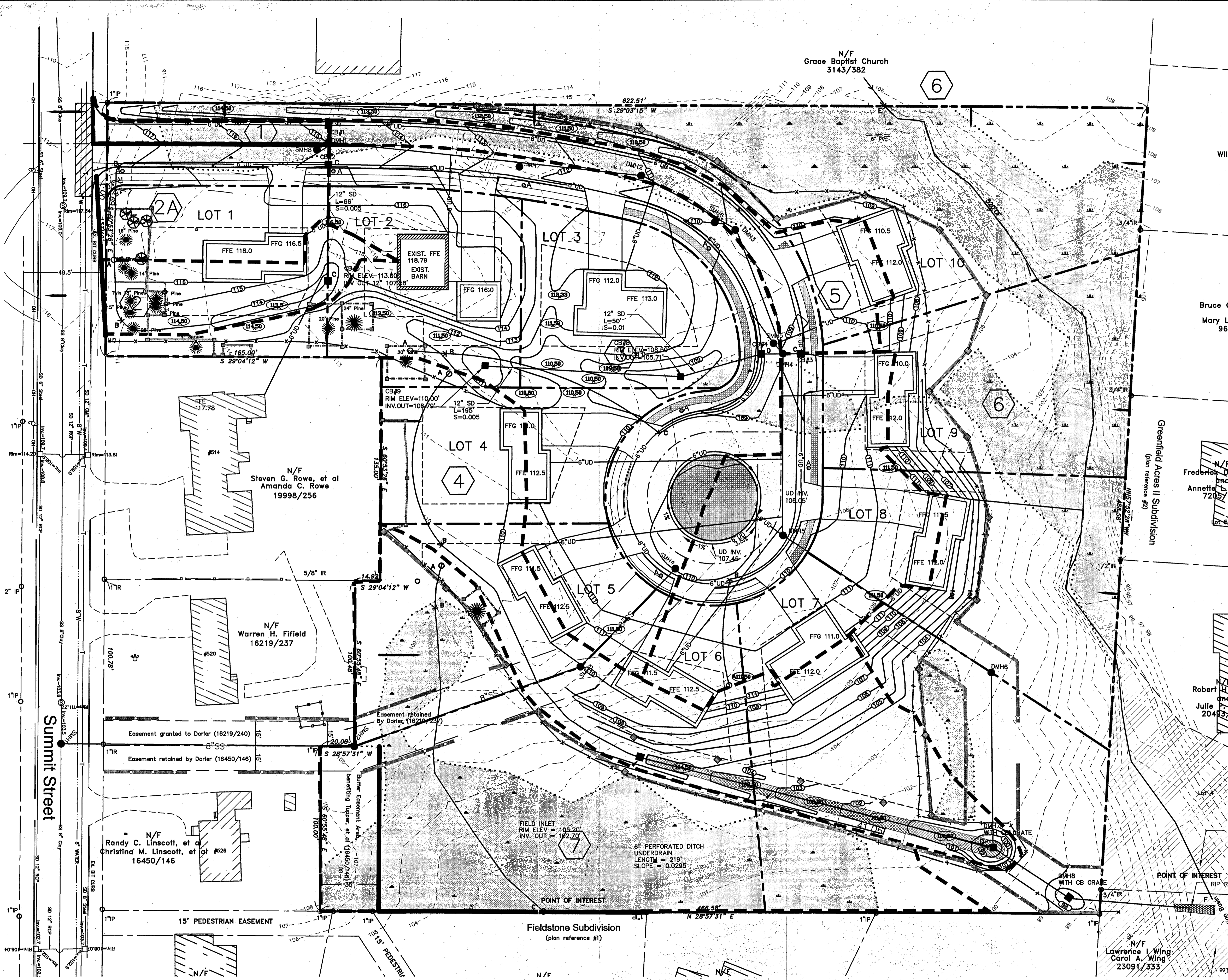
**MORNINGSTAR LANE**  
SUMMIT STREET, PORTLAND, MAINE  
PREPARED FOR:  
**MORNINGSTAR REAL ESTATE TRUST**  
9 CRAIGIE STREET  
PORTLAND, MAINE 04102

Revision	Date
REVISED PER ENG/STAFF REVIEW COMMENTS	8-16-06
REV. PER 8/21/06 STAFF REVIEW COMMENTS	9-22-06
PRELIMINARY REVIEW - CITY OF PORTLAND	10-25-07
REVISED PER ENG/STAFF REVIEW COMMENTS	11-15-07
REV. PER ENG/STAFF/DEP REVIEW COMMENTS	12-07-07
REVISED PER ENG/STAFF REVIEW COMMENTS	12-28-07
REVISED PER ENG/STAFF REVIEW COMMENTS	02-15-08
REVISED PER ENG/STAFF REVIEW COMMENTS	03-21-08

**PRELIMINARY**  
**LOT GRADING, DRAINAGE & EROSION CONTROLS**

Job No. 210800008  
Drawing

SEE DWG 0 FOR LEGEND & GENERAL NOTES.



Stantec Consulting Services Inc.  
22 Free Street, Suite 205  
Portland, ME U.S.A.  
04101-3900  
Tel. 207.775.3211  
Fax. 207.775.3434

**MORNINGSTAR LANE**  
SUMMIT STREET, PORTLAND, MAINE  
PREPARED FOR:  
MORNINGSTAR REAL ESTATE TRUST  
9 CRAIGIE STREET  
PORTLAND, MAINE 04102

Revision	Date
REVISED PER ENG/STAFF REVIEW COMMENTS	8-16-08
REV. PER 2/27/08 STAFF REVIEW COMMENTS	9-22-08
PRELIMINARY REVIEW - CITY OF PORTLAND	10-25-07
REVISED PER ENG/STAFF REVIEW COMMENTS	11-15-07
REVISED PER ENG/STAFF/ADP REVIEW COMMENTS	12-07-07
NO REVISION THIS SHEET	12-28-07
NO REVISION THIS SHEET	02-15-08
REVISED PER ENG/STAFF REVIEW COMMENTS	03-31-08

Designed LDM  
Drawn PJP  
Checked LDM  
Scale 1" = 30'  
Date 05-07-07  
REVISED PER CONDITIONS OF FINAL APPROVAL  
06-06-08

**POST-DEVELOPMENT DRAINAGE**

Job No. 210800008  
Drawing





Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

(SAMPLE) WARRANTY DEED

KNOW ALL BY THESE PRESENTS, that **RONALD J. DORLER, TRU**  
**THE MORNINGSTAR REAL ESTATE TRUST**, a trust under the laws of the State  
a mailing address of 220 Riverside Industrial Parkway, Portland, Maine ("Grantor  
consideration paid, GRANTS to <GRANTEE>, of <>, and having a mailing address of <>  
("Grantee"), with WARRANTY COVENANTS, certain real estate located in the City of  
Portland, Cumberland County, Maine, which is more particularly described in Exhibit A attached  
hereto and made a part hereof.

Date: 11/24/14

This conveyance is made SUBJECT, HOWEVER, to real estate taxes which are not yet due and payable, which, by acceptance hereof, Grantee assumes and agrees to pay.

This conveyance is also made SUBJECT to and with the benefit of the covenants, conditions, restrictions and easements, set forth in that certain General Declaration of Covenants, Restrictions and Easements dated July 7, 2008, and recorded in the Cumberland County Registry of Deeds in Book 26193, Page 1, as the same may be further amended and/or supplemented from time to time (the "Declaration").

This conveyance is also made SUBJECT to and with the benefit of the terms and conditions of the Bylaws of the Morningstar Lane Property Owners Association, so long as they shall be in effect, as the same may be amended from time to time.

This conveyance is also made SUBJECT to and with the benefit of such state of facts, notes and conditions as are shown on that certain plan attached hereto as Exhibit B and made a part hereof and on that certain amended plan entitled "Final Subdivision Plan: Morningstar Lane: Summit Street, Portland, Maine: Prepared for Morningstar Real Estate Trust: 9 Craigie Street, Portland, Maine 04102," prepared by Stantec Consulting Services, Inc., dated May, 2007, last revised \_\_\_\_\_, 2009 and recorded in the Cumberland County Registry of Deeds in Plan Book 209, Page 304 (the "Plan"), and any accompanying plans submitted to the City of Portland in connection with the approval for the Morningstar Lane Subdivision, as the same may be amended from time to time. Without limiting the foregoing, Grantor expressly reserves title to "Morningstar Lane" as shown on said Plan.

This conveyance is also made SUBJECT to any and all rights, restrictions and encumbrances of record.



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Inspections Division  
Approved with Conditions

IN WITNESS WHEREOF, Ronald J. Dorler has caused this instrument to  
his capacity as Trustee on this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

WITNESS:

RONALD J. DORLER, TRUSTEE OF  
MORNINGSTAR REAL ESTATE TRUST

Date: 11/24/14

\_\_\_\_\_

\_\_\_\_\_  
Ronald J. Dorler, Trustee of the Morningstar Real  
Estate Trust

State of Maine  
Cumberland, ss:

\_\_\_\_\_, 2008

Then personally appeared the above-named Ronald J. Dorler, Trustee of The Morningstar  
Real Estate Trust, and acknowledged the foregoing instrument to be his free act and deed in his  
said capacity.

Before me,

\_\_\_\_\_  
Notary Public/Maine Attorney at Law

Printed Name: \_\_\_\_\_



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Inspections Division  
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## Exhibit A

A certain lot or parcel of land, with any buildings thereon, situated on a prc way known as Morningstar Lane in the City of Portland, County of Cumberland as Maine, being Lot < \_\_\_ >, as shown on that certain amended plan entitled "Final Su Plan: Morningstar Lane: Summit Street, Portland, Maine: Prepared for Morningstar Real Estate Trust: 9 Craigie Street, Portland, Maine 04102," prepared by Stantec Consulting Services Inc., dated May, 2007, last revised \_\_\_\_\_, 2009, and recorded in the Cumberland County Registry of Deeds in Plan Book 209, Page 304 (the "Plan").

Date: 11/24/14

EXCEPTING AND RESERVING to the Grantor herein, however, the fee interest in and to the road depicted on the Plan as Morningstar Lane, which it dedicates and offers and intends to convey to the City of Portland.

The above-described premises are conveyed subject to the rights, easements, covenants, conditions, restrictions and obligations set forth in the following instruments recorded in the Cumberland County Registry of Deeds:

1. For Lot 1: A Drainage Easement over Lots 1 and 2 from Virginia D. Elliott, Trustee of The Morningstar Real Estate Trust to the Morningstar Lane Property Owners Association, dated \_\_\_\_\_, 200\_\_ and recorded in the Cumberland County Registry of Deeds in Book \_\_\_\_\_, Page \_\_\_\_\_; and a Drainage Easement from Virginia D. Elliott, Trustee of The Morningstar Real Estate Trust to G. Steven and Amanda C. Rowe, dated July 7, 2008 and recorded in the Cumberland County Registry of Deeds in Book 26193, Page 24.
2. For Lot 2: A Drainage Easement over Lots 1 and 2 from Virginia D. Elliott, Trustee of The Morningstar Real Estate Trust to the Morningstar Lane Property Owners Association, dated \_\_\_\_\_, 200\_\_ and recorded in the Cumberland County Registry of Deeds in Book \_\_\_\_\_, Page \_\_\_\_\_; a Drainage Easement from Virginia D. Elliott, Trustee of The Morningstar Real Estate Trust to G. Steven and Amanda C. Rowe, dated July 7, 2008 and recorded in the Cumberland County Registry of Deeds in Book 26193, Page 24; and a Drainage Easement over Lots 2, 3 and 4 from Virginia D. Elliott, Trustee of The Morningstar Real Estate Trust to the Morningstar Lane Property Owners Association, dated \_\_\_\_\_, 20\_\_ and recorded in the Cumberland County Registry of Deeds in Book \_\_\_\_\_, Page \_\_\_\_\_.
3. For Lot 3: A Drainage Easement over Lots 2, 3 and 4 from Virginia D. Elliott, Trustee of The Morningstar Real Estate Trust to the Morningstar Lane Property Owners Association, dated \_\_\_\_\_, 200\_\_ and recorded in the Cumberland County Registry of Deeds in Book \_\_\_\_\_, Page \_\_\_\_\_.
4. For Lot 4: A Drainage Easement over Lots 2, 3 and 4 from Virginia D. Elliott, Trustee of The Morningstar Real Estate Trust to the Morningstar Lane Property



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Inspections Division  
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Owners Association, dated \_\_\_\_\_, 200\_\_ and record  
Cumberland County Registry of Deeds in Book \_\_\_\_\_, Page \_\_\_\_\_.

5. For Lots 5 and 6: A Drainage Easement over Lots 5 and 6 from Vh Elliott, Trustee of The Morningstar Real Estate Trust to the Mornin Property Owners Association, dated \_\_\_\_\_, 200\_\_ and recorded in the Cumberland County Registry of Deeds in Book \_\_\_\_\_, Page \_\_\_\_\_; and a Sewer Easement over Lots 5 and 6 from Virginia D. Elliott, Trustee of The Morningstar Real Estate Trust to the City of Portland, dated \_\_\_\_\_, 200\_\_ and recorded in the Cumberland County Registry of Deeds in Book \_\_\_\_\_, Page \_\_\_\_\_.
6. For Lots 7 and 8: A Drainage Easement over Lots 7 and 8 from Virginia D. Elliott, Trustee of The Morningstar Real Estate to the City of Portland, dated \_\_\_\_\_, 200\_\_ and recorded in the Cumberland County Registry of Deeds in Book \_\_\_\_\_, Page \_\_\_\_\_.
7. For Lot 10: An Easement Deed for a pedestrian easement from Virginia D. Elliott, Trustee of The Morningstar Real Estate Trust to Portland Trails, dated July 7, 2008 and recorded in the Cumberland County Registry of Deeds in Book 26193, Page 19.
8. For all Lots 1 through 10: A Stormwater Drainage System Maintenance Agreement between Virginia D. Elliott, Trustee of The Morningstar Real Estate Trust and the City of Portland; and an Easement and Easement Consent Agreement dated July 7, 2008 and recorded in the Cumberland County Registry of Deeds in Book 26192, Page 307, by and among: Lawrence I. Wing and Carol A. Wing, Robert H. Laing and Julie P. Grant, the City of Portland, and the Declarant, to construct, install, use, operate, maintain, repair and replace a stormwater and drainage management system within the City of Portland's Drainage Easement located on the Wings and Laing and Grant parcels to benefit the Morningstar Lane Subdivision as shown on the Plan.

Date: 11/24/14



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### Exhibit B

For each Lot, this Exhibit will consist of a Plot plan for the Lot, drawn to scale. In

Date: 11/24/14

- For Lots 5 through 10, that Plot plan shall specify the location of the stream wetland on that Lot, as required by DEP Tier 1 Approved Special Condition.
- For Lots 5 through 10, the Plot plan shall show the location of FENO markers placed on the Lot in accordance with Tree Save & Vegetation Protection Note 2 on the recording Plan.
- For Lots 1, 2, 3, and 4, the Plot plan will repeat recording Plan Tree Save/Protection Areas Note 1 regarding the Tree Save/Protection Areas.
- For Lots 5 through 10, the Plot plan will repeat recording Plan Tree Save & Vegetation Protection Note 3 regarding the Tree Save/Vegetation Protection Areas.

The Plot plan for each Lot will show any individual tree saves on that Lot that become part of the Tree Save/Protection Areas as defined by Section 2.13 of the General Declaration of Restrictions, Covenants and Easements.





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Inspections Division  
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RE: Review comments for single family site plan and plan revisions

CBL:385-C-011001

Project Name: Braley single family

Project ID: 2014-02237

Project Address: 7 Morningstar Lane

Date: 11/24/14

Please see the attached documents to correct previous site plan and architectural plans.

**Jesse Braley**  
Project Manager

**Patco Construction, Inc.**

1293 Main Street

Sanford, Maine

(207) 324-5574 Ext.115

[jbraley@patco.com](mailto:jbraley@patco.com)

[www.patcoresidential.com](http://www.patcoresidential.com)

*Visit our website for information on our Women Centric Homes, or just give me a call.*



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Inspections Division  
Approved with Conditions

Date: 11/24/14



# PORTLAND MA

*Strengthening a Remarkable City, Building a Community for Life*

Jeff Levine, AICP, Director  
Director of Planning and Urban Development

Tammy Munson  
Director, Inspections Division

### Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

- to provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),
- call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,
- hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,
- or deliver a payment method through the U.S. Postal Service, at the following address:

City of Portland  
Inspections Division  
389 Congress Street, Room 315  
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. *After all approvals have been met and completed, I will then be issued my permit via e-mail.* No work shall be started until I have received my permit.

Applicant Signature: \_\_\_\_\_

Date: 9/12/2014

I have provided digital copies and sent them on: \_\_\_\_\_

Date: \_\_\_\_\_

NOTE: All electronic paperwork must be delivered to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov) or by physical means ie; a thumb drive or CD to the office.

Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

Date: 11/24/14

**Project Address:**

**Total Square Footage of Proposed Structure/Area:**

Home: 1818 sq ft (904 1st  
914 2nd)  
Porch: 120 sq ft  
Rear Deck: 192 sq ft  
Garage: 576 sq ft

**Area of lot (total sq. ft.):**

Garage: Yes  No

Attached

Detached

Sq. Ft.: 576 sq ft

Number of Stories

Number of Bath

Number of Bedrooms: 2

**Tax Assessor's Chart, Block & Lot(s):**  
Chart#      Block #      Lot #

Current legal use: VACANT LAND

Number of Residential Units 1

If vacant, what was the previous use? \_\_\_\_\_

Is property part of a subdivision? Yes If yes, please name Morningstar Lane

**Project Description:**

**APPLICANT** - (must be owner, Lessee or Buyer)

Name: Jesse Braley

Business Name, if applicable: Patco Construction, Inc.

Address: 1293 Main Street

City/State: Sanford, ME Zip Code: 04073

Work # 207-324-5574 ex115

Home#

Cell # 207-651-7181

e-mail: jbraley@patco.com

**OWNER INFORMATION** - (if different from Applicant)

Name: MORNINGSTAR REAL ESTATE TRUST  
RONALD T. DORLER TRUSTEE

Address: 228 ROVERSIDE IND. PKWY.

City/State: PORTLAND, MAINE Zip Code: 04103

Work #

Home#

Cell #

e-mail:

**CONTRACTOR INFORMATION:**

Name: Patco Construction, Inc.

Address: 1293 Main St.

City/State: Sanford, ME Zip Code: 04073

Phone Number: 651-7181

e-mail: jbraley@patco.com

**Contact when Building Permit is Ready:**

Name: Jesse Braley

Phone Number: 651-7181

e-mail: jbraley@patco.com



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Inspections Division  
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Please submit all of the information outlined on the applicable Checklist, shown and 5 of this Application. In addition, a CD or PDF (e-mailed to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)) of the entire Application, including all be submitted with the Application. Failure to do so may result in the automatic permit.

Date: 11/24/14

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: [www.portlandmaine.gov](http://www.portlandmaine.gov) Copies of the ordinances may be purchased through the Planning Division. All of the information on the checklist must be submitted for review. The applicant must check off the items contained in the application package to ensure the application is complete.

**Property Taxes:**

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before a permit of any kind is accepted.

**Separate Permits:**

Separate permits are required for internal and external plumbing, HVAC, and electrical installations.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

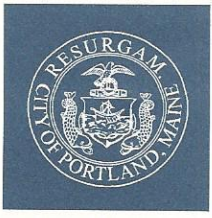
Signature of Applicant: <i>[Handwritten Signature]</i>	Date: 9/18/2014
--	-----------------

This is not the permit - you may not commence any work until the permit is issued.

A CD or PDF of the entire application, including all plans, must be submitted with the

General Submittal Requirements – Level I Minor Residential			
Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
<input checked="" type="checkbox"/>		2	Completed application form and check list.
<input checked="" type="checkbox"/>		1	Application fees.
<input type="checkbox"/>		2	Evidence of right, title and interest.
<input checked="" type="checkbox"/>		2	Copies of required state and/or federal permits.
<input checked="" type="checkbox"/>		2	Written Description of existing and proposed easements or other burdens.
<input checked="" type="checkbox"/>		2	Written requests for waivers from individual site plan and/or technical standards.
<input checked="" type="checkbox"/>		2	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). Refer to Fire Department Checklist on page 6 of this application.

application. (e-mail to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov))



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Inspections Division  
Approved with Conditions

**Assessor's Department**

Richard W. Blackburn, Tax Assessor

August 19, \_\_\_\_\_ Date: 11/24/14

Ronald J Dorler Trustee  
220 Riverside Ind. Pkwy.  
Portland, Maine 04103

**NOTICE OF ACTION ON APPLICATION FOR  
ABATEMENT OF REAL ESTATE TAX**

ACCOUNT ID #52092  
LOCATION: Morningstar Lane CBL #385 C011001

Dear Mr. Dorler,

Your application for abatement of property taxes for FY2015 on the above described property was granted on August 19, 2014.

REASON: Overvaluation

Where an abatement has been granted in whole or in part, we have included a computation showing your new valuation and tax liability.

You have 60 days from the date of this notice to appeal this decision. An appeal may be taken to the Portland Board of Assessment Review, (Telephone # 874-8480, mailing address: Portland City Hall, 389 Congress Street, Room 211, Portland, Maine 04101).

ORIGINAL VALUATION: \$74,600  
NEW VALUATION: \$59,700

ORIGINAL TAX: \$1,492.00  
NEW TAX: \$1,194.00

If you have any further questions please feel free to call the Assessor's office at 874-8486

Sincerely,

Richard W. Blackburn  
Tax Assessor

RWB/lac

**KEEP THIS PORTION**

**REAL ESTATE PROPERTY TAX STATEMENT**

For Fiscal Year 2015

July 1, 2014 - June 30, 2015

Owner of Record as of April 1, 2014

**DORLER RONALD J TRUSTEE**

**220 RIVERSIDE IND PKWY  
PORTLAND ME 04103**



ACCOUNT NUM

**52092**

CBL: \*

**385 - C-011-**

ACRES:

**0.3132**

Assessed Prop

**385-C-11**

Date: **11/24/14**

**MORNING STAR LN**

**13645 SF**

**LOT 1**



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Inspections Division  
Approved with Conditions

**CURRENT BILLING DISTRIBUTION**

Education	\$754.95
Public Safety	\$213.36
Debt Service	\$199.93
Public Services	\$119.36
General Government	\$28.35
Recreation & Facil. Mgmt	\$35.81
County Tax	\$47.74
Library	\$35.81
Metro	\$23.87
Health & Human Services	\$32.82

**CURRENT BILLING INFORMATION**

Land Value	\$74,600.00
Building Value	\$0.00
Total Value	\$74,600.00
Exemptions	\$0.00
Homestead	\$0.00
Taxable Value	\$74,600.00
Tax Rate	\$20.00
<b>TOTAL TAX</b>	<b>\$1,492.00</b>
<b>AMOUNT PAID</b>	<b>\$0.00</b>

Change of Ownership

**Remittance Instructions**

**Please make check or money order payable to: CITY OF PORTLAND.**

Remit To: **CITY OF PORTLAND, MAINE  
TREASURY DIVISION  
P O BOX 544  
PORTLAND, ME 04112-0544**

See reverse side for important payment information.  
Use right top margin for change of address.

STATE OF MAINE

PROBATE COURT  
CUMBERLAND, SS.

PORTLAND, MAI  
DOCKET NO. 2



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

Date: 11/24/14

In re: **The Morningstar Real Estate Trust**  
u/a dated May 12, 2005

~~Proposed~~ Order

Petitioner, Virginia D. Dorler, the Settlor of the Morningstar Real Estate Trust u/a dated May 12, 2005, having filed her Petition for Trust Modification; and all interested persons having been given proper notice of said petition; and all interested persons having filed waivers of notice and consents to the petition, the Court ORDERS as follows:

The Morningstar Real Estate Trust u/a dated May 12, 2005 is hereby AMENDED as follows:

- A. Virginia D. Elliott is removed as Trustee and replaced by Ronald J. Dorler, Sr. as the sole trustee.
- B. Paragraph IV-C is hereby revoked and replaced with a new Paragraph IV-C to read as follows:

*F. Distributions to Beneficiaries*

During the term of the Trust, and after making any payment provided for in Paragraph IV-B, the Trustee shall pay or apply the net income and principal of this Trust to or for the use and benefit of the Donor's husband, Ronald J. Dorler, Sr., in convenient installments at any time and from time to time, in such amounts (including the entirety of the Trust principal) and in such manner as the Trustee shall deem for the best interests of the Donor's husband. The Trustee shall accumulate any undistributed income and add the same to principal.

- C. Paragraph V is hereby revoked and replaced with a new Paragraph V to read as follows:

*V. DISPOSITION OF ASSETS AT END OF TERM*

Upon the termination of the Trust pursuant to Paragraph IV-A hereinabove, the entire remaining net trust estate shall be distributed to the Donor's husband, Ronald J. Dorler, Sr., if he is then surviving, or if he is



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Inspections Division  
Approved with Conditions

not then surviving, to his issue then surviving, or if there is no such issue then surviving, to the estate of the Donor's issue said husband.

D. Paragraph VI is hereby revoked with no new language in its place.

E. Paragraph IX-B is hereby revoked and replaced with a new Paragraph I as follows: Date: 11/24/14

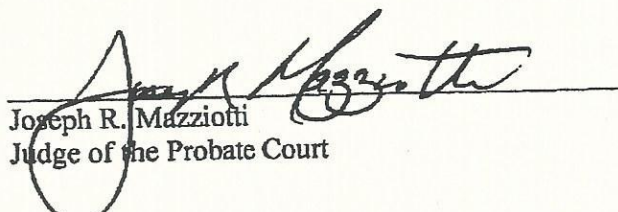
*B. Successor Trustees*

If the said RONALD J. DORLER, SR., becomes incapacitated, dies or is for any other reason unable or unwilling to continue to serve as the Trustee hereunder, the successor Trustee shall be a person named by the most recent written nomination signed by the Donor's said husband and stored with the original Trust Agreement; but if there is no such nomination, the then President of the law firm of LeBlanc & Young, of Portland, Maine, or its successor law firm, shall designate a successor Trustee to serve hereunder. Such successor Trustee may, but need not be an attorney in said law firm.

The Register shall enter the following on the docket: The Order dated August \_\_\_\_\_, 2012 is incorporated in the docket by reference. This entry is made in accordance with the Maine Rules of Probate Procedure 79(a) at the specific direction of the Court.

Dated:

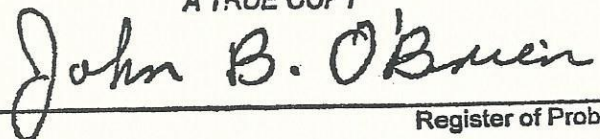
October 5, 2012

  
Joseph R. Mazziotti  
Judge of the Probate Court

STATE OF MAINE, COUNTY OF CUMBERLAND SS.:  
REGISTRY OF PROBATE & PROBATE COURT

A TRUE COPY

Attest:

  
Register of Probate

Register of Probate





*Strengthening a Remarkable City, Building a Community for Life*

Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

**Assessor's Department**

Richard W. Blackburn, Tax Assessor

August 19, Date: 11/24/14

Ronald J Dorler Trustee  
220 Riverside Ind. Pkwy.  
Portland, Maine 04103

**NOTICE OF ACTION ON APPLICATION FOR  
ABATEMENT OF REAL ESTATE TAX**

ACCOUNT ID #52096  
LOCATION: Morningstar Lane CBL #385A A033001

Dear Mr. Dorler,

Your application for abatement of property taxes for FY2015 on the above described property was granted on August 19, 2014.

REASON: Overvaluation

Where an abatement has been granted in whole or in part, we have included a computation showing your new valuation and tax liability.

You have 60 days from the date of this notice to appeal this decision. An appeal may be taken to the Portland Board of Assessment Review, (Telephone # 874-8480, mailing address: Portland City Hall, 389 Congress Street, Room 211, Portland, Maine 04101).

ORIGINAL VALUATION: \$73,400  
NEW VALUATION: \$58,700

ORIGINAL TAX: \$1,468.00  
NEW TAX: \$1,174.00

If you have any further questions please feel free to call the Assessor's office at 874-8486

Sincerely,

Richard W. Blackburn  
Tax Assessor

RWB/lac

REAL ESTATE PROPERTY TAX STATEMENT



52092

CBL:

385 - C-011-001

ACRES:

0.3132

Assessed Property Description:

385-C-11

MORNING STAE LN

13645 SF

LOT 1



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

For Fiscal Year 2015

July 1, 2014 - June 30, 2015

Owner of Record as of April 1, 2014

**DORLER RONALD J TRUSTEE**

220 RIVERSIDE IND PKWY  
PORTLAND ME 04103

Date: 11/24/14

**CURRENT BILLING DISTRIBUTION**

Education	\$754.95
Public Safety	\$213.36
Debt Service	\$199.93
Public Services	\$119.36
General Government	\$28.35
Recreation & Facil. Mgmt	\$35.81
County Tax	\$47.74
Library	\$35.81
Metro	\$23.87
Health & Human Services	\$32.82

**CURRENT BILLING INFORMATION**

Land Value	\$74,600.00
Building Value	\$0.00
Total Value	\$74,600.00
Exemptions	\$0.00
Homestead	\$0.00
Taxable Value	\$74,600.00
Tax Rate	\$20.00
<b>TOTAL TAX</b>	<b>\$1,492.00</b>
<b>AMOUNT PAID</b>	<b>\$0.00</b>

Change of Ownership

Date

Former Owner Name:

New Owner Name:

New Owner Address:

**Remittance Instructions**

Please make check or money order payable to: **CITY OF PORTLAND.**

Remit To: CITY OF PORTLAND, MAINE  
TREASURY DIVISION  
P O BOX 544  
PORTLAND, ME 04112-0544

See reverse side for important payment information.  
Use right top margin for change of address.

Patco Construction, Inc.

Morningstar Lot #1, Portland ME.

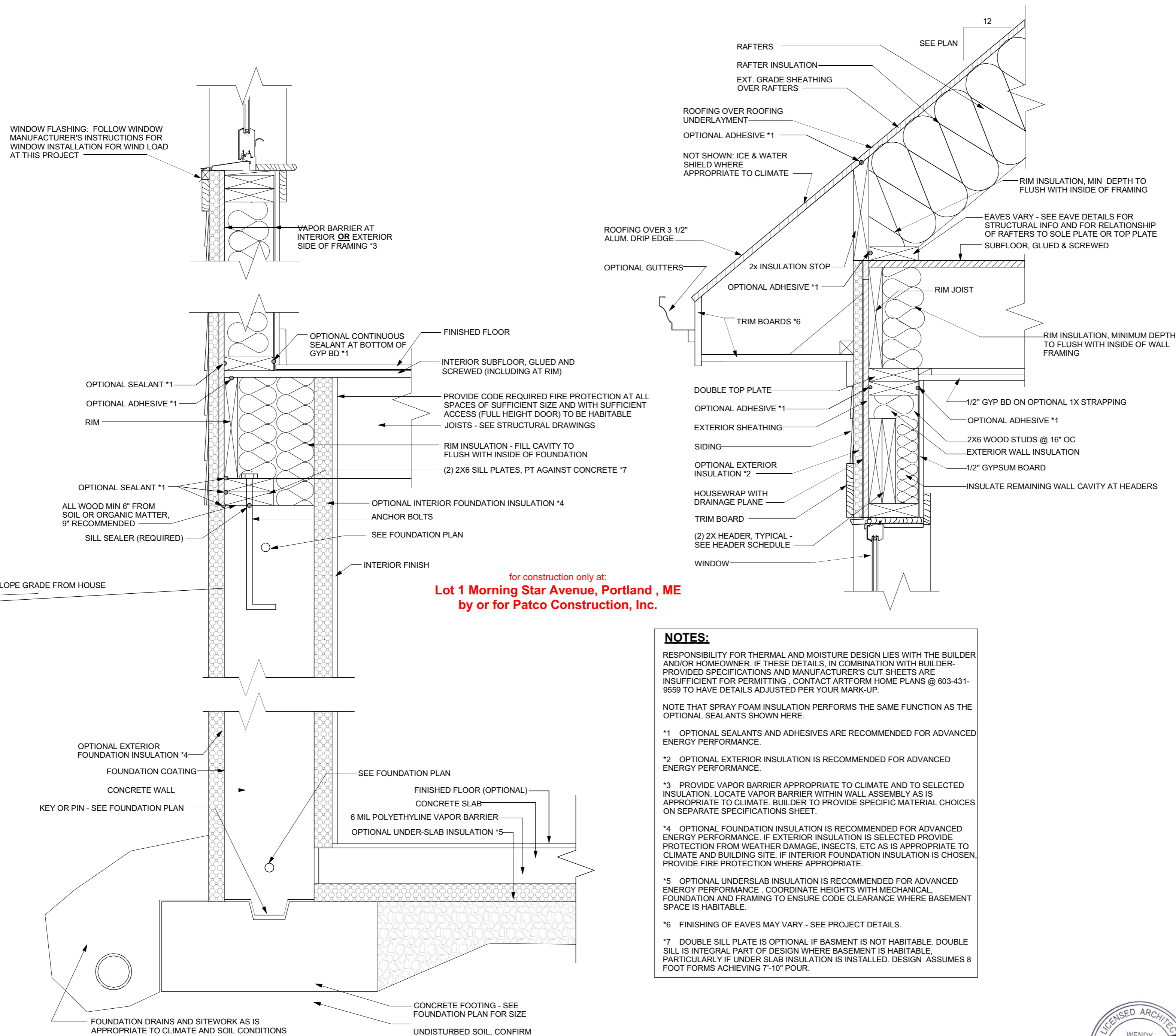
CBL#: 385-C-11



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Inspections Division  
Approved with Conditions

Date: 11/24/14

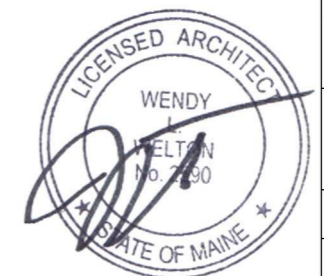
Estimated Cost of Construction: \$205,690.00



for construction only at:  
**Lot 1 Morning Star Avenue, Portland, ME**  
by or for Patco Construction, Inc.

- NOTES:**
- RESPONSIBILITY FOR THERMAL AND MOISTURE DESIGN LIES WITH THE BUILDER AND/OR HOMEOWNER. IF THESE DETAILS, IN COMBINATION WITH BUILDER-PROVIDED SPECIFICATIONS AND MANUFACTURER'S CUT SHEETS ARE INSUFFICIENT FOR PERMITTING, CONTACT ARTFORM HOME PLANS @ 603-431-9559 TO HAVE DETAILS ADJUSTED PER YOUR MARK-UP.
- NOTE THAT SPRAY FOAM INSULATION PERFORMS THE SAME FUNCTION AS THE OPTIONAL SEALANTS SHOWN HERE.
- \*1 OPTIONAL SEALANTS AND ADHESIVES ARE RECOMMENDED FOR ADVANCED ENERGY PERFORMANCE.
  - \*2 OPTIONAL EXTERIOR INSULATION IS RECOMMENDED FOR ADVANCED ENERGY PERFORMANCE.
  - \*3 PROVIDE VAPOR BARRIER APPROPRIATE TO CLIMATE AND TO SELECTED INSULATION. LOCATE VAPOR BARRIER WITHIN WALL ASSEMBLY AS IS APPROPRIATE TO CLIMATE. BUILDER TO PROVIDE SPECIFIC MATERIAL CHOICES ON SEPARATE SPECIFICATIONS SHEET.
  - \*4 OPTIONAL FOUNDATION INSULATION IS RECOMMENDED FOR ADVANCED ENERGY PERFORMANCE. IF EXTERIOR INSULATION IS SELECTED PROVIDE PROTECTION FROM WEATHER DAMAGE, INSECTS, ETC AS IS APPROPRIATE TO CLIMATE AND BUILDING SITE. IF INTERIOR FOUNDATION INSULATION IS CHOSEN, PROVIDE FIRE PROTECTION WHERE APPROPRIATE.
  - \*5 OPTIONAL UNDERSLAB INSULATION IS RECOMMENDED FOR ADVANCED ENERGY PERFORMANCE. COORDINATE HEIGHTS WITH MECHANICAL FOUNDATION AND FRAMING TO ENSURE CODE CLEARANCE WHERE BASEMENT SPACE IS HABITABLE.
  - \*6 FINISHING OF EAVES MAY VARY - SEE PROJECT DETAILS.
  - \*7 DOUBLE SILL PLATE IS OPTIONAL IF BASMENT IS NOT HABITABLE. DOUBLE SILL IS INTEGRAL PART OF DESIGN WHERE BASEMENT IS HABITABLE, PARTICULARLY IF UNDER SLAB INSULATION IS INSTALLED. DESIGN ASSUMES 8 FOOT FORMS ACHIEVING 7'-10" POUR.

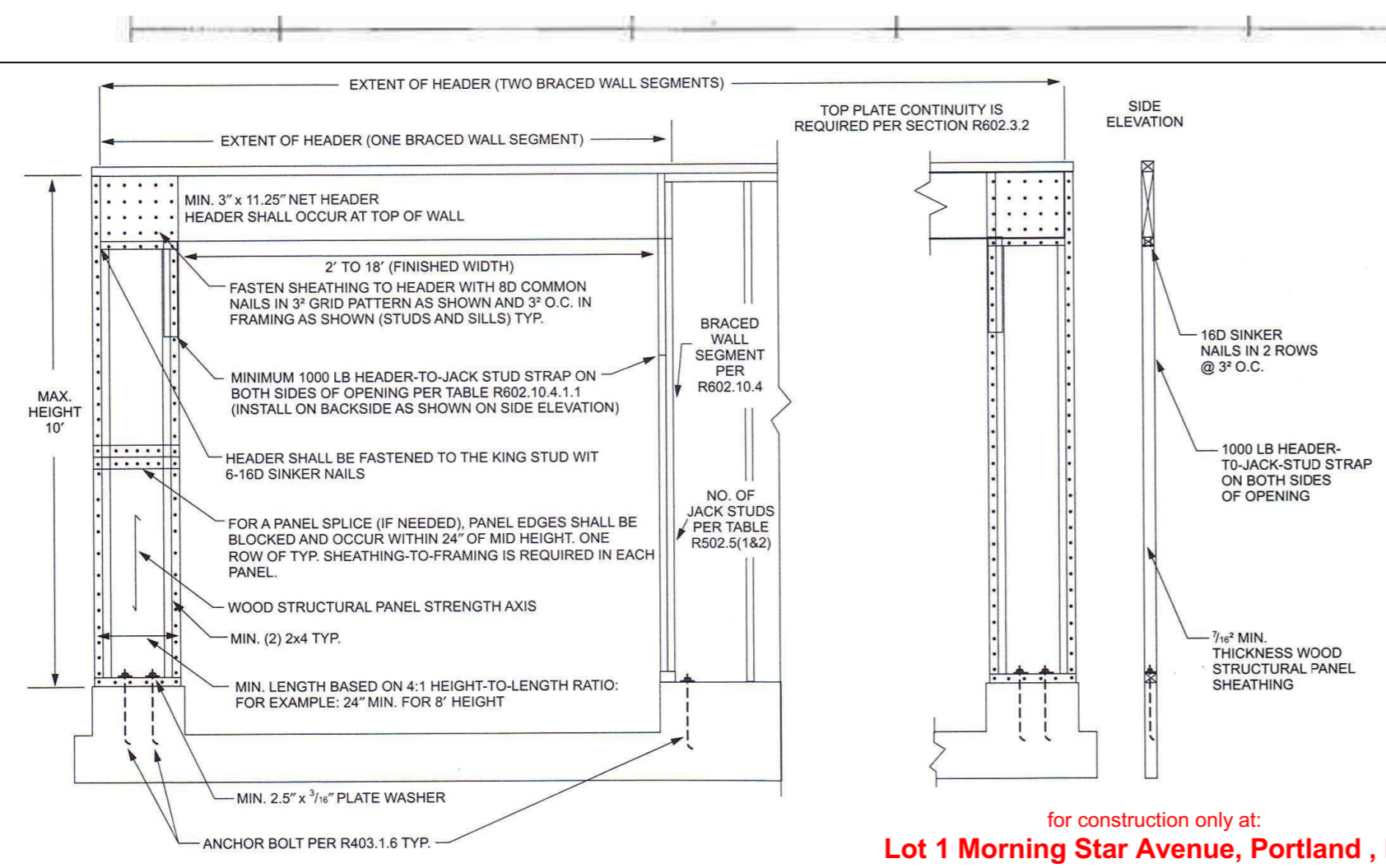
**Thermal and Moisture ONLY**  
1 1/2" = 1'-0"



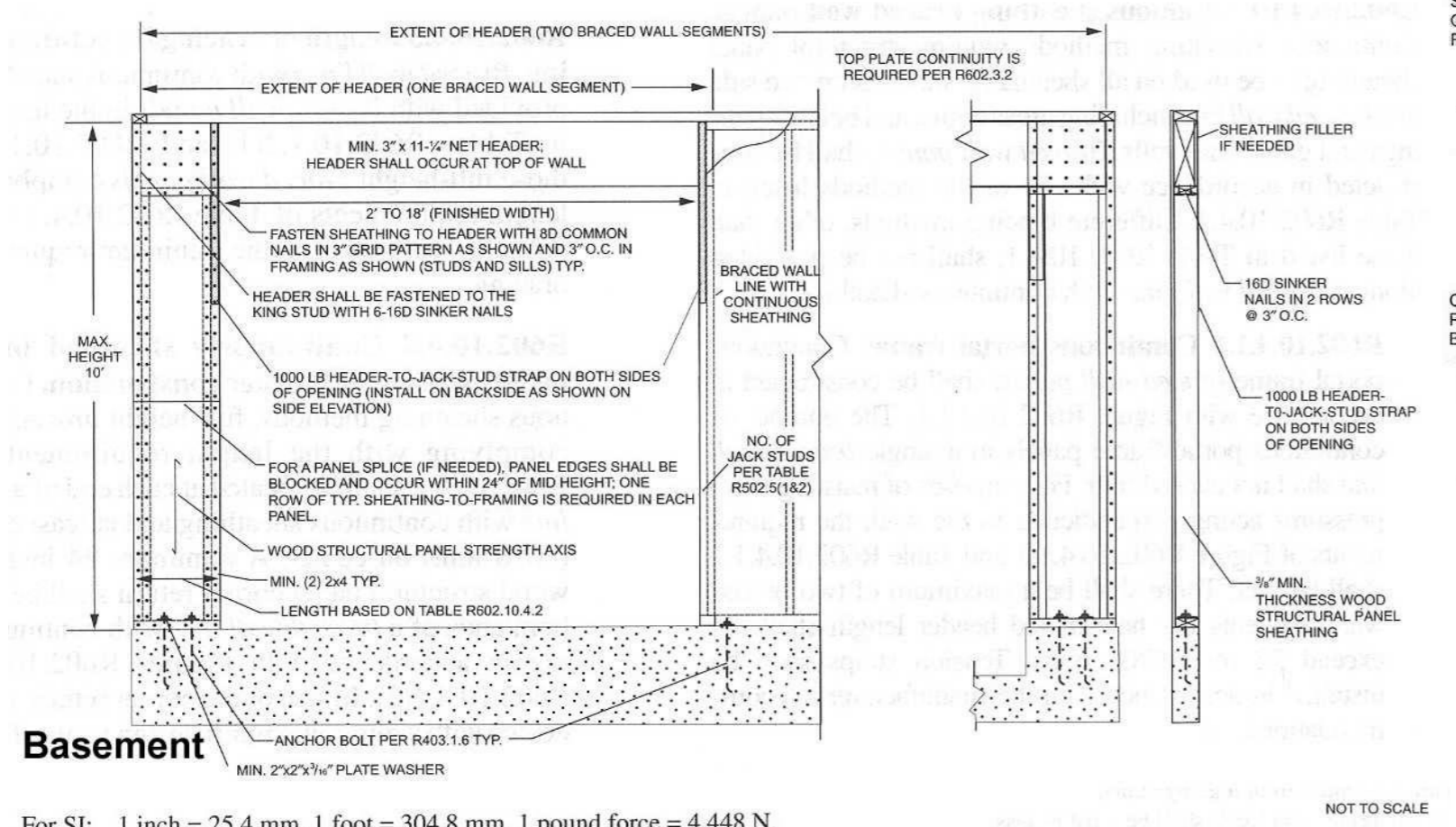
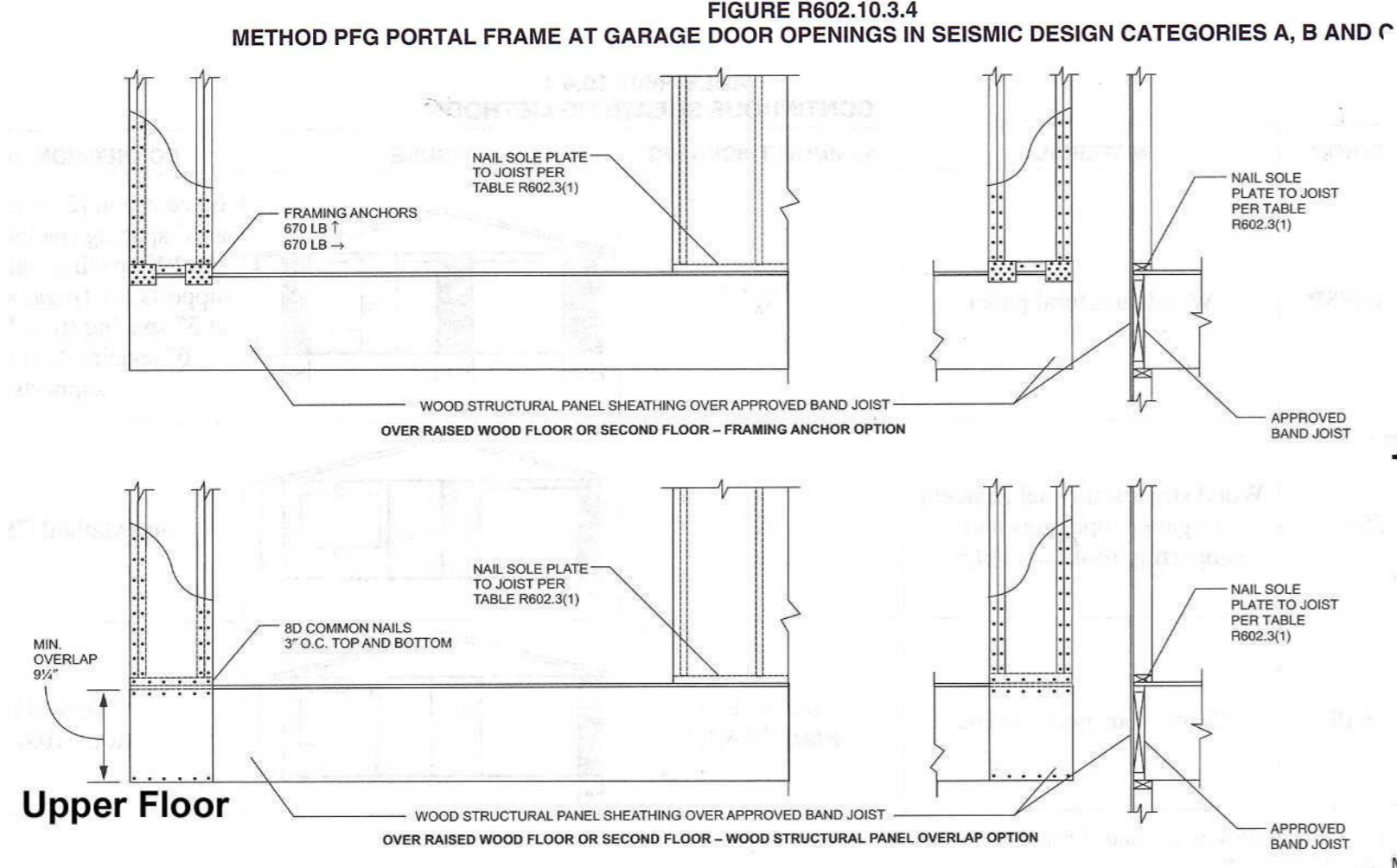
Your use of these drawings constitutes an acceptance of responsibility as outlined in "Dear Code Officer" on the first page of these drawings, and on our web site:  
<http://www.artformhomeplans.com/TermsConditions.a5w>

If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that fall within our scope, as listed on the first page. We can also often provide affordable support for issues that are your responsibility, such as energy design/calcs, or additional detailing.

		<p><b>TM 1</b></p>
<p>AFHP Design # 190.124 KR © 2006-2014 Wendy L. Welton 603.431.9559</p>		
<p><b>April Calla, Classic</b> Lot 1 Morning Star Avenue Portland, ME</p>		<p>Issued for: <b>Construction</b></p>
<p>1/4"=1'-0" unless noted otherwise / Print @ 1:1 PDF created on: 9/16/2014, drawn by ACJ</p>		<p>R2: 9.15.14 - Reverse</p>



For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound force = 4.448 N.



For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound force = 4.448 N.

**FIGURE R602.10.4.1.1**  
**METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION**  
2009 INTERNATIONAL RESIDENTIAL CODE®

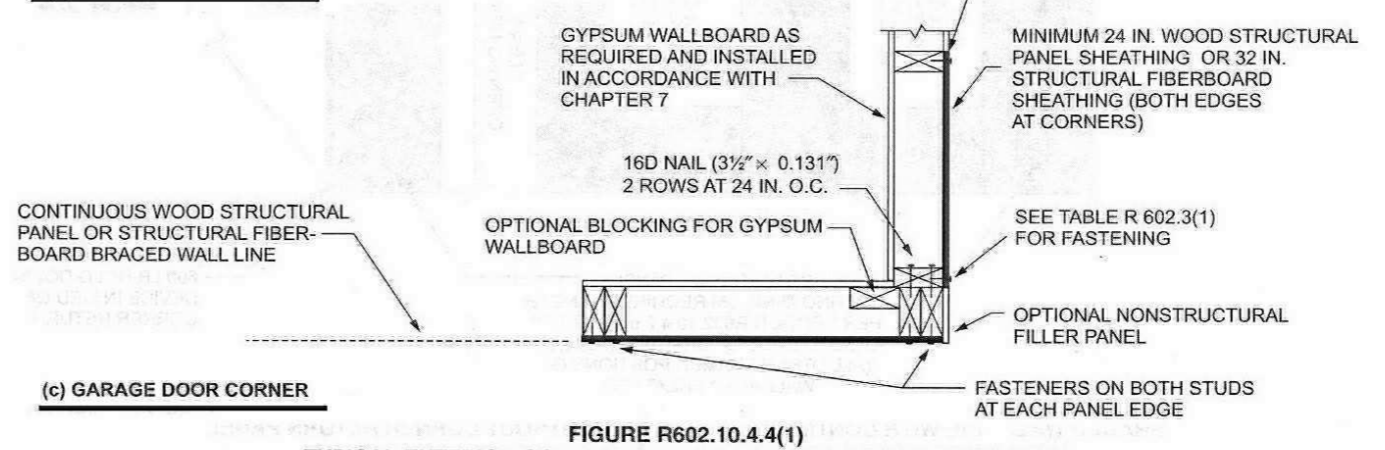
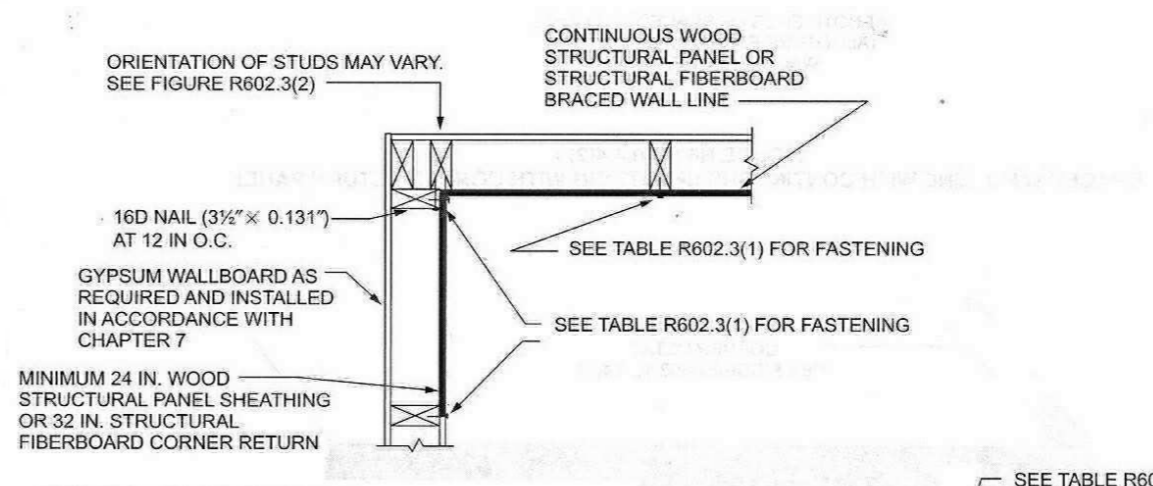
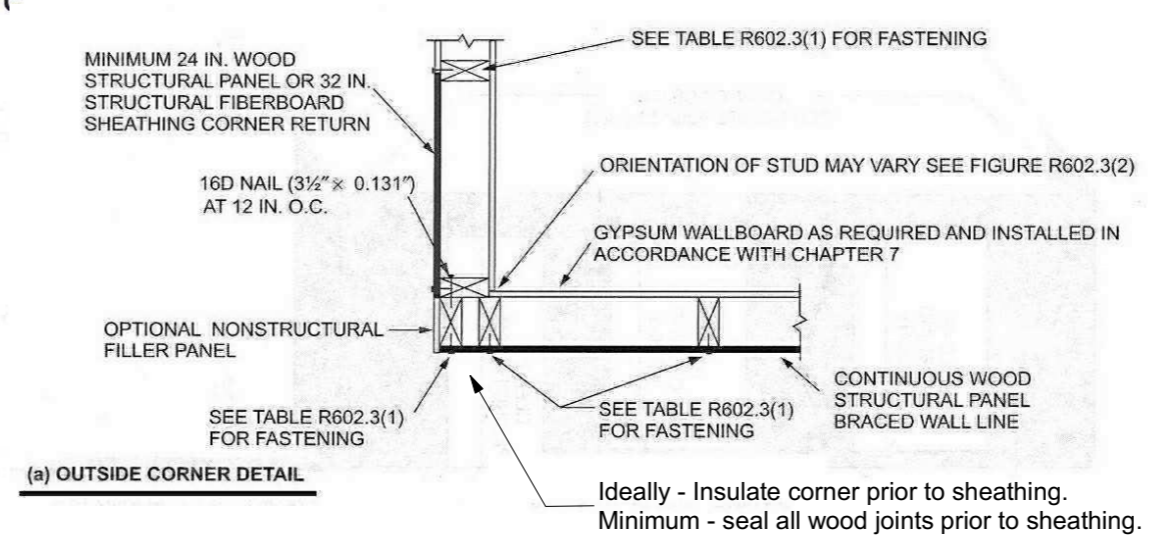
# Shear Wall Details

Not to Scale

Notes:

- See plans for locations where shear panels are required.
- Details shown here are for one method and for typical conditions. An alternate shear method allowed per code or approved by the code officer may be substituted.
- If the method at left is used at Garages where width of panel is 20" or more, wall height may be 10 ft as shown in detail at left. Where panel width is 18"-20", wall height may be 9 ft. Where panel is 16"-18", wall height may be 8 ft. Where panel is less, consult architect for additional design.
- If the method at left is used, increase foundation wall height at front and for 2 ft along wall returns as required to meet maximum wood stud wall heights, and extend sheathing and siding in front of wall to achieve desired aesthetics. Untreated wood may not be in direct contact with concrete - use treated wood or provide a barrier, such as a rubber membrane or felt paper.
- Note that if sheathing is to be used as wall bracing all vertical joints in required braced wall panels must be blocked. [2009 IRC section R602.1.8]

for construction only at:  
**Lot 1 Morning Star Avenue, Portland, ME**  
by or for **Patco Construction, Inc.**



**FIGURE R602.10.4.4(1)**  
**TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING**  
2009 INTERNATIONAL RESIDENTIAL CODE®

177

Your use of these drawings constitutes an acceptance of responsibility as outlined in "Dear Code Officer" on the first page of these drawings, and on our web site: <http://www.artformhomeplans.com/TermsConditions.a5w>

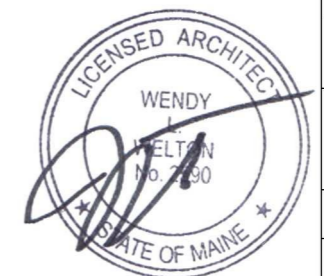
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**Artform Home Plans**  
AFHP Design # 190.124 KR  
© 2006-2014 Wendy L. Welton 603.431.9559

**April Calla, Classic**  
Lot 1 Morning Star Avenue  
Portland, ME

**11**  
Issued for:  
**Construction**

1/4"=1'-0" unless noted otherwise / Print @ 1:1  
PDF created on: 9/16/2014, drawn by ACJ  
R2: 9.15.14 - Reverse





Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

Owner - Ronald ~~Dotter~~ Dorler, Sr. - Trustee  
Applicant: Jesse Braley (Pete's Construction)  
Address: 7 Morningstar Lane  
Lot 1, Morningstar Lane

Date: 10/8/14  
C-B-L: 385-C-01  
permit # 2014-05

Date: 11/24/14

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new house  
Zone Location - R-2  
Interior or corner lot -

Proposed Use/Work - build new single family home 32'x26' w/ full dormer on 2nd floor in rear } dormer in front - 24'x24' attached one story garage one and one half story garage

Lot Street Frontage - 50' min. - 127.49' given on Morning Star (OK)  
Front Yard - ~~25'~~ 28' min. 28' scaled to front of lot (OK)

Rear Yard - 25' min. - 29.6 to rear of deck (OK)

Side Yard - two stripes - 14' min - 13.43 scaled - can be reduced to 12' if add both sides (OK)  
side yard, side street - 20' min - 61.48' scaled (OK)

Projections - bulkhead 4.7x5.3, deck 10'x12' front porch 6'x20' steps 3'x4.5'

Width of Lot - 80' min

Height - 35' max. - 25' 4" shawl bridge from grade - OK

Lot Area - 10,000 sq ft min, - 13,645 sq ft (OK)

Lot Coverage Impervious Surface - 20% = 2729 sq ft

Area per Family - 10,000 sq ft (OK)

Off-street Parking - two spaces required - two car garage (OK)

Loading Bays - N/A

Site Plan - Level I Minor Residential

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Parcel 2 - zone X

garage	24'x24'	=	576
house	32'x26'	=	832
bumpout	12'x6'	=	72
front porch	6'x20'	=	120
deck	10'x12'	=	120
steps	3'x4.5'	=	13.5
		<del>1739.5 sq ft</del>	
		1805.5 sq ft	OK

~~1739.5 sq ft~~  
1805.5 sq ft OK