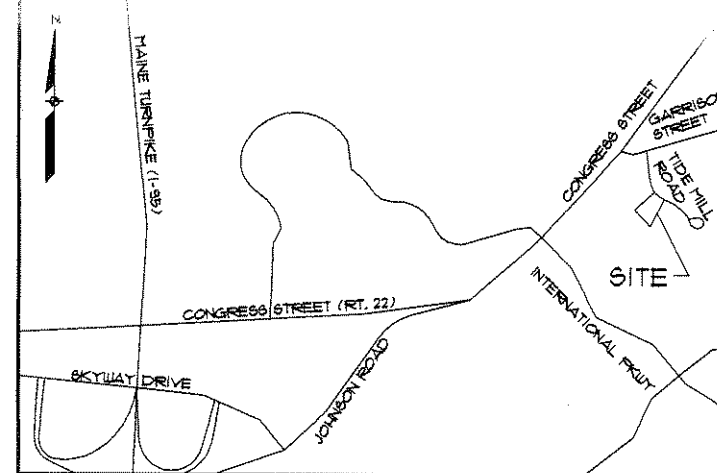


LEGEND

EXISTING	DESCRIPTION	PROPOSED
	BOUNDARY LINE/ROW.	
	ABUTTER LINE/ROW.	
	SETBACK	
	EASEMENT	
	MONUMENT	
	IRON PIPE/ROD	
	CURVE/LINE NO.	
	BENCHMARK	
	BUILDING	
	EDGE PAVEMENT	
	CURBLINE	
	TREELINE	
	CONTOURS	
	SPOT GRADE	
	RETAINING WALL	
	DECIDUOUS TREE	
	CONIFEROUS TREE	
	WATER	
	WATER GATE VALVE	
	WATER SHUT OFF	
	HYDRANT	
	SEWER	
	SEWER MH	
	STORM DRAIN	
	CATCH BASIN	
	DRAINAGE MH	
	UNDERGROUND UTILITY	
	TRANSFORMER PAD	
	LIGHT POLE/WALL	
	TREE TO BE REMOVED	

GENERAL NOTES

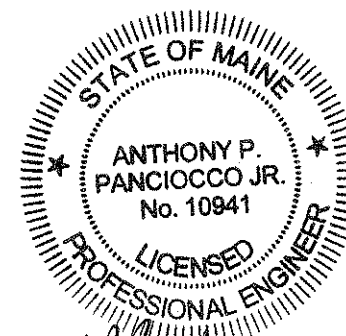
- THE RECORD OWNERS OF THE PARCEL ARE JOSEPH AND KRISTINA GRABARZ BY DEED DATED OCTOBER 11, 2012 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 30022 PAGE 170.
- THE PROPERTY IS SHOWN AS LOT 46 WITHIN BLOCK A ON THE CITY OF PORTLAND TAX MAP 384 AND IS LOCATED IN THE R-2 RESIDENTIAL ZONE.
- SPACE AND BULK CRITERIA FOR THE R-2 ZONE ARE AS FOLLOWS:
 MINIMUM LOT SIZE: 10,000 SF.
 MINIMUM STREET FRONTAGE: 50 FEET
 MINIMUM FRONT YARD: 25 FEET
 MINIMUM SIDE YARD: 16 FEET (2.5 STORIES)
 MINIMUM REAR YARD: 25 FEET
 MAXIMUM BUILDING HEIGHT: 35 FEET
 MAXIMUM BUILDING COVERAGE: 20%
 * SEE ORDINANCE FOR MORE PARTICULAR INFORMATION
- TOTAL AREA OF PARCEL IS APPROXIMATELY 67,263 SQUARE FEET.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED SOLELY UPON PLAN REFERENCE A AND FOUND MONUMENTATION (BEARINGS HAVE BEEN ROTATED TO GRID NORTH, SEE NOTE 7). TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY BY SEBAGO TECHNICS, INC. PERFORMED IN OCTOBER OF 2012.
- PLAN REFERENCES:
 A. PLAN OF DIVISION OF LAND OF THE HAVERTY ESTATE PROPERTY FOR MARGARET HAVERTY, BY SEBAGO TECHNICS, INC. (PROJECT 98611), DATED FEBRUARY 8, 2000, LAST REVISED APRIL 19, 2000, AND RECORDED IN THE CCDR IN PLAN BOOK 200 PAGE 187.
 B. PLAN AND PROFILE: HAVERTY'S WAY, OF THE HAVERTY ESTATE PROPERTY, BY SEBAGO TECHNICS, INC. (PROJECT 98611), DATED FEBRUARY 8, 2000 AND LAST REVISED APRIL 19, 2000.
- PLAN ORIENTATION IS GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802-NAD83, ELEVATIONS DEPICTED HEREON ARE CITY OF PORTLAND DATUM, BASED ON LEVELS FROM CITY MONUMENTS ON AUBURN STREET.
- UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., VERIZON TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.
- TOTAL DEVELOPED AREA ASSOCIATED WITH LOT IMPROVEMENT IS APPROXIMATELY 11,946 SQUARE FEET.
- TOTAL PAVED AREA ASSOCIATED WITH LOT IMPROVEMENT IS APPROXIMATELY 2,350 SQUARE FEET.
- THE LOT OWNER SHALL BE RESPONSIBLE FOR PLANTING A MINIMUM OF TWO (2) STREET TREES ON THE PROPERTY AS REQUIRED UNDER SECTION 14-499 OF THE CITY OF PORTLAND LAND USE ORDINANCE. THE SPECIES AND LOCATION OF SAID TREES MAY DIFFER FROM WHAT IS SHOWN ON THIS PLAN SET, BUT SHALL BE IN CONFORMANCE WITH THE "STANDARDS FOR LANDSCAPING AND LANDSCAPE PRESERVATION" CONTAINED IN THE CITY OF PORTLAND TECHNICAL MANUAL AND MUST BE APPROVED BY THE CITY ARBORIST.



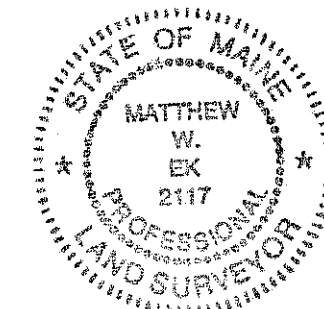
LOCATION MAP

SHEET INDEX

- COVER SHEET (NOTES, LEGEND, LOCATION MAP)
- EXISTING CONDITIONS PLAN
- SITE PLAN
- GRADING/UTILITY PLAN
- OVERALL PARCEL PLAN



Ant P. Pancioocco Jr. 11-29-12



Matthew W. Ek

COVER SHEET OF:

LOT 6 - HAVERTY ESTATE PROPERTY

HAVERTY'S WAY
PORTLAND, MAINE

FOR:

MADD LLC

352 WARREN AVENUE
PORTLAND, MAINE 04103

DESIGN BY:	APP
DRAWN BY:	MWE
CHECKED BY:	MWE
DATE:	10/10/12
SCALE:	1"=20'
FIELD BK:	
PROJ. NO:	12302
DWG:	12302S(COVER)

SHEET 1 OF 5

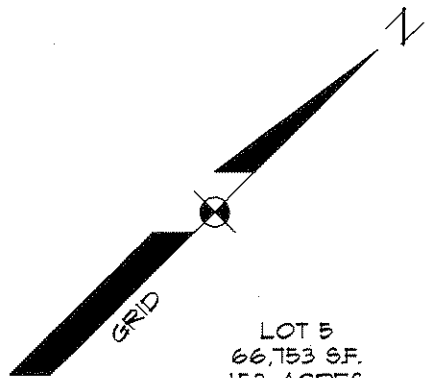
REV.	BY:	DATE:	STATUS:
A	MWE	11-15-12	ISSUED FOR CLIENT REVIEW
B	MWE	11-29-12	ISSUED FOR CITY REVIEW

SEBAGO

TECHNICS

WWW.SEBAGOTECHNICS.COM
 75 John Roberts Rd. - Suite 1A
 South Portland, ME 04240
 Tel. 207-200-2100

250 Goddard Rd. - Suite B
 Lewiston, ME 04240
 Tel. 207-783-5656



LOT 5
66,753 SF.
1.53 ACRES

N/F
MATTHEW & KAREN
FLAHERTY
15730/94

LOT 6
67,263 SF.
1.54 ACRES

N/F
GOODWILL
9636/325
LOT 3

North w. 2h

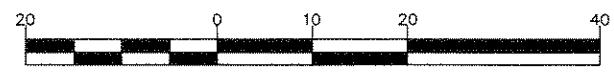
PRIVATE EASEMENT

EXISTING DRIVEWAY &
UTILITY EASEMENT FOR
LOT 6 TO BE EXPANDED
TO ENTIRE FRONT YARD
TO THIS PROPOSED LINE

EXISTING ELECTRICAL AND
SEWER CONNECTIONS
ARE SHOWN PER DESIGN
PLAN. NO FIELD
EVIDENCE FOUND

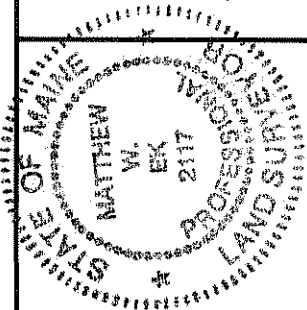
BENCHMARK
FLANGE BOLT BESIDE "O"
IN OPEN ON HYDRANT
ELEVATION 130.60'

HAVERTYS WAY



GRAPHIC SCALE 1 INCH = 20 FEET

REV. BY:	DATE:	STATUS:
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B	MWE 11-29-12	ISSUED FOR CITY REVIEW



EXISTING CONDITIONS PLAN
OF:
LOT 6 - HAVERTY ESTATE PROPERTY
HAVERTY'S WAY
PORTLAND, MAINE

FOR:
MADD LLC
352 WARREN AVENUE
PORTLAND, MAINE 04103

DESIGN BY:	APP
DRAWN BY:	MWE
CHECKED BY:	MWE
DATE:	10/10/12
SCALE:	1"=20'
FIELD BK:	
PROJ. NO:	12302
DWG:	12302S(COVER)

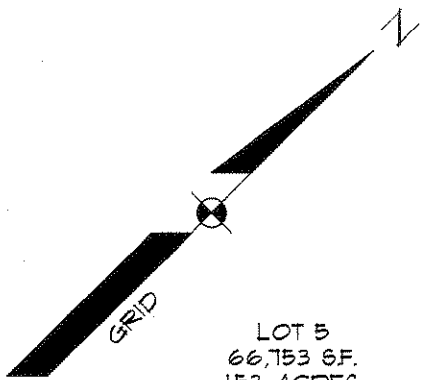
SHEET 2 OF 5

SEE SHEET 1 FOR NOTES,
LEGEND AND LOCATION MAP.

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TECHNICS

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South Portland, ME 04240
Tel. 207-200-2100

250 Goodard Rd. - Suite B
Lewiston, ME 04240
Tel. 207-783-5656



LOT 5
66,753 SF.
153 ACRES

N/F
MATTHEW & KAREN
FLAHERTY
15730/94

TREE TO
REMAIN, TYP.

6'X6'
BULKHEAD

PROPOSED
HOUSE
FFE. =128.60

GARAGE
SLAB
FFE. =126.86

TREE TO BE
REMOVED,
TYP.

PROPOSED EASEMENT
FOR LOT 6 TO INCLUDE
THE ENTIRE FRONT YARD

NEW STREET
TREE

NEW STREET
TREE

HAVERTYS WAY

LOT 6
67,263 SF.
154 ACRES

N/F
GOODWILL
9636/325
LOT 3

PRIVATE EASEMENT

REV. BY:	DATE:	STATUS:
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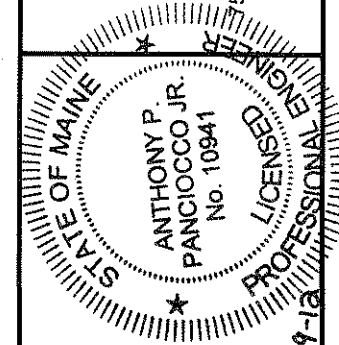
GRAPHIC SCALE 1 INCH = 20 FEET

SEE SHEET 1 FOR NOTES,
LEGEND AND LOCATION MAP.

SEBAGO
TECHNICS

WWW.SEBAGOTECHNICS.COM
5 John Roberts Rd. - Suite 1A
South Portland, ME 04106
Tel. 207-200-2100

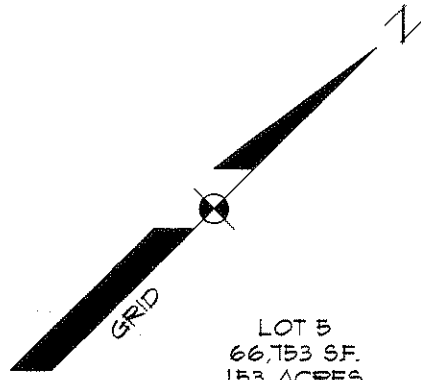
250 Goddard Rd. - Suite B
Lewiston, ME 04240
Tel. 207-783-5656



SITE PLAN
OF: **LOT 6 - HAVERTY ESTATE PROPERTY**
HAVERTY'S WAY
PORTLAND, MAINE
FOR: **MADD LLC**
352 WARREN AVENUE
PORTLAND, MAINE 04103

DESIGN BY:	APP
DRAWN BY:	MWE
CHECKED BY:	MWE
DATE:	10/10/12
SCALE:	1"=20'
FIELD BK:	
PROJ. NO:	12302
DWG:	12302S(COVER)

SHEET 3 OF 5



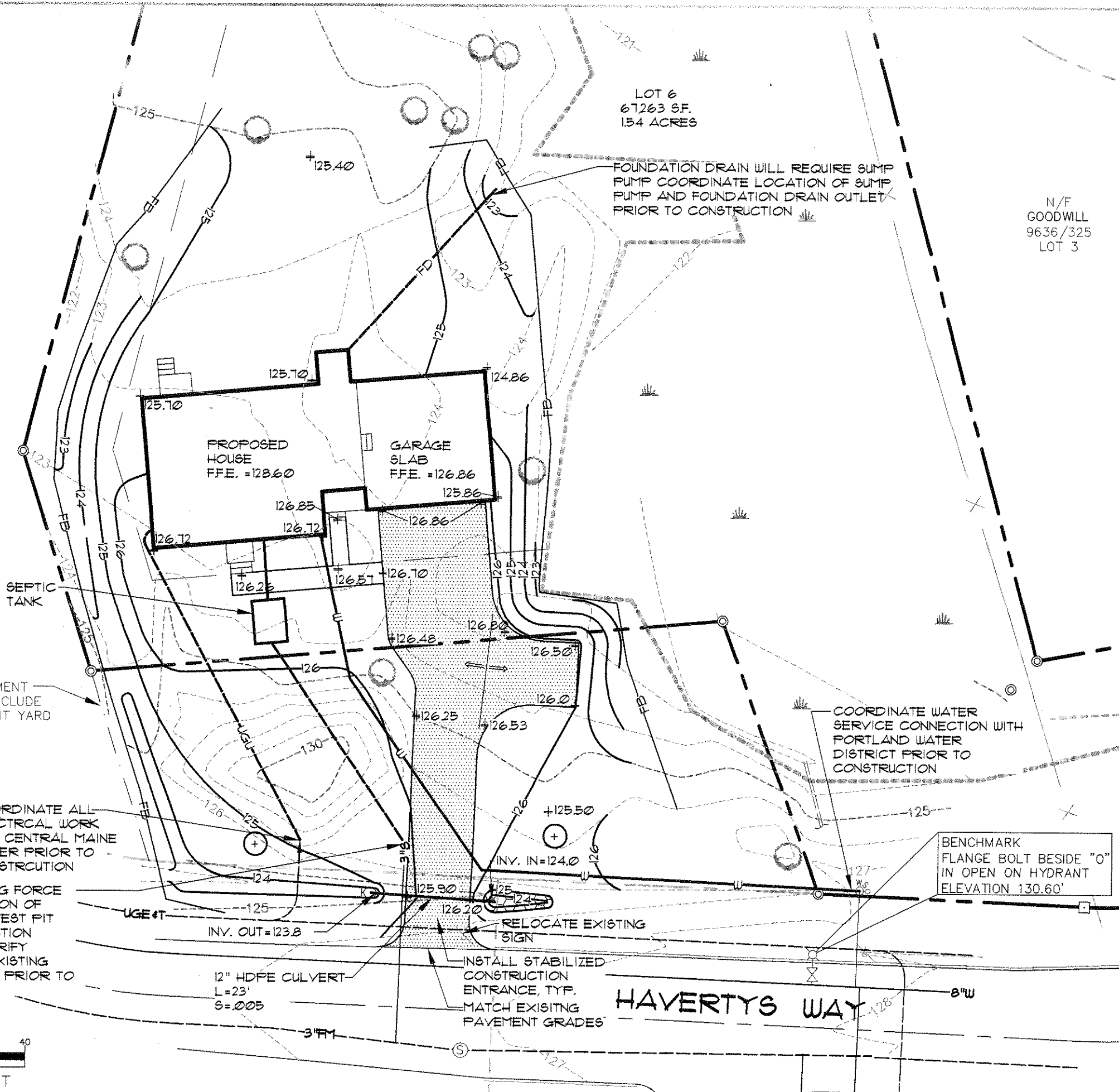
LOT 5
66,753 SF.
1.53 ACRES

N/F
MATTHEW & KAREN
FLAHERTY
15730/94

LOT 6
67,263 SF.
1.54 ACRES

FOUNDATION DRAIN WILL REQUIRE SUMP
PUMP COORDINATE LOCATION OF SUMP
PUMP AND FOUNDATION DRAIN OUTLET
PRIOR TO CONSTRUCTION

N/F
GOODWILL
9636/325
LOT 3



PRIVATE EASEMENT

PROPOSED EASEMENT
FOR LOT 6 TO INCLUDE
THE ENTIRE FRONT YARD

COORDINATE ALL
ELECTRICAL WORK
WITH CENTRAL MAINE
POWER PRIOR TO
CONSTRUCTION

CONNECT TO EXISTING FORCE
MAIN VERIFY LOCATION OF
SERVICE STUB WITH TEST FIT
PRIOR TO CONSTRUCTION
CONTRACTOR TO VERIFY
REQUIREMENTS OF EXISTING
FORCE MAIN SYSTEM PRIOR TO
CONNECTION

COORDINATE WATER
SERVICE CONNECTION WITH
PORTLAND WATER
DISTRICT PRIOR TO
CONSTRUCTION

BENCHMARK
FLANGE BOLT BESIDE "O"
IN OPEN ON HYDRANT
ELEVATION 130.60'

12" HDPE CULVERT
L=23'
S=.005

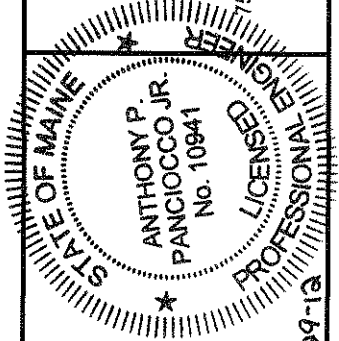
INSTALL STABILIZED
CONSTRUCTION
ENTRANCE, TYP.
MATCH EXISTING
PAVEMENT GRADES

HAVERTYS WAY



GRAPHIC SCALE 1 INCH = 20 FEET

REV.	BY:	DATE:	STATUS:
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GRADING UTILITY PLAN

OF LOT 6 - HAVERTY ESTATE PROPERTY

HAVERTY'S WAY
PORTLAND, MAINE

FOR: MADD LLC
352 WARREN AVENUE
PORTLAND, MAINE 04103

DESIGN BY:	APP
DRAWN BY:	MWE
CHECKED BY:	MWE
DATE:	10/10/12
SCALE:	1"=20'
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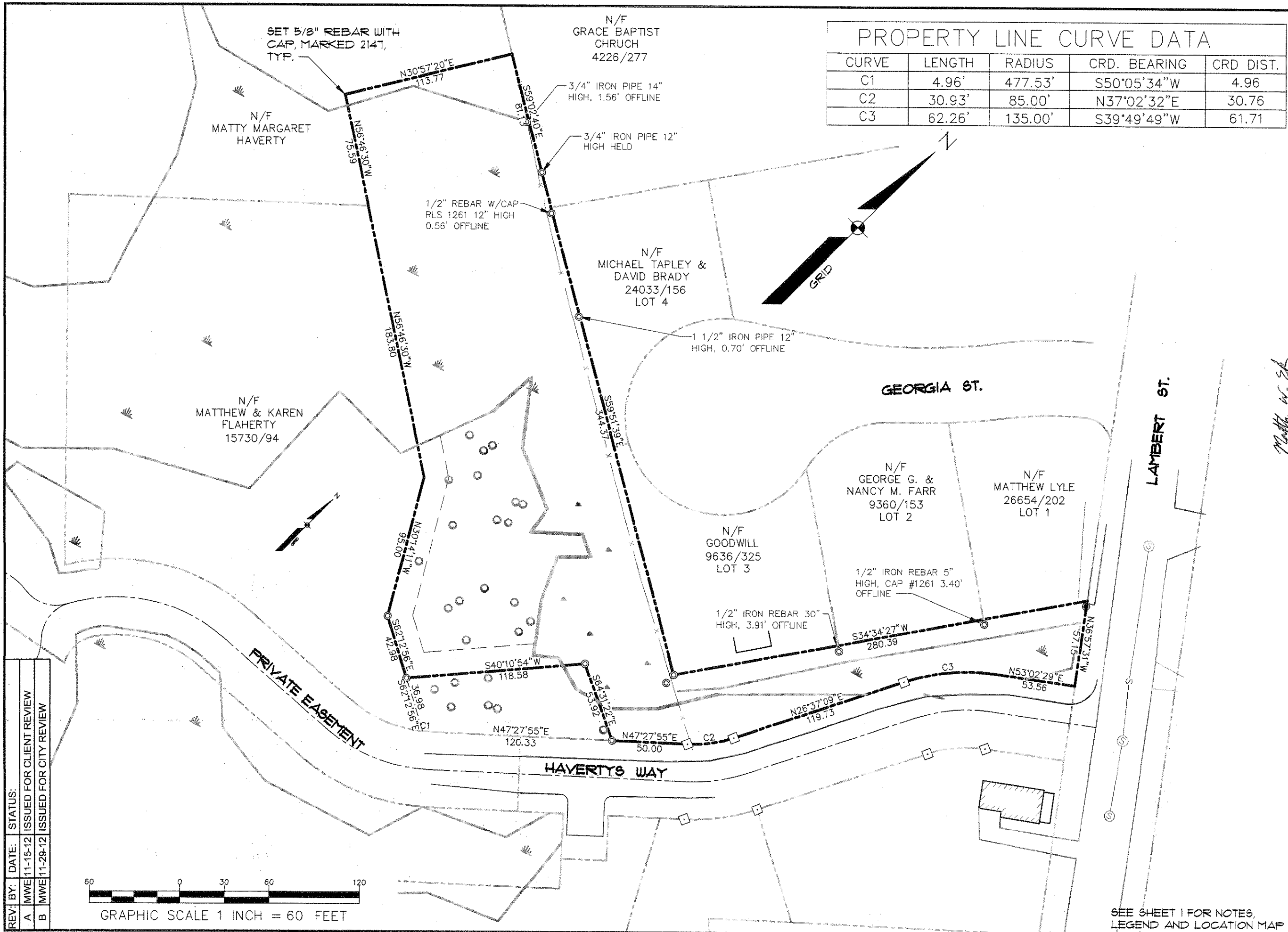
SHEET 4 OF 5

SEBAGO
TECHNICS

WWW.SEBAGOTECHNICS.COM
175 John Roberts Rd. - Suite 1A
South Portland, ME 04106
Tel. 207-200-2100

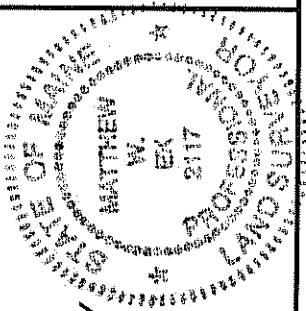
250 Goodard Rd. - Suite E
Lewiston, ME 04240
Tel. 207-783-5656

Chris Pan A 11-29-12



PROPERTY LINE CURVE DATA				
CURVE	LENGTH	RADIUS	CRD. BEARING	CRD. DIST.
C1	4.96'	477.53'	S50°05'34\"W	4.96
C2	30.93'	85.00'	N37°02'32\"E	30.76
C3	62.26'	135.00'	S39°49'49\"W	61.71

SEBAGO
TECHNICALS
WWW.SEBOGOTECHNICALS.COM
75 John Roberts Rd. - Suite 1A
South Portland, ME 04240
Tel. 207-200-2100



OVERALL PARCEL PLAN
OF: **LOT 6 - HAVERTY ESTATE PROPERTY**
HAVERTY'S WAY
PORTLAND, MAINE
FOR: **MADD LLC**
352 WARREN AVENUE
PORTLAND, MAINE 04103

DESIGN BY:	APP
DRAWN BY:	MWE
CHECKED BY:	MWE
DATE:	10/10/12
SCALE:	1"=20'
FIELD BK:	
PROJ. NO:	12302
DWG:	12302S(COVER)

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GRAPHIC SCALE 1 INCH = 60 FEET

SEE SHEET 1 FOR NOTES, LEGEND AND LOCATION MAP