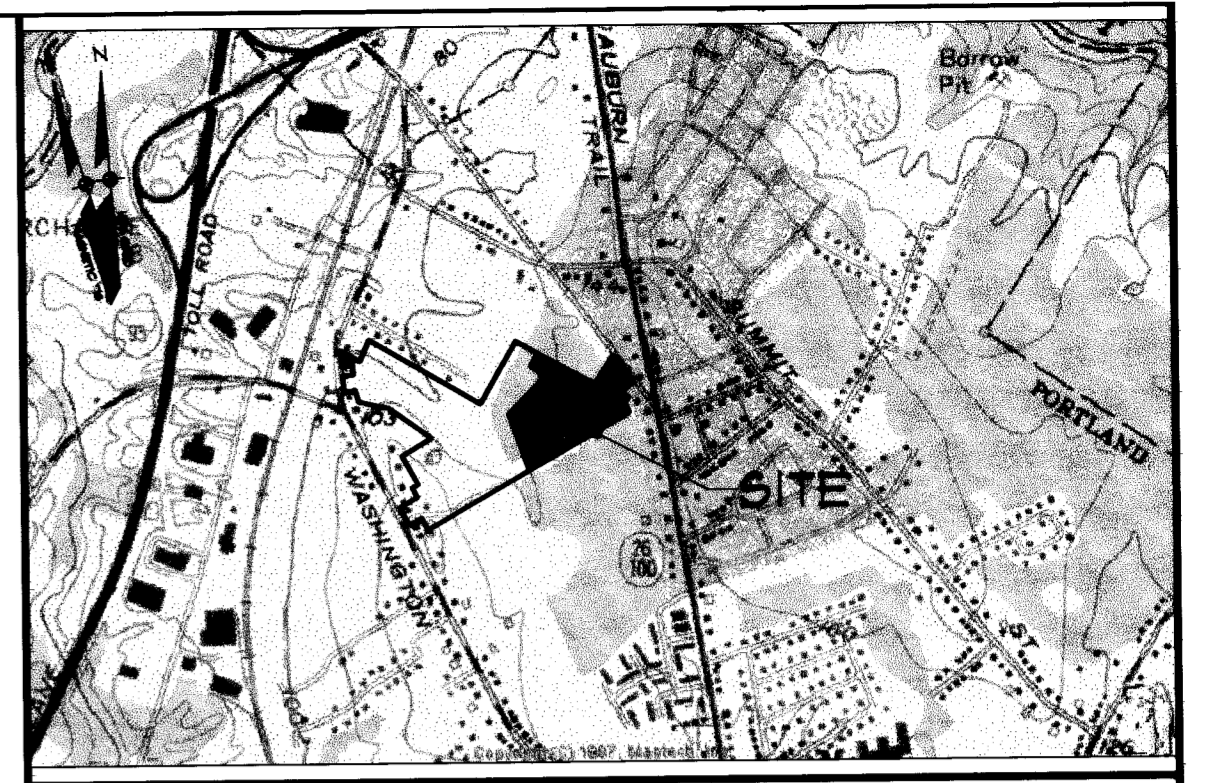


**SURVEYORS STATEMENT**

THIS PLAN IS BASED ON A STANDARD BOUNDARY SURVEY PERFORMED IN CONFORMANCE WITH THE STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE CATEGORY 1 CONDITION 2 WITH THE FOLLOWING EXCEPTIONS:  
 1. NO MONUMENTATION HAS BEEN SET AT THIS DATE  
 2. NO REPORT OF SURVEY HAS BEEN COMPLETED  
 3. NO NEW DEED DESCRIPTIONS HAVE BEEN PREPARED  
 4. REFERENCE IS MADE TO A PLAN NOTED IN NOTE 3 FOR MORE INFORMATION PERTINENT TO THE PERIMETER BOUNDARIES.

**GENERAL NOTES:**

13. PARKING IS TO BE LIMITED TO ONE SIDE OF THE STREET ON HAVERTY'S WAY. PARKING WILL BE PERMITTED ONLY ON THE SOUTHERLY SIDE OF THE STREET. THE DEVELOPER WILL INSTALL SIGNS DENOTING THIS PER THE CITY'S REQUIREMENTS PRIOR TO ACCEPTANCE OF THE STREET BY THE CITY.
14. STREET NAME SIGNS AND STOP SIGNS ARE TO BE ERRECTED PER THE CITY REQUIREMENTS BY THE DEVELOPER PRIOR TO THE ACCEPTANCE OF THE STREET BY THE CITY.
15. A MINIMUM OF TWO (2) TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES.
16. ALL RESIDENTS SHALL INCLUDE INDIVIDUAL GRINDER PUMPS, BACKFLOW VALVES AND STORAGE TANKS. THE 3" FORCE MAIN SHOULD TIE INTO A TERMINUS MANHOLE WITH A GRAVITY DISCHARGE TO A NEW MANHOLE CONSTRUCTED ON THE EXISTING SEWER LINE IN LAMBERT STREET.
17. THE GRAVITY SEWER FROM SMH-2 TO SMH-1 SHALL BE PUBLIC FORCE MAIN SHALL REMAIN PRIVATE. SEE HAVERTY'S WAY PLAN AND PROFILE SHEET FOR DETAILS.
18. VERTICAL DATUM IS BASED ON AN ELEVATION ESTABLISHED BY THE CITY OF PORTLAND ON THE TOP OF A 6" SQUARE GRANITE MONUMENT, AS SHOWN BELOW, AND IS 18.640' REFERENCE IS MADE TO SKETCH # OF AUBURN STREET DATED JAN. 19, 1911 ON FILE AT THE CITY OF PORTLAND ENGINEERING DEPT.



LOCATION MAP N.T.S.

**GENERAL NOTES:**

1. THE RECORD OWNER OF THE PROPERTY IS MARY MARGARET I. HAVERTY BY DEVISE FROM JOHN E. HAVERTY AN ABSTRACT OF THE WILL BEING RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 14636 PAGE 179. REFERENCE IS MADE TO THE FOLLOWING DEEDS:  
 WILLIAM F. COOK JR. REPRESENTATIVE OF THE ESTATE OF WILLIAM F. COOK TO JOHN E. HAVERTY BY DEED DATED OCTOBER 27, 1961 AND RECORDED IN BOOK 8036 PAGE III.  
 CAROLINA I. HAVERTY TO JOHN E. HAVERTY BY CORRECTIVE DEED DATED FEBRUARY 27, 1981 AND RECORDED IN BOOK 19116 PAGE 81. PARCELS 143 IN THE DEED DESCRIBES PARCEL A SHOWN ON THIS PLAN. PARCEL 2 IN THE DEED DESCRIBES PARCEL C SHOWN ON THIS PLAN.
  2. THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND'S TAX MAPS 371 AS LOTS 2 AND 8, MAP 384 AS LOTS 3, 4, II AND 19, AND MAP 385A AS LOT 1.
  3. REFERENCE IS HEREBY MADE TO THE STANDARD BOUNDARY SURVEY PERFORMED BY SEBAGO TECHNICS, INC. AS SHOWN ON A PLAN OF LAND ENTITLED, "STANDARD BOUNDARY SURVEY OF THE HAVERTY ESTATE PROPERTY, WASHINGTON AVE. EXTENSION, PORTLAND, ME. FOR MARGARET HAVERTY" DATED THROUGH APRIL 20, 2000 TO BE RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
  4. ONLY A PORTION OF THE HAVERTY PARCEL IS PROPOSED TO BE DIVIDED, AS SHOWN ON THIS PLAN. THE REMAINING LAND IS TO BE RETAINED BY THE OWNER.
  5. PROPERTY TO BE DIVIDED IS LOCATED IN THE CITY OF PORTLAND'S R-2 RESIDENTIAL AND R-3 ZONES
- | SPACE & BULK CRITERIA   | R-2 ZONE   | R-3 ZONE   |
|---|------------|------------|
| MINIMUM LOT FRONTAGES   | 50 FT      | 50 FT      |
| MINIMUM RESIDENTIAL LOT SIZE  | 10,000 SF  | 6,500 SF   |
| MINIMUM FRONT YARD  | 25 FT      | 25 FT      |
| MINIMUM REAR YARD   | 25 FT      | 25 FT      |
| - PRINCIPAL OR ACCESSORY STRUCTURE (-100 SF)  | 25 FT      | 25 FT      |
| - DETACHED ACCESSORY STRUCTURE (-100 SF)  | 5 FT       | 5 FT       |
| MINIMUM SIDE YARD   |            |            |
| - PRINCIPAL OR ACCESSORY STRUCTURE (-100 FT)  |            |            |
| 1 STORY   | 12 FT      | 8 FT       |
| 1/2 STORIES   | 12 FT      | 8 FT       |
| 2 STORIES   | 14 FT      | 14 FT      |
| 2 1/2 STORIES   | 16 FT      | 16 FT      |
| - ACCESSORY DETACHED STRUCTURE (-100 SF)  | 5 FT       | 5 FT       |
| * THE WIDTH OF ONE SIDE YARD MAY BE REDUCED ONE FOOT FOR EVERY ONE FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED.  |            |            |
| NO SIDE YARD SHALL BE LESS THAN   | 12 FT      | 8 FT       |
| MINIMUM SIDE YARD ON SIDE STREETS   | 20 FT      | 20 FT      |
| MINIMUM LOT WIDTH   | 20 FT      | 15 FT      |
| MAXIMUM LOT COVERAGE  | 20% OF LOT | 25% OF LOT |
| MAXIMUM STRUCTURE HEIGHT:   |            |            |
| (PRINCIPAL OR ACCESSORY ATTACHED STRUCTURE)   | 18 FT      | 18 FT      |
| ACCESSORY DETACHED STRUCTURE  | 18 FT      | 18 FT      |
| ** LOT WIDTH IS DEFINED AS THE DISTANCE PARALLEL TO THE FRONT OF THE BUILDING MEASURED BETWEEN SIDE LOT LINES THROUGH THAT PART OF THE PRINCIPAL BUILDING WHERE THE LOT IS NARREST. |            |            |

**AREA SUMMARY**

TOTAL OF DEVELOPED AREA	426,696 SF.	9.8 Ac.
HAVERTY'S WAY	19,608 SF.	0.45 Ac.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---	---	ROCK OUTCROP	---
---	SETBACK	---	---	EDGE PAVEMENT	---
---	EASEMENT	---	---	GRAVEL ROAD	---
---	CENTERLINE	---	---	EDGE WATER	---
---	MONUMENT	---	---	CONTOURS	---
---	IRON PIPE/ROD	---	---	WATER	---
---	BUILDING	---	---	SEWER	---
---	WETLANDS	---	---	MANHOLE	---
---	EDGE WETLAND	---	---	STONE WALL	---
---	STREAM	---	---	ZONE LINE	---

**APPROVAL OF LAND DIVISION BY PORTLAND PLANNING DEPT.**

THIS IS A DIVISION OF LAND THAT IS EXEMPT FROM SUBDIVISION REVIEW PURSUANT TO 30-A MRSA SECTION 440(4)(d). THIS DIVISION MEETS CITY OF PORTLAND ZONING REQUIREMENTS AND STREET STANDARDS.

JOSEPH E. GRANT, JR. DIRECTOR OF PLANNING AND URBAN DEVELOPMENT  
 DATE: 4/20/2000

**EASEMENT LINE CURVE DATA**

CURVE	LENGTH	RADIUS	DELTA
EC1	23.19'	25.00'	53°09'02"
EC2	33.152'	65.00'	292°13'31"

**PROPERTY LINE CURVE DATA**

CURVE	LENGTH	RADIUS	DELTA
C8	39.27'	25.00'	90°00'00"
C9	39.20'	85.00'	26°25'19"
C10	49.12'	135.00'	20°50'46"
C11	90.76'	135.00'	38°31'08"
C12	74.91'	85.00'	50°29'36"
C13	21.94'	25.00'	64°02'11"
C14	130.66'	135.00'	55°21'12"
C15	57.14'	85.00'	38°31'08"
C16	30.93'	85.00'	20°50'46"
C17	62.26'	135.00'	26°25'19"
C18	39.27'	25.00'	90°00'00"

STATE OF MAINE  
 Cumberland County SS REGISTRY OF DEEDS  
 RECEIVED April 21 2002  
 AT 9:40 A.M. AND RECORDED IN  
 PLAN BOOK 200 PAGE 187  
 ATTEST: John B. O'Brien REGISTER

REV.	BY:	DATE:	STATUS:
E	NJG	4-19-00	REVISED PER PLANNING BOARD COMMENTS
D	NJG	4-06-00	REVISED PER CITY STAFF COMMENTS
C	NJG	3-23-00	SUBMITTED FOR CITY STAFF REVIEW
B	NJG	2-29-00	ISSUED FOR PRELIMINARY REVIEW
A	SGD	2-09-00	ISSUED FOR REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**PLAN OF DIVISION OF LAND OF:**  
**THE HAVERTY ESTATE PROPERTY**  
 WASHINGTON AVE. EXTENSION  
 PORTLAND, MAINE  
 FOR RECORD OWNER:  
**MARGARET HAVERTY**  
 WASHINGTON AVE. EXTENSION  
 PORTLAND, MAINE 04103

DESIGN BY: SGD  
 DRAWN BY: BDF  
 CHECKED BY: NJG/DEB  
 DATE: 2-08-00  
 SCALE: 1" = 50'  
 FIELD BK: 698  
 PROJ. NO: 98611  
 DRAWING: 98611S2  
**SHEET 1 OF 3**

**Sebago Technics**  
 Engineering & Planning for the Future  
 ONE CHABOT STREET  
 WESTBROOK, ME 04098-1339  
 TEL (207) 856-0277

