

### Eave and Truss Detail

Details and Specifications  
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DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT

PERMIT ISSUED

Permit Number: 030856  
JUL 21 2003

This is to certify that Didonato Thomas T &/self

has permission to Build 26x30 1-story detached garage w/tr storage

CITY OF PORTLAND

AT 418 Auburn St

384 A015001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in progress must be reported to the inspector before this building or part thereof is occupied or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

*Joanne Bonds 7/21/03*  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**BUILDING PERMIT INSPECTION PROCEDURES**

Please call **874-8703** or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.



~~JB~~ Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at ~~874-8693~~ must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection: Prior to pouring concrete
- ~~NA~~ Re-Bar Schedule Inspection: Prior to pouring concrete
- ~~NA~~ Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- ~~NA~~ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~NA~~ CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

	7/21/03
Signature of applicant/designee	Date
	8/21/03
Signature of Inspections Official	Date
CBL: 384-A-15	Building Permit #: 03-0856

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0856	Issue Date: JUL 21 2003	CBL: 384 A015001
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Location of Construction: 418 Auburn St	Owner Name: Didonato Thomas T &	Owner Address: 418 Auburn St	Phone: 878-5704
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Detached	Zone: R3
Past Use: Single Family	Proposed Use: Single Family w/detached garage	Permit Fee:	Cost of Work: \$7,000.00
Proposed Project Description: Build 26x30 1-story detached garage w/no storage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 573 accessory BOA 1999 Signature: JMB 7/21/03
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: jmb	Date Applied For: 07/21/2003	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 7/21/03	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

10/21/03 - Frostings & Setbacks of Topan @

**City of Portland, Maine - Building or Use Permit**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0856	Date Applied For: 07/21/2003	CBL: 384 A015001	
Location of Construction: 418 Auburn St	Owner Name: Didonato Thomas T &	Owner Address: 418 Auburn St	Phone: ( ) 878-5704
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Detached	
Proposed Use: Single Family w/detached garage		Proposed Project Description: Build 26x30 1-story detached garage w/no storage	
Dept: Zoning      Status: Approved		Reviewer: Jeanine Bourke      Approval Date: 07/21/2003	
Note:		Ok to Issue: <input checked="" type="checkbox"/>	
1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building      Status: Approved		Reviewer: Jeanine Bourke      Approval Date: 07/21/2003	
Note:		Ok to Issue: <input checked="" type="checkbox"/>	
1) Separate permits are required for any electrical work			

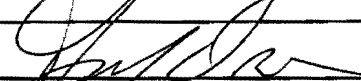
## All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction:		
Total Square Footage of Proposed Structure <b>780 SQ FT</b>	Square Footage of Lot <b>23,975 SQ FT / .55 ACRES</b>	
Tax Assessor's Chart, Block & Lot Chart# <b>384</b> Block# <b>A-15-001</b> Lot#	Owner: <b>THOMAS J. + PAMELA S DI DONATO</b>	Telephone: <b>(207) 878 5704</b>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <b>THOMAS J DI DONATO 418 AUBURN ST PORTLAND ME 04103</b>	Cost Of Work: \$ <b>2000 -</b> Fee: \$ <b>84.00</b>
Current use: <u>SINGLE FAMILY HOME</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>REMAIN SINGLE FAMILY HOME</u>		
Project description: <u>26 X 30 DETACHED GARAGE</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>THOMAS J DI DONATO</u>		
Mailing address: <u>418 AUBURN ST, PORTLAND, ME, 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <b>(207) 878 5704</b>		

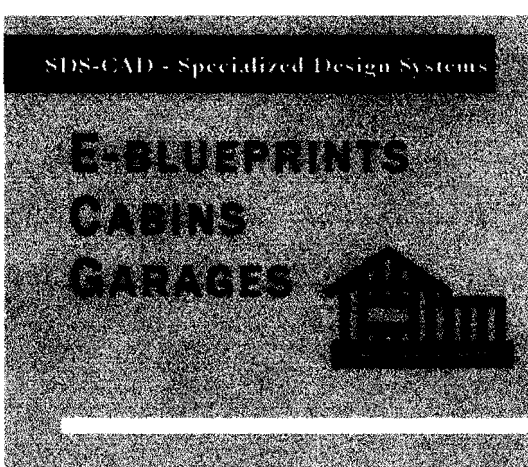
**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

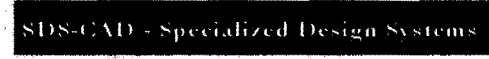
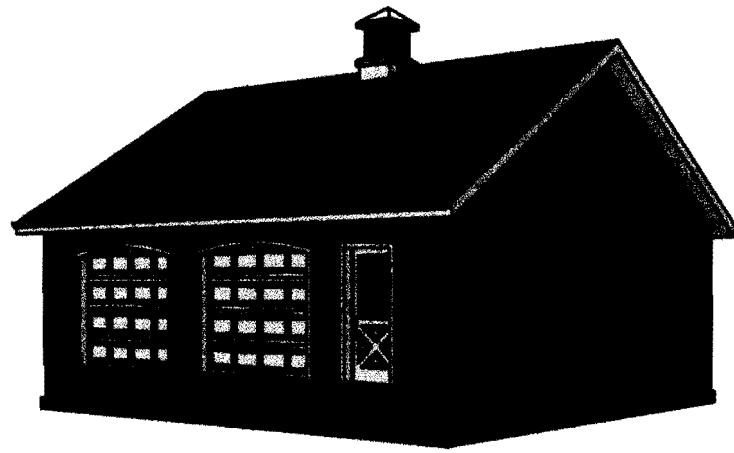
Signature of applicant: 	Date: <u>07/21/03</u>
-------------------------------------------------------------------------------------------------------------	-----------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued.**  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall



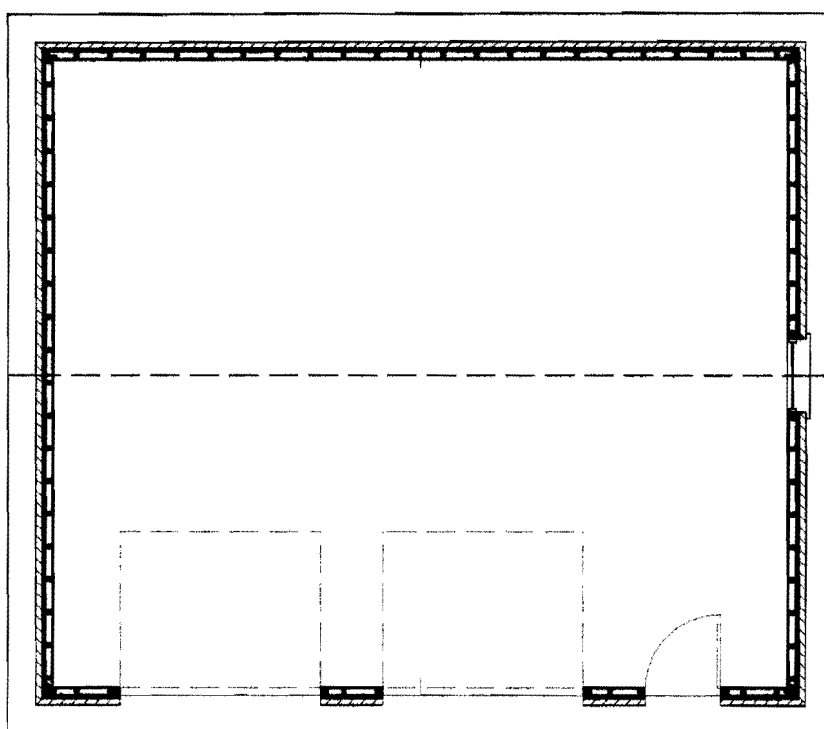


**2 Car Garage**  
**26' x 30'**  
780 sq. feet  
Trussed Roof  
2 x 4 Framed Walls  
7' Door  
8' Ceiling Height

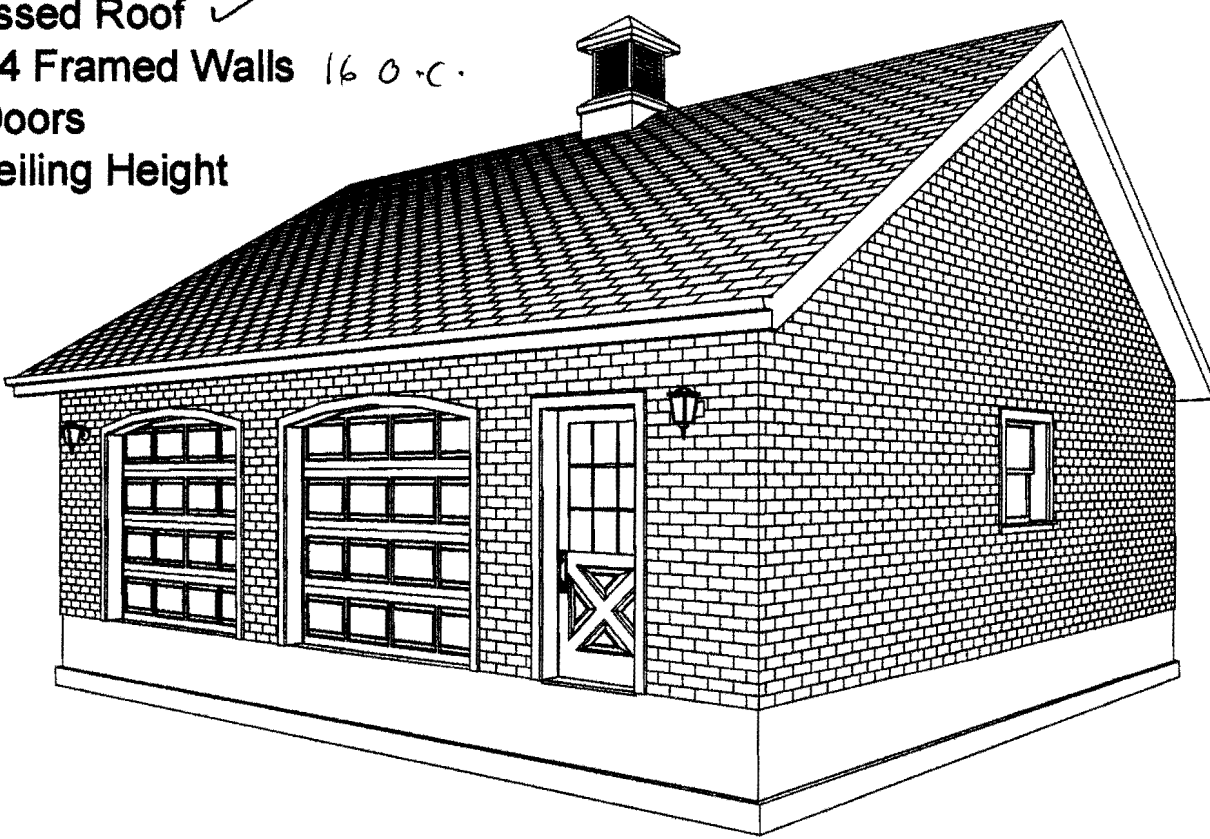


5481 West 2000 South  
Mendon, Utah 84325  
[www.pcu.net/web/sdscad/plans.htm](http://www.pcu.net/web/sdscad/plans.htm)  
Phone: 435-753-1614  
Fax: 435-753-8961  
Email: [sdscad@pcu.net](mailto:sdscad@pcu.net)

[www.pcu.net/web/sdscad/plans.htm](http://www.pcu.net/web/sdscad/plans.htm)



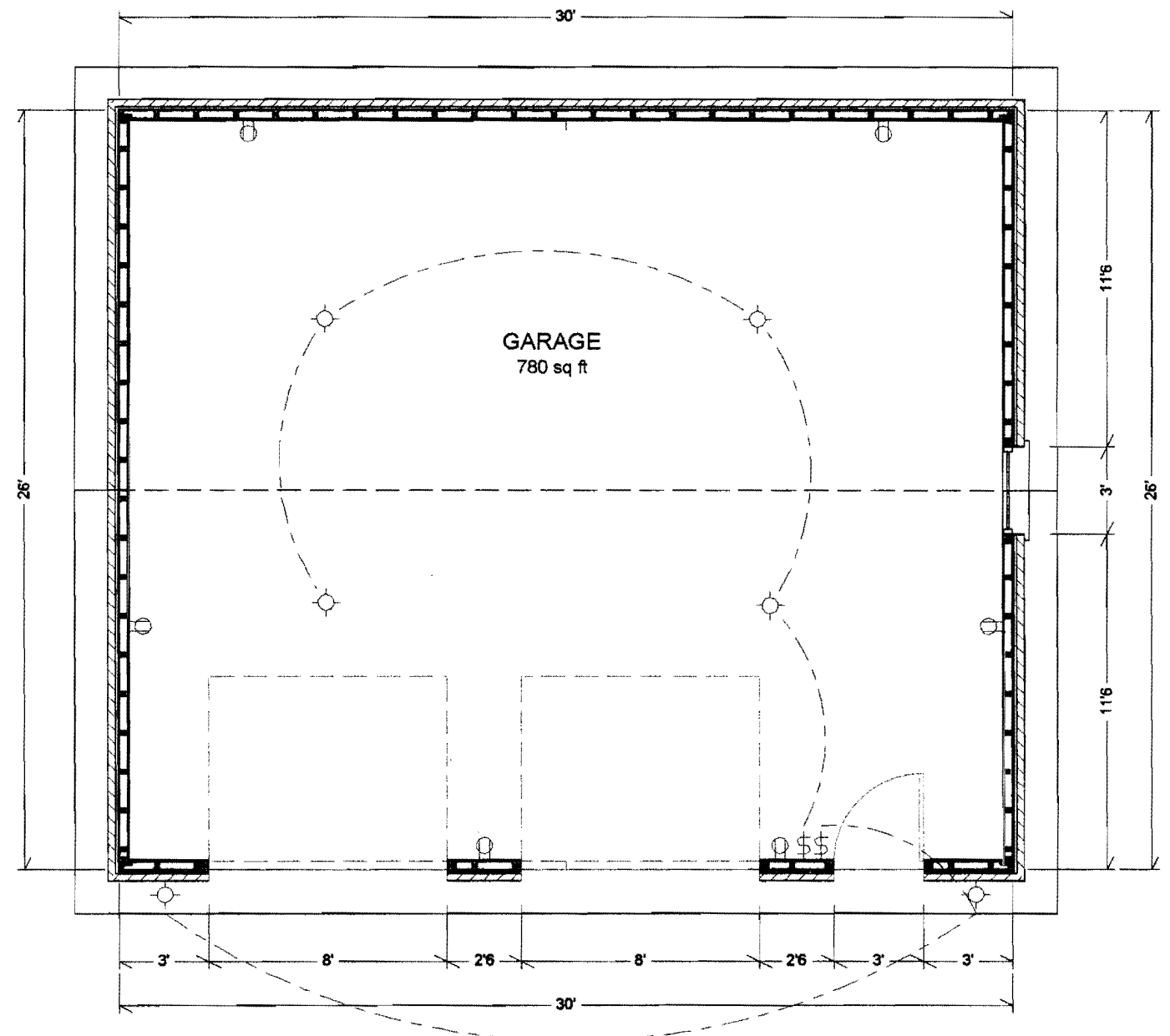
26' x 30'  
780 sq. feet  
Trussed Roof ✓  
2 x 4 Framed Walls 16 O.C.  
7' Doors  
8' ceiling Height  
9'



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26' x 30' Garage

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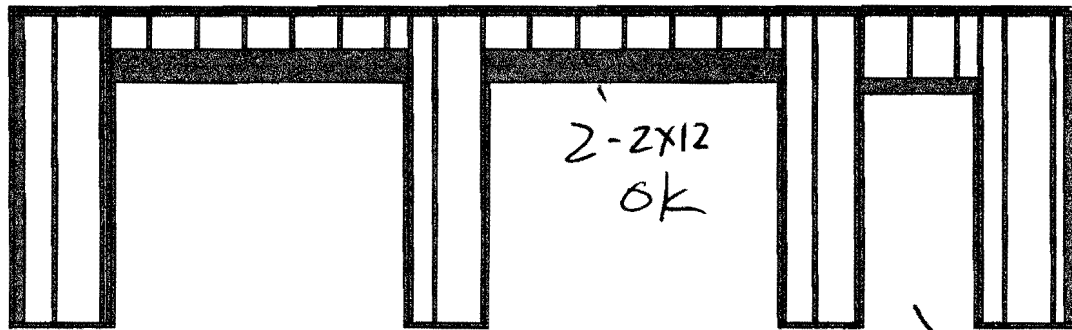
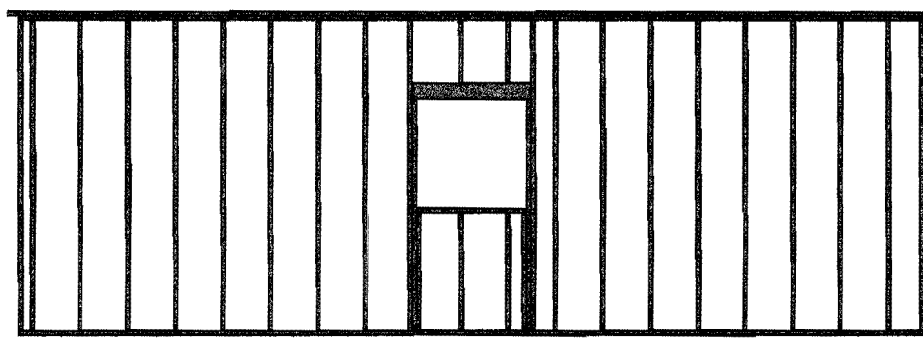
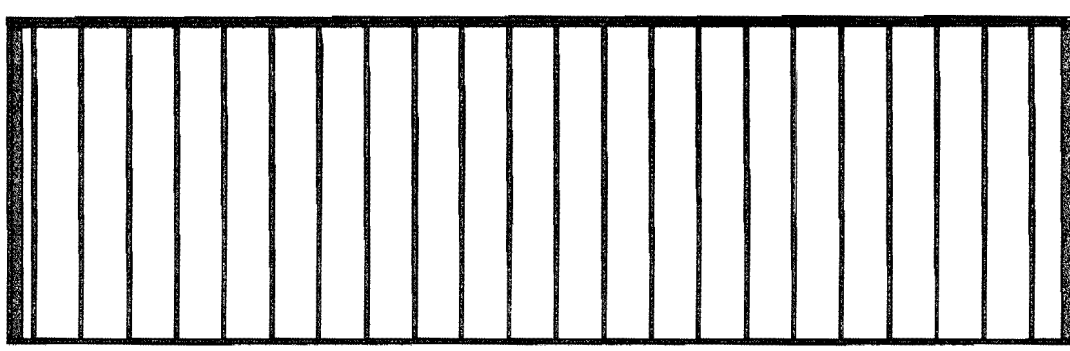


Main Garage Plan  
Scale 3/16"=1'

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**26' x 30' Garage**

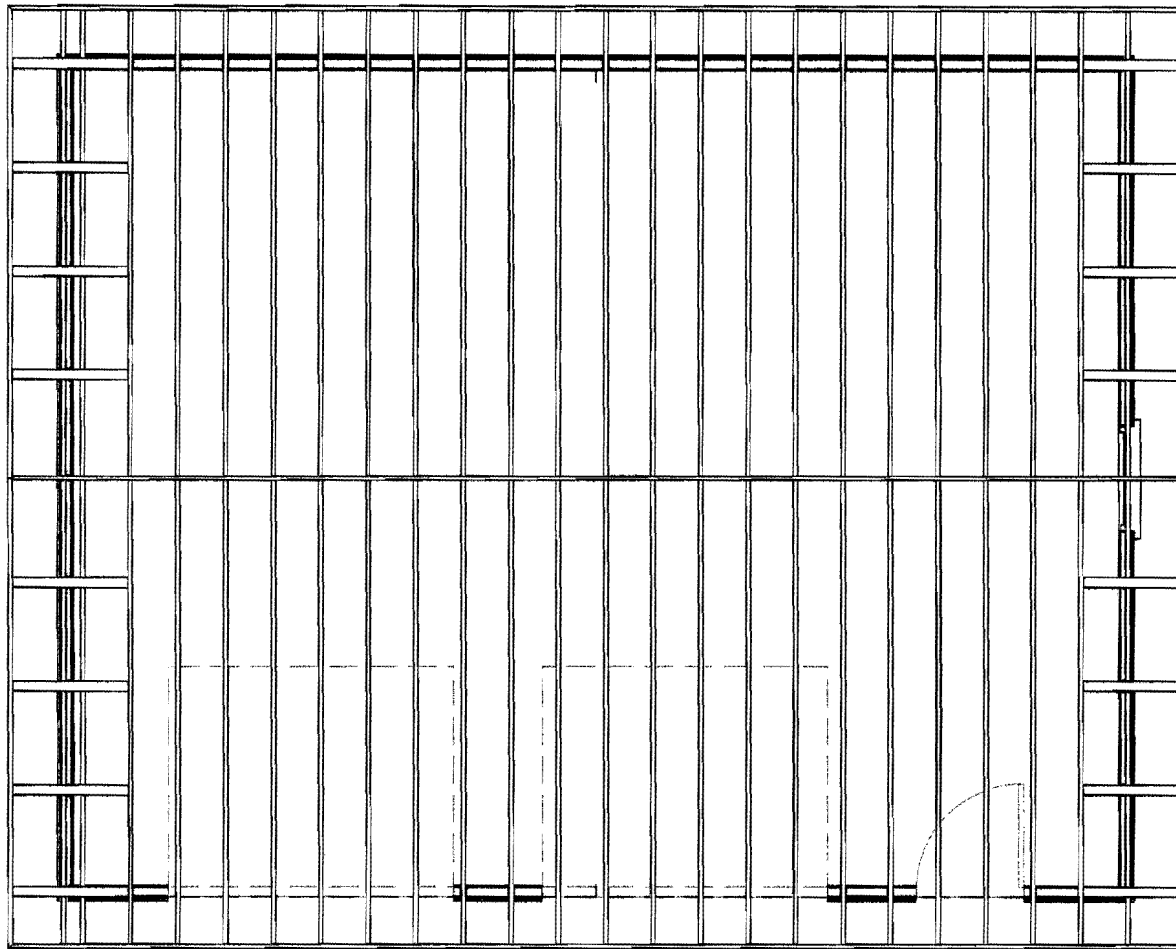
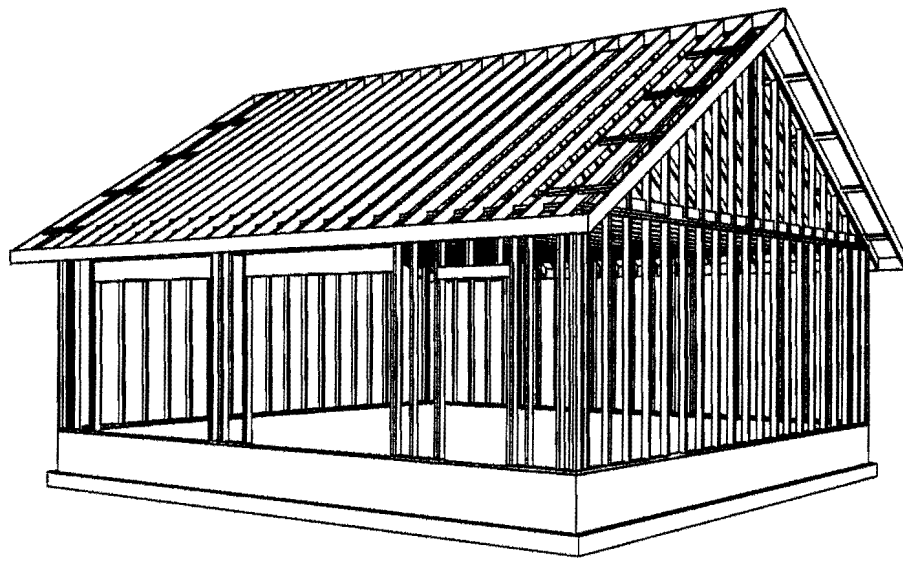
E-Blueprints  
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2-2x12  
OK

Wall framing details  
scale 3/16"=1'  
Spacing 16" o.c.

move DOOR  
TO side  
wall



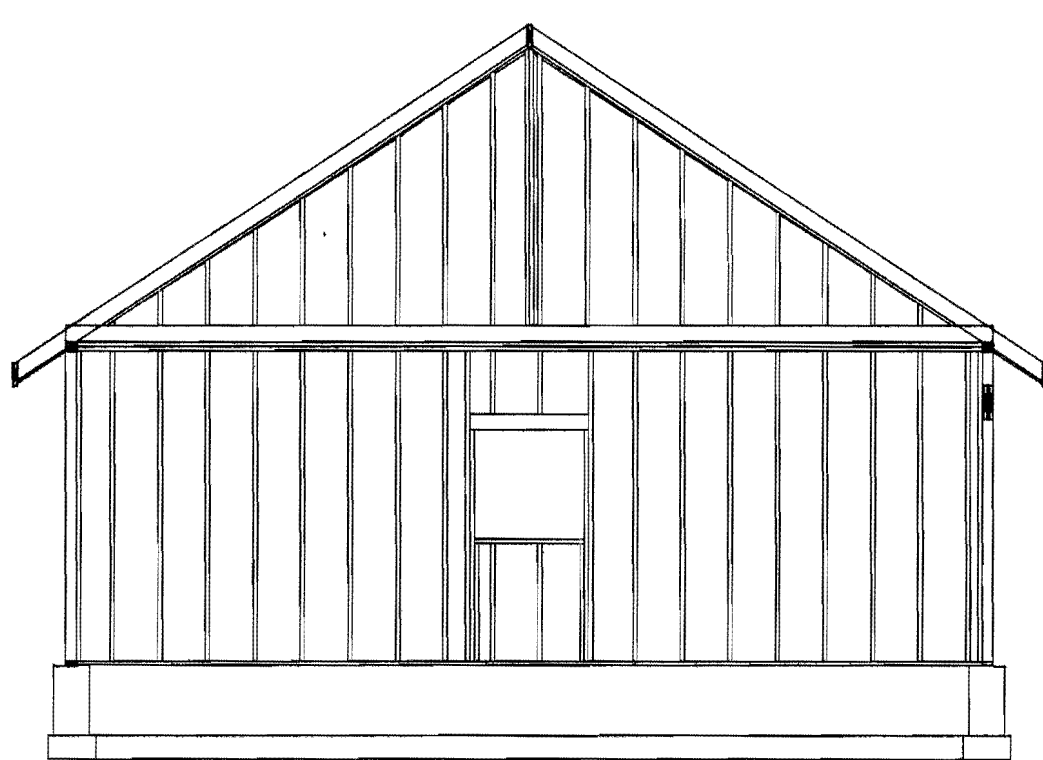
Roof Framing Details  
Scale 3/16"=1'  
All roof framing to be done with douglas fir, std. & btr., 16" o.c. Truss  
design and member sizing to be provided by truss supplier.

Limited  
Auto Storage

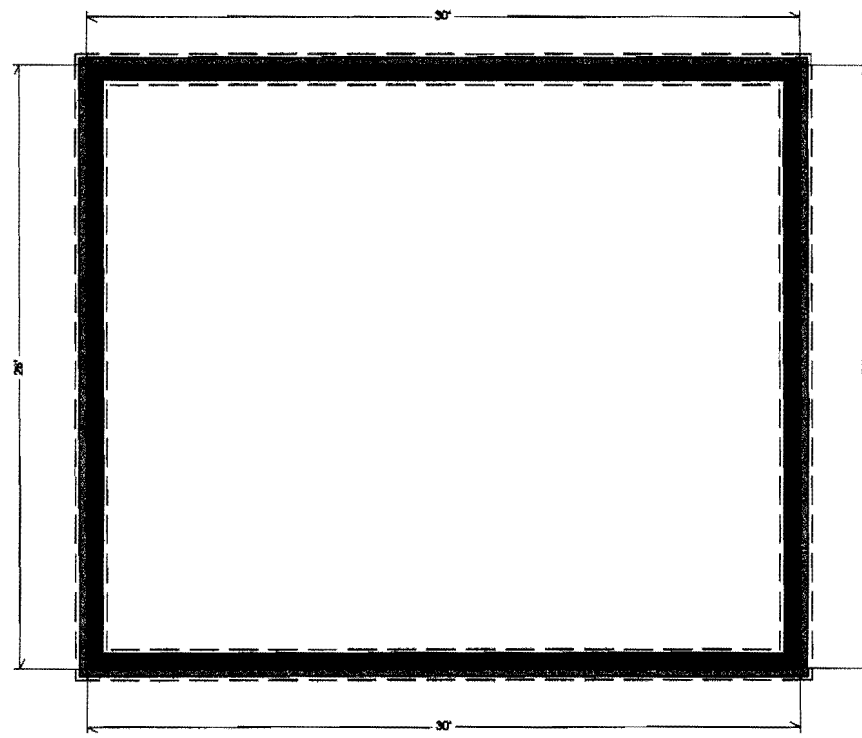
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26' x 30' Garage

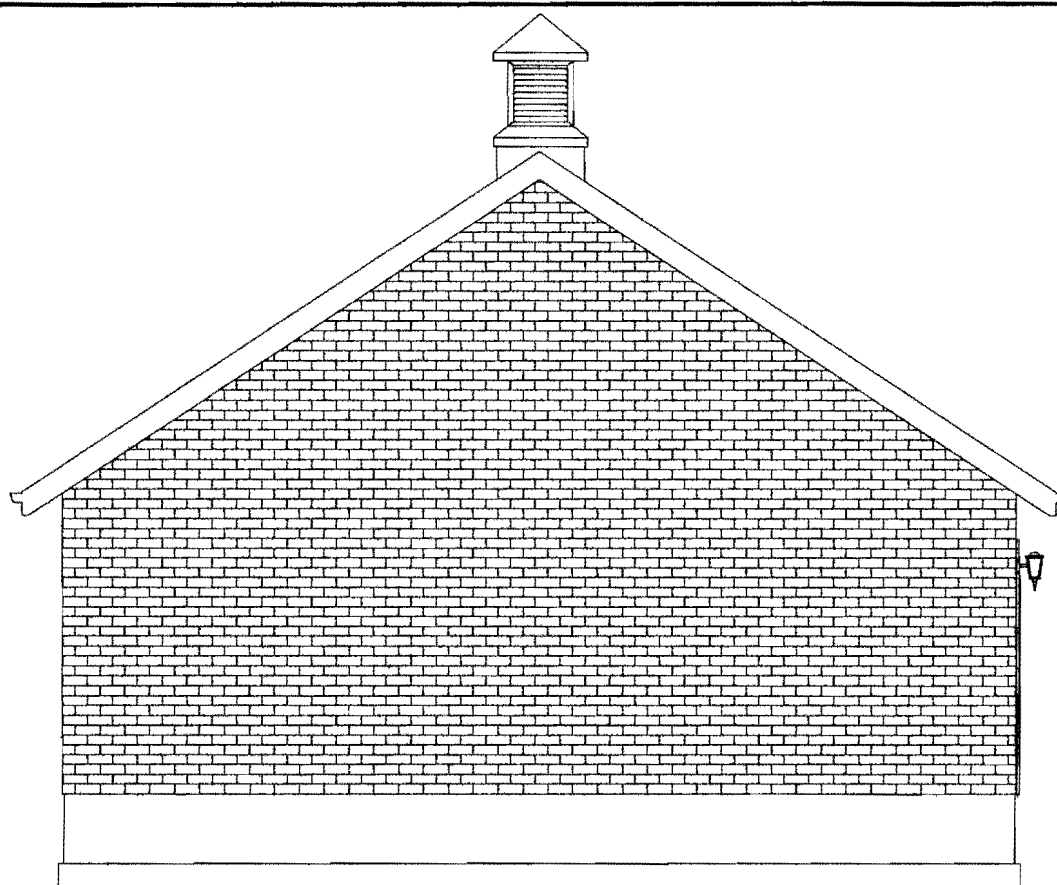
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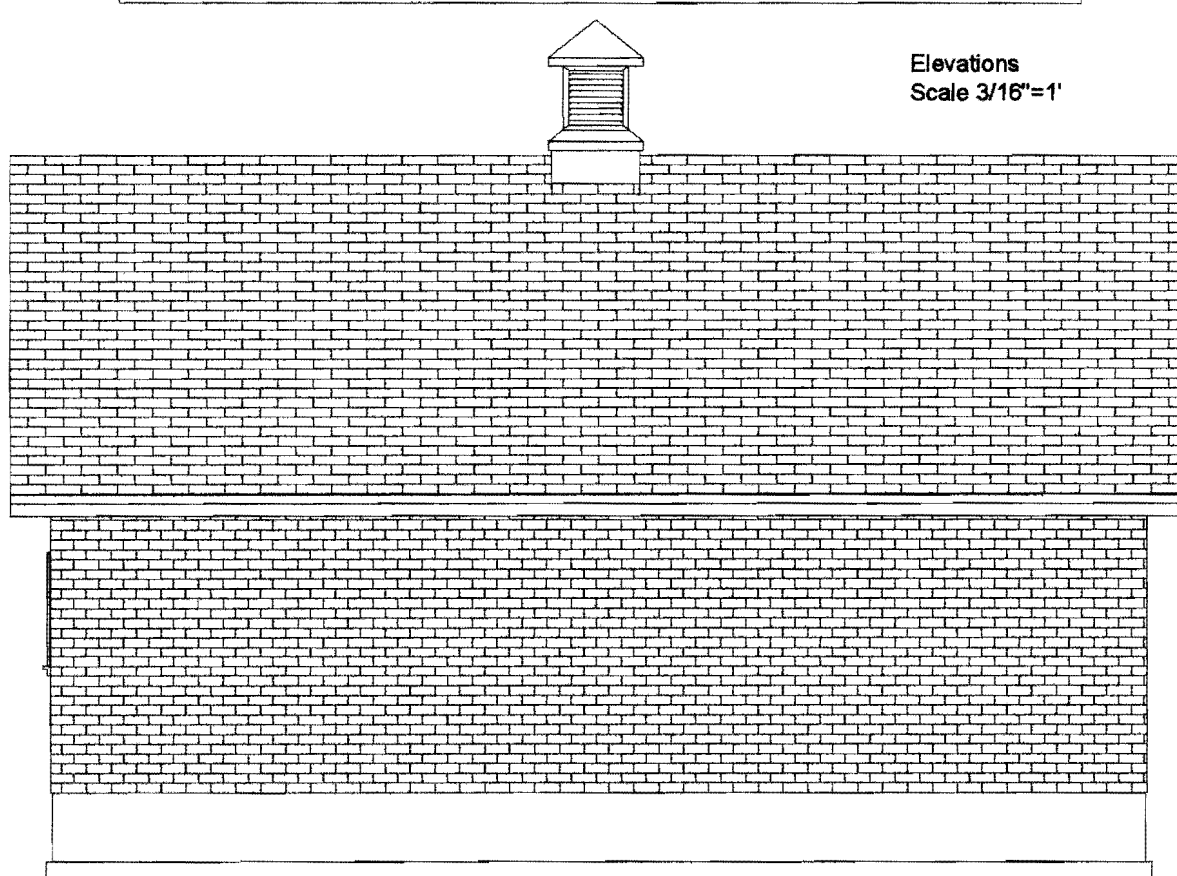
Cross Section  
Scale 3/16"=1'



Foundation Plan  
Scale 1/8"=1'



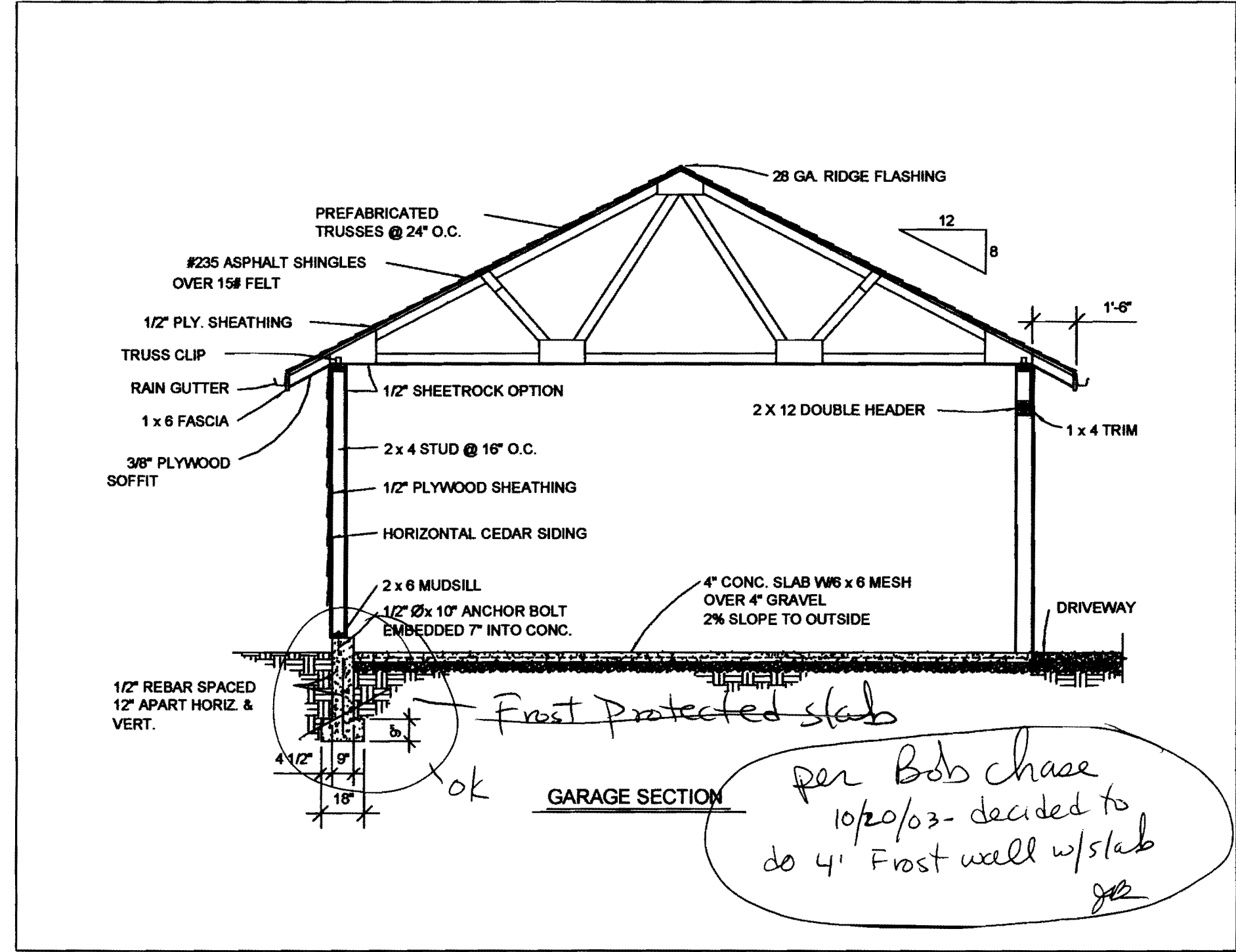
Elevations  
Scale 3/16"=1'



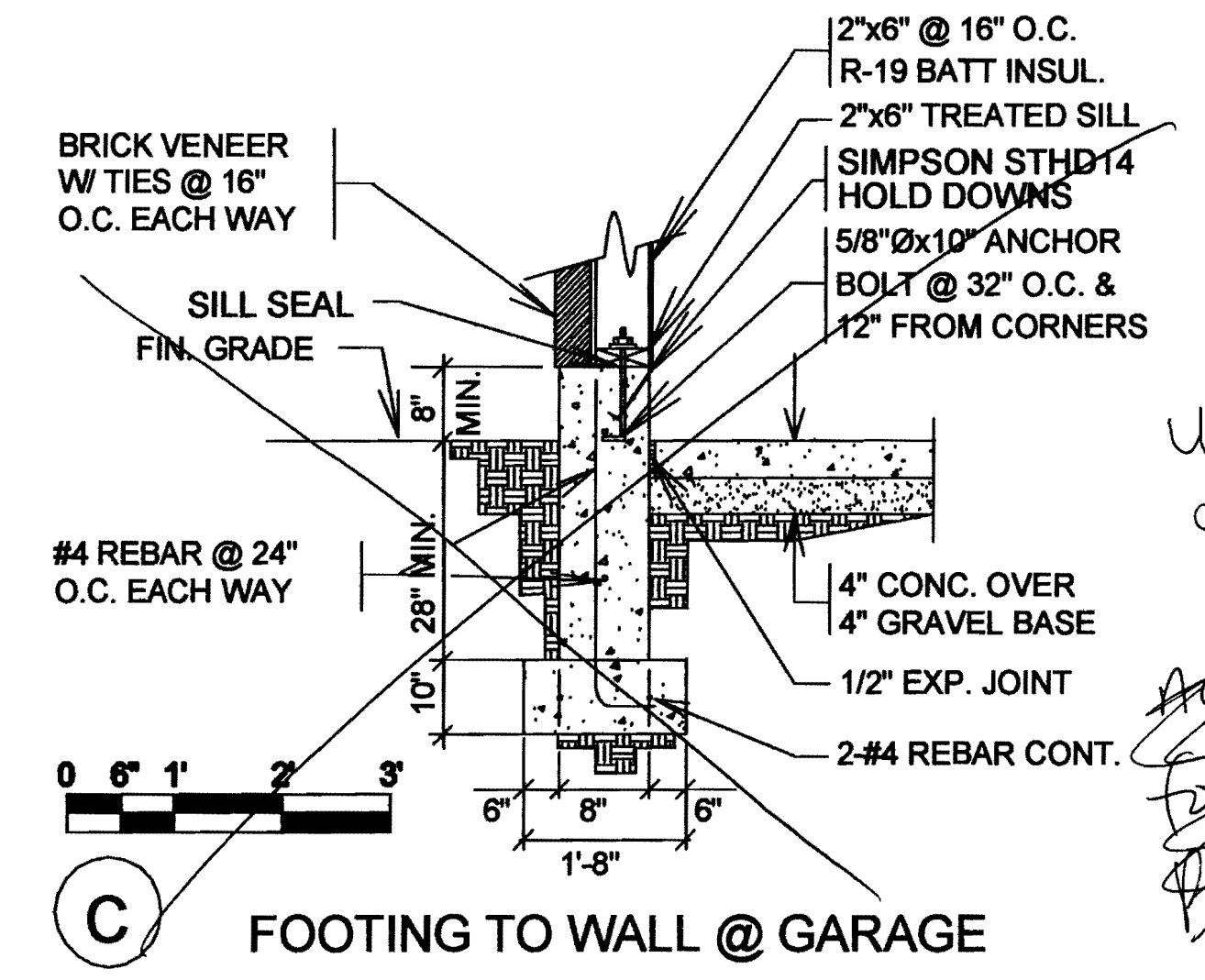
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26' x 30' Garage

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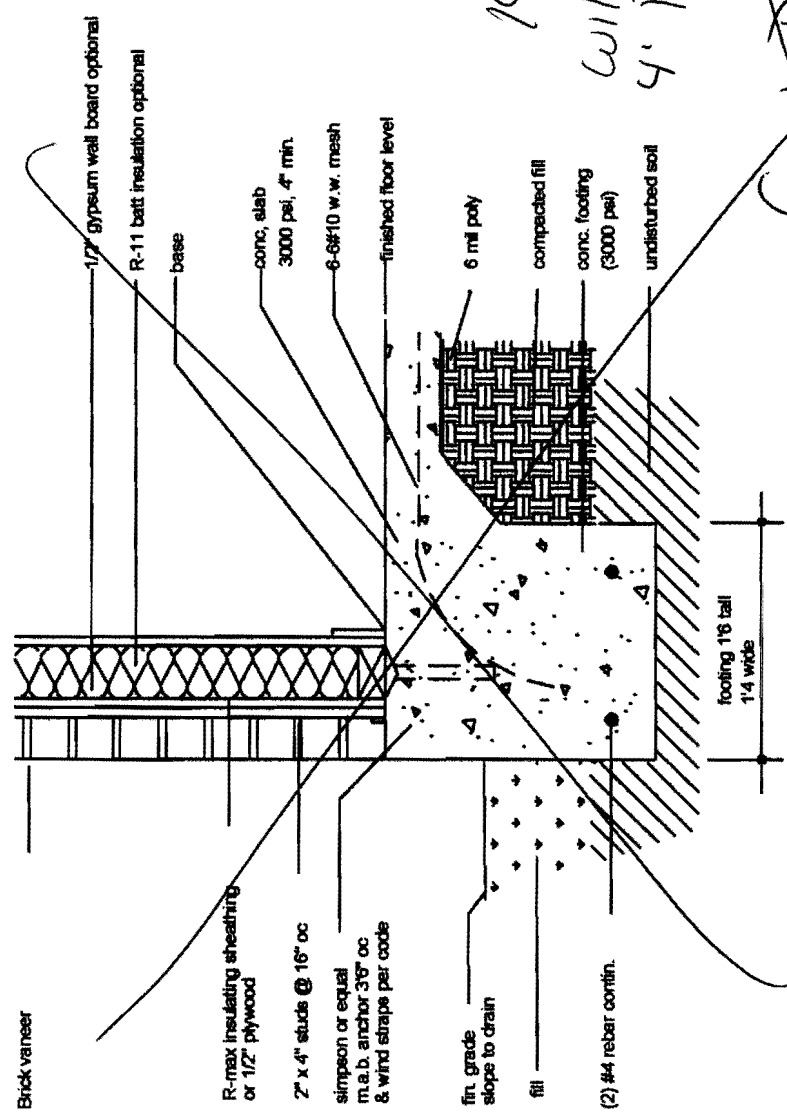






Use This  
detail  
4' Frost  
wall  
JB

~~NOT~~  
205  
Building  
Permit



Brick veneer

1/2" gypsum wall board optional

R-11 batt insulation optional

base

conc. slab 3000 psi, 4" min.

6-8 #10 w. w. mesh

finished floor level

6 mil poly

compacted fill

conc. topping (3000 psi)

undisturbed soil

fin. grade slope to drain

fill

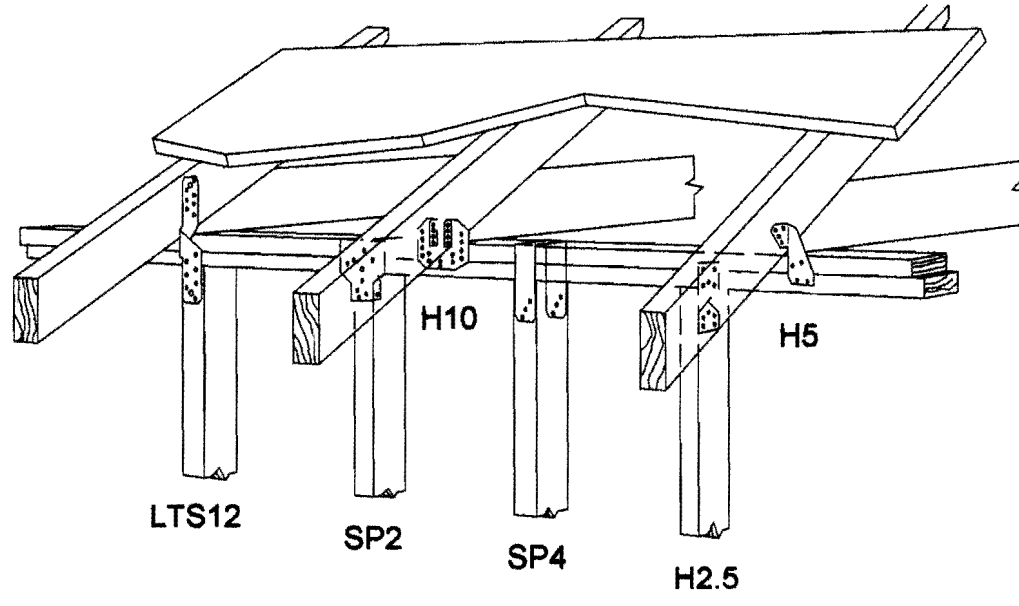
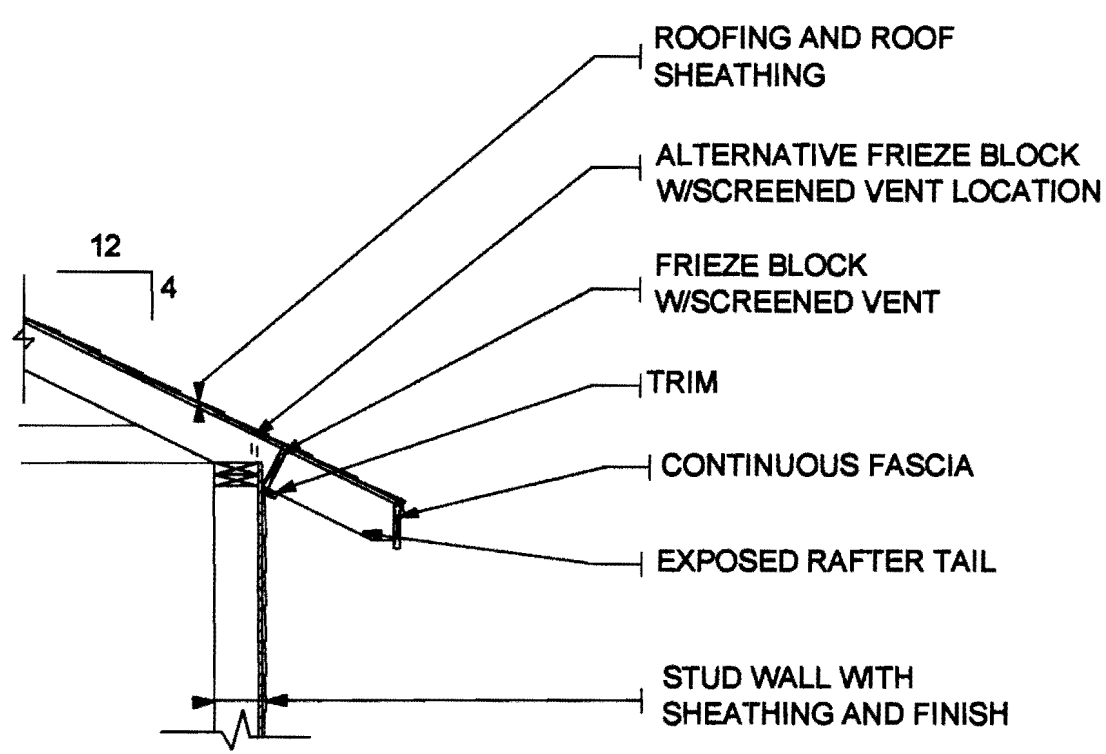
(2) #4 rebar confin.

footing 1/4" bar 1/4" wide

MONOLITHIC SLAB with Brick Option

Anchor Bolts  
 1/2" x 8" @ 6' o.c.  
 12" @ corners

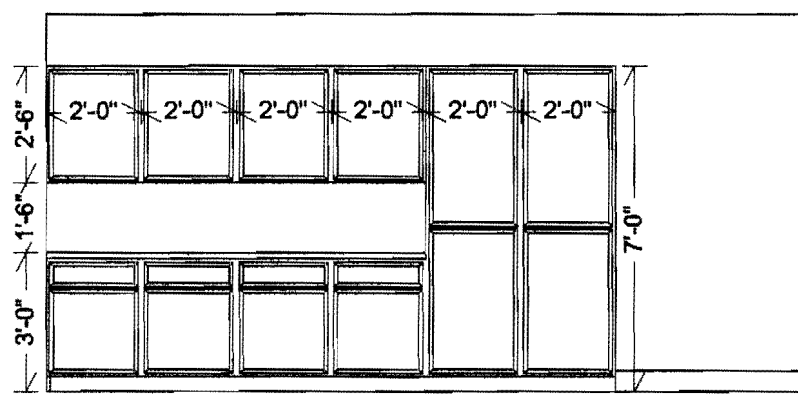
10/20  
 will use 4" Fastwall  
~~fast protected~~  
 Slab  
 for ~~fast~~



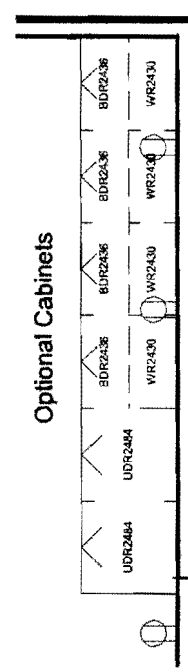
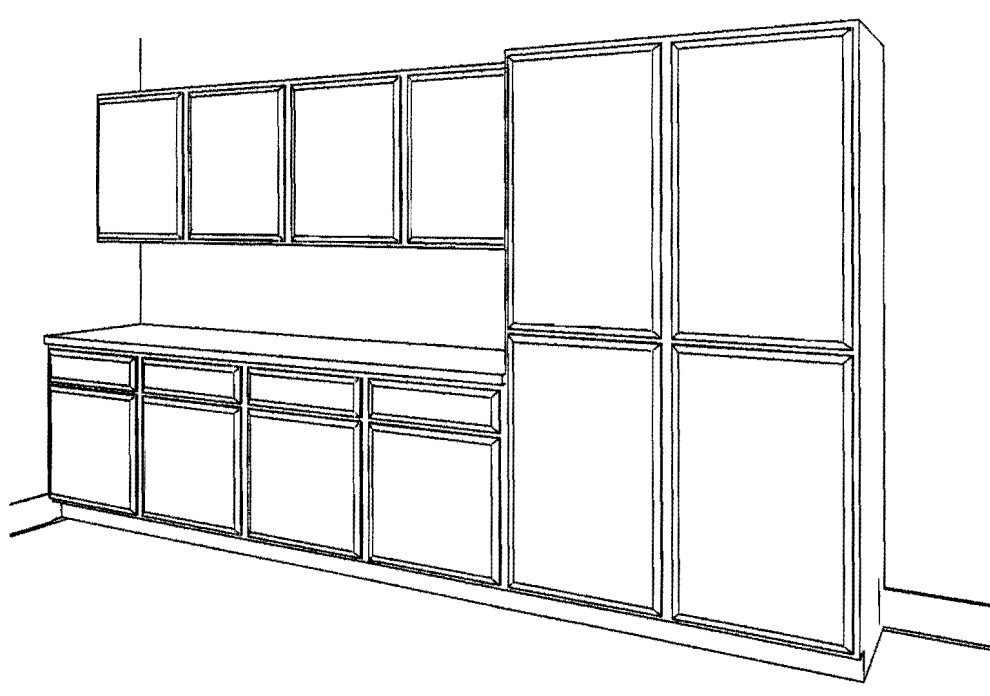
### Eave and Truss Detail

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Cabinet details - Scale 1/4"=1'



Cabinet Details

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# STRUCTURAL

## GENERAL NOTES:

1. COMPLY WITH ALL APPLICABLE STATE, COUNTY AND LOCAL BUILDING CODES, ORDINANCES AND REGULATIONS PERTAINING TO THIS CONSTRUCTION.
2. VERIFY ALL DIMENSIONS PRIOR TO STARTING THE WORK. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE.
3. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL AND PLUMBING WITH APPROPRIATE TRADES, DRAWINGS AND SUB-CONTRACTORS PRIOR TO CONSTRUCTION.
4. CONNECT WATER, GAS, ELECTRIC LINES TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY BUILDING CODES.

## SOIL:

1. ALLOWABLE SOIL PRESSURE - 1500 P.S.F. MINIMUM  
MIN. FTG. DEPTH PER DETAILS.
2. PROVIDE TERMITE PROTECTION OVER A.B.C. PER GOVERNMENTAL REGULATIONS.

## CONCRETE:

1. FOUNDATIONS - 3000 P.S.I. @ 28 DAYS. TYPE II CONC. 5 BAG.
2. FLOOR SLABS - 3000 P.S.I. @ 28 DAYS. MAX. SLUMP = 3", NO FLY ASH
3. PROVIDE CONSTRUCTION JOINTS @ 400 SQ. FT. MAXIMUM.
4. WALKS AND DRIVES - 3000 P.S.I. @ 28 DAYS, NO FLY ASH.

## STRUCTURAL STEEL:

1. ASTM A-36,  $F_y = 36$  KSI, STRUCTURAL TUBES SHAL BE ASTM A-500 ( $F_y=46$ KSI)
2. BOLTS - ASTM A-307. LATEST AISC AND AWS CODES APPLY. ALL CONST. PER LATEST AISC HANDBOOK. MIN. EMBEDMENT OF ALL BOLTS IN MASONRY, GROUT OR CONC. TO BE 7".
3. ALL EXPANSION BOLTS TO BE "WEDGIT", RAM-SET, OR RED HEAD PHILLIPS (I.C.B.O. APPROVED) TYPE WITH A 360 EXPANSIVE WEDGING ACTION.
4. SEE DETAILS FOR SIZE.

## WELDING:

1. E70xx LOW HYDROGEN RODS

## LUMBER:

1. ALL SAWN LUMBER SHALL BEAR STAMP OF WWPA OR APPROVED TESTING AGENCY.
2. ROOF JOISTS, FLOOR JOISTS, BEAMS, LEDGERS AND PLATES TO BE DOUGLAS FIR #2 OR BETTER.
3. STUDS TO BE HEMLOCK FIR, STUD GRADE OR APPROVED EQUAL.

## TRUSSES:

1. TO BE MANUFACTURED BY CITY AND STATE APPROVED FABRICATOR. (AS REQ'D. BY GOVERNING MUNICIPALITY).

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**NAILING SCHEDULE:**

1. STUD TO SOLE PLATE      END NAIL 2-16d
2. DOUBLED STUDS          FACE NAIL 16d @ 24" O.C.
3. DB. TOP PLATE          FACE NAIL 16d @ 16" O.C.
4. TOP PLATE TO STUD      END NAIL W/ 2-16d
5. HEADER TO STUD        3- 16d
6. ALL OTHER NAILING SHALL BE PER U.B.C. TABLE 25-Q UNLESS OTHERWISE NOTED
7. EXTERIOR SIDING SHALL BE NAILED TO FRAMING WITH 6d NAILS @ 6" O.C. @ EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.

**PLYWOOD:**

1. ROOF PLYWOOD SHALL BE 1/2" STD. GRADE SHEATHING (5-PLY) W/ EXTERIOR GLUE. SPAN INDEX RATIO 32/16 W/ STAMP OF APPROVED TESTING AGENCY OR ORIENTED STRAND BOARD PER-124.
2. ROOF PLYWOOD SHALL BE NAILED W/ 8d @ 16" O.C., EDGES, BEARING & BOUNDARIES & 12" O.C. INTERMEDIATE.

**FRAMING:**

1. JOIST HANGERS AND OTHER MISCELLANEOUS FRAMING ANCHORS SHALL BE AS MANUFACTURED BY SIMPSON COMPANY OR APPROVED EQUAL.
2. ALL BEARING STUD WALLS TO BE 2X's @ 16" O.C. INTERIOR AND EXTERIOR AS NOTED ON PLANS.
3. ALL BEARING PARTITIONS SHALL HAVE DOUBLE TOP PLATES.
4. ROOF AND FLOOR PLYWOOD SHEATHING PANEL EDGES SHALL BEAR ON FRAMING MEMBERS AND BUTT ALONG THEIR CENTER LINES WITH PANEL EDGES STAGGERED AND FACE GRAIN PERPENDICULAR TO SUPPORT.
5. FIRE STOPS SHALL BE PLACED IN ALL CONCEALED SPACES IN WALLS, AT FURRED SPACES & AT FLOOR/CEILING LEVELS SO THAT NO CONCEALED SPACE EXCEEDS TEN FEET.

**REINFORCING STEEL:**

1. ASTM A615 - 60. FY = 60 KSI.
2. STEEL REINFORCING BARS SHALL BE DEFORMED GRADE 60. LAP VERTICAL BARS A MIN. OF 36 BAR DIAMETERS. TIE W/ APPROVED WIRE TIES.

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Email: [sdscad@pcu.net](mailto:sdscad@pcu.net)

ID	Sub	Fr	Size	Item	Quant	Unit	Price	Tot. Cost	Supplier
<b>1</b>	<b>General</b>								
2	GN1		024	Foundation 8" Concr	111	ft			
3	GN2		1111	Brick-4	113	ft			
4	GN3		2104	Brick-4	52	ft			
5				Subtotal:					
<b>6</b>	<b>Foundation</b>								
7	FO1		04" thick	concrete	2.72	buyd			
8	FO2		08" thick	concrete	5.48	buyd			
9	FO3		02x6"	treated mud sill	111	ft			
10	FO4		01/2x6"	foam sill seal	111	ft			
11	FO5		0	foundation bolts	22				
12	FO6		016x8"h	concrete footing	3.64	buyd			
13	FO7		0no. 4	rebar (footing)	238	ft			
14	FO8		0no. 4	horiz. rebar (wall)	475	ft			
15	FO9		0no. 4	vert. rebar (wall)	224	ft			
16	FO10		0707 sq ft	concrete slab	8.72	buyd			
17	FO11		0707 sq ft	steel mesh for slab	707	sqft			
18				Subtotal:					
<b>19</b>	<b>Subfloor</b>								
20	SF1		12x6"-27"	ceiling joists - lumber	23				
21									
<b>22</b>	<b>Framing</b>								
23	F1		12x4-16ft+	fir plate	336	ft			
24	F2		12x4"-108 1/2"	fir stud	83				
25	F3		12x4-16ft+	fir stud stock	72	ft			
26	F4		12x6-16ft+	header - lumber	14	ft			
27	F5		12x4"-21 1/2"	fir stud	3				
28	F6		12x4"-11 1/2"	fir stud	12				
29	F7		12x12-16ft+	header - lumber	34	ft			
30	F8		22x4-16ft+	fir plate	123	ft			
31	F9		22x4-16ft+	fir stud stock	191	ft			
32				Subtotal:					
<b>33</b>	<b>Sliding</b>								
34	S1		13x8x3	brick 2	449	1			
35	S2		14x8x5/8	sheathing	33				
36	S3		1	house wrap	1247	sqft			
37	S4		23x8x3	brick 2	1148				
38	S5		24x8x5/8	sheathing	7				
39				Subtotal:					
<b>40</b>	<b>Ext Trim</b>								
41	EX1		11x4-16ft+	exterior sill	4	ft			
42	EX2		11x4-16ft+	ext. window casing	11	ft			
43	EX3		11x9-36"	door threshold	1				
44	EX4		11x4-16ft+	ext. door casing - col	18	ft			
45	EX5		18 in	ext. door jamb - color	18	ft			
46	EX6		11x4 in=195	garage door casing -	18	ft			
47	EX7		18 in in=195	garage door jamb - c	16	ft			
48	EX8		11x4-16ft+	garage door casing -	29	ft			
49	EX9		18 in	garage door jamb - c	29	ft			
50				Subtotal:					
<b>51</b>	<b>Roofing</b>								
52	R1		12x8"-16"	ridge board - lumber	33	ft			
53	R2		12x8"-16"	rafters - lumber	48				
54	R3		12x8"-33"	rafters - lumber	2				
55	R4		12x8"-16"	rafters - lumber	4				
56	R5		14x2"-16"	rafters - lumber	48	ft			
57	R6		1	ridge cap	33	ft			

ID	Sub	Fr	Size	Item	Count	Unit	Price	Tot. Cost	Supplier
58	R7		1	asphalt shingles	1150	sqft			
59	R8		14x8' sheets	roof sheathing	36				
60	R9		12x8"	gable fascia	70	ft			
61	R10		12x8"	eave fascia	68	ft			
62	R11		1	metal drip edge	136	ft			
63	R12		1	gutter	66	ft			
64	R13		1	downspout	2				
65				Subtotal:					
66	Wall Brd								
67	WB1		04x8'-1/2"	wall board	51				
68	WB2		14x8'-1/2"	wall board	60				
69				Subtotal:					
70	Windows								
71	W1		136x36	double hung	1				
72									
73	Doors								
74	D1		136x80x1 3/4R	ext. Cross Buck - col	1				
75	D2		196x84	garage 4-Panel - col	2				
76				Subtotal:					
77	Int Trim								
78	T1		11x4-16ft+	window apron	4	ft			
79	T2		11x4-16ft+	hill	4	ft			
80	T3		11x4-16ft+	interior casing	11	ft			
81	T4		11x4-16ft+	interior casing - color	18	ft			
82				Subtotal:					
83	Fixtures								
84	FX1		232V32D	Cupola One - fir stud	1				
85									
86	Electrical								
87	E1		1wall mount	110V duplex outlet	6				
88	E2		1wall mount	Porch Lantern	2				
89	E3		1wall mount	wall switch	2				
90	E4		1 ceiling mount	std light	4				
91				Subtotal:					
92									
93				Total:					



3PM  
Tom

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	384 A015001
<b>Location</b>	418 AUBURN ST
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	DIDONATO THOMAS T & PAHELA JTS 418 AUBURN ST PORTLAND ME 04103
<b>Book/Page</b>	8982/132
<b>Legal</b>	384-A-15-17 AUBURN ST 414-418 23149 SF

**Valuation Information**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$36,960	\$49,560	\$86,520

**Property Information**

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>
1940	Ranch	1	896	0.531
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>
3	1		5	None
				<b>Basement</b>
				Full

**Outbuildings**

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
SHED-FRAME GARAGE-WD/CB	1 1	1979 1979	9X14 11X16	C C	A A

**Sales Information**

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
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**Picture and Sketch**

[Picture](#)      [Sketch](#)

[Click here](#) to view Tax Roll Information.

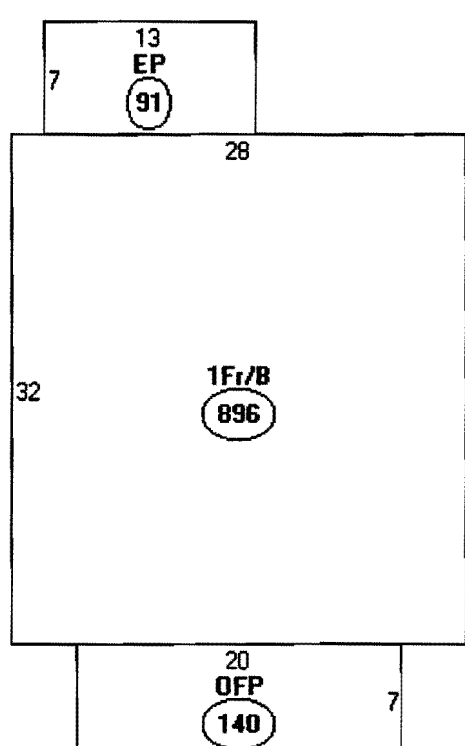
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**



<http://www.portlandassessor.com/images/pictures/02253801.jpg>

07/21/2003



Descriptor/Area

- A: 1Fr/B 896 sqft
- B: EP 91 sqft
- C: OFP 140 sqft

1127  
126 shed  
240

1493 SF

-240

1,253

780 New Garage

2,033

2,240 - Not to Demolish

2,273

From Survey

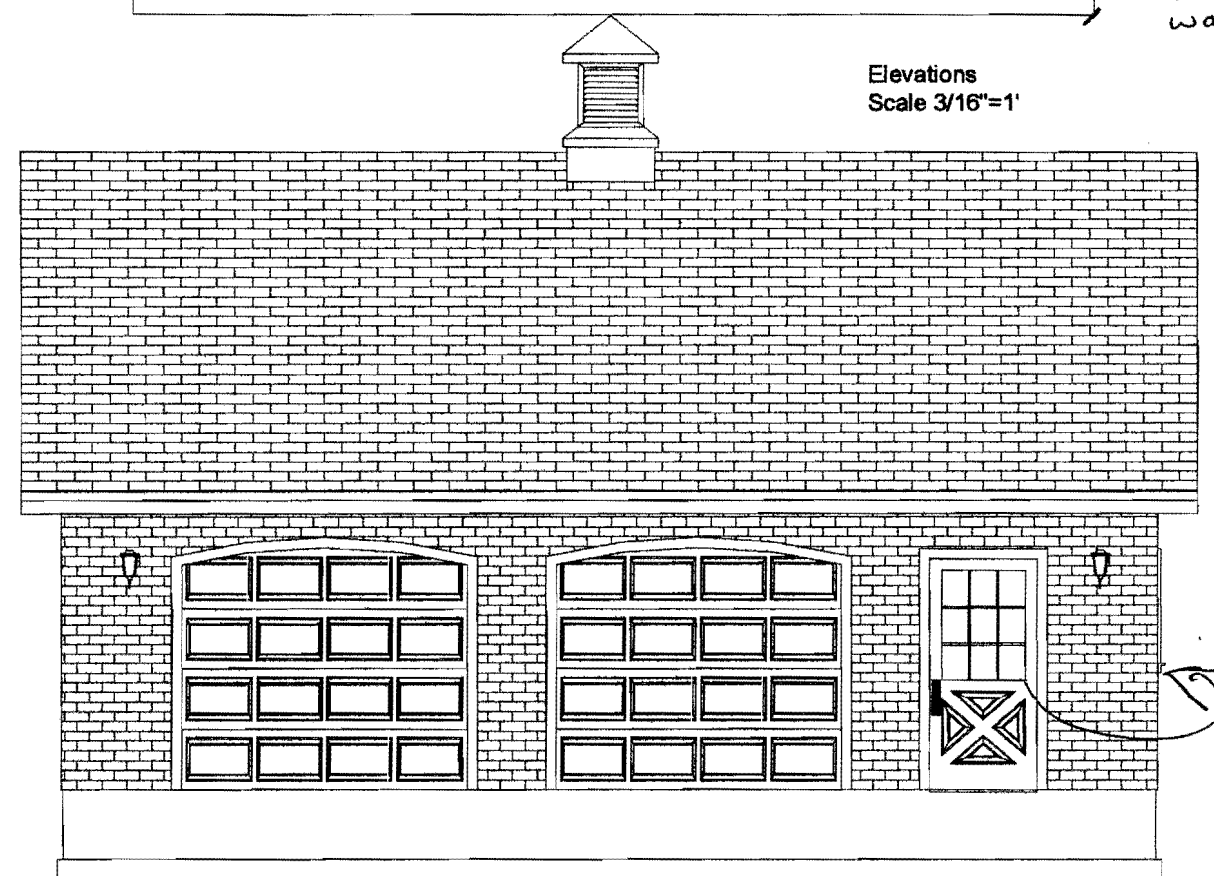
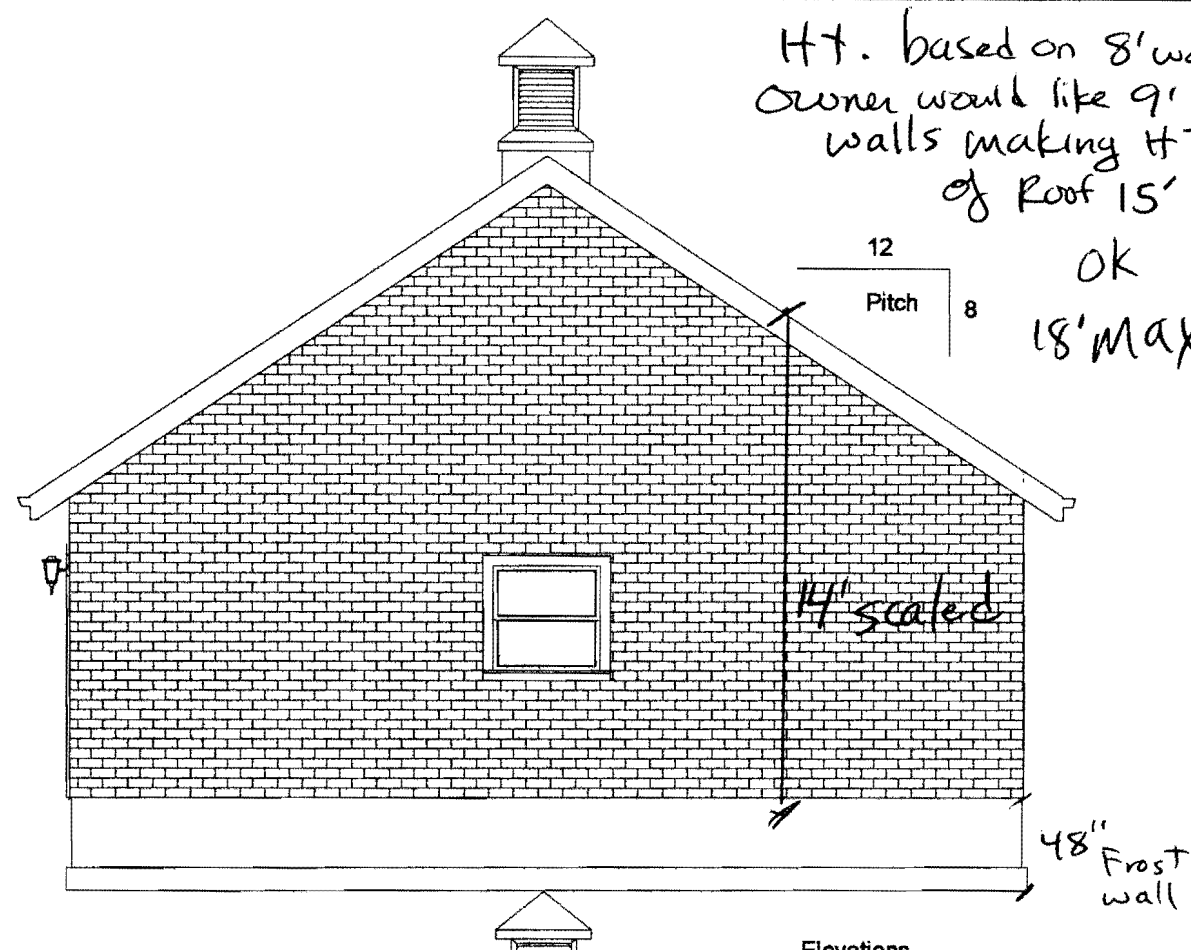
23,975 SF

OK

X 25%

5,993.75 SF

Ht. based on 8' walls  
Owner would like 9'  
walls making Ht  
of Roof 15'  
OK  
18' MAX





**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

July 21 2003

Received from Thomas DiDonato

Location of Work 418 Auburn St.

Cost of Construction \$ ~~84.00~~ 7,000

Permit Fee \$ 84.00

Building (B)  Plumbing (P)  Electrical (E)  Site Plan (U)

Other \_\_\_\_\_

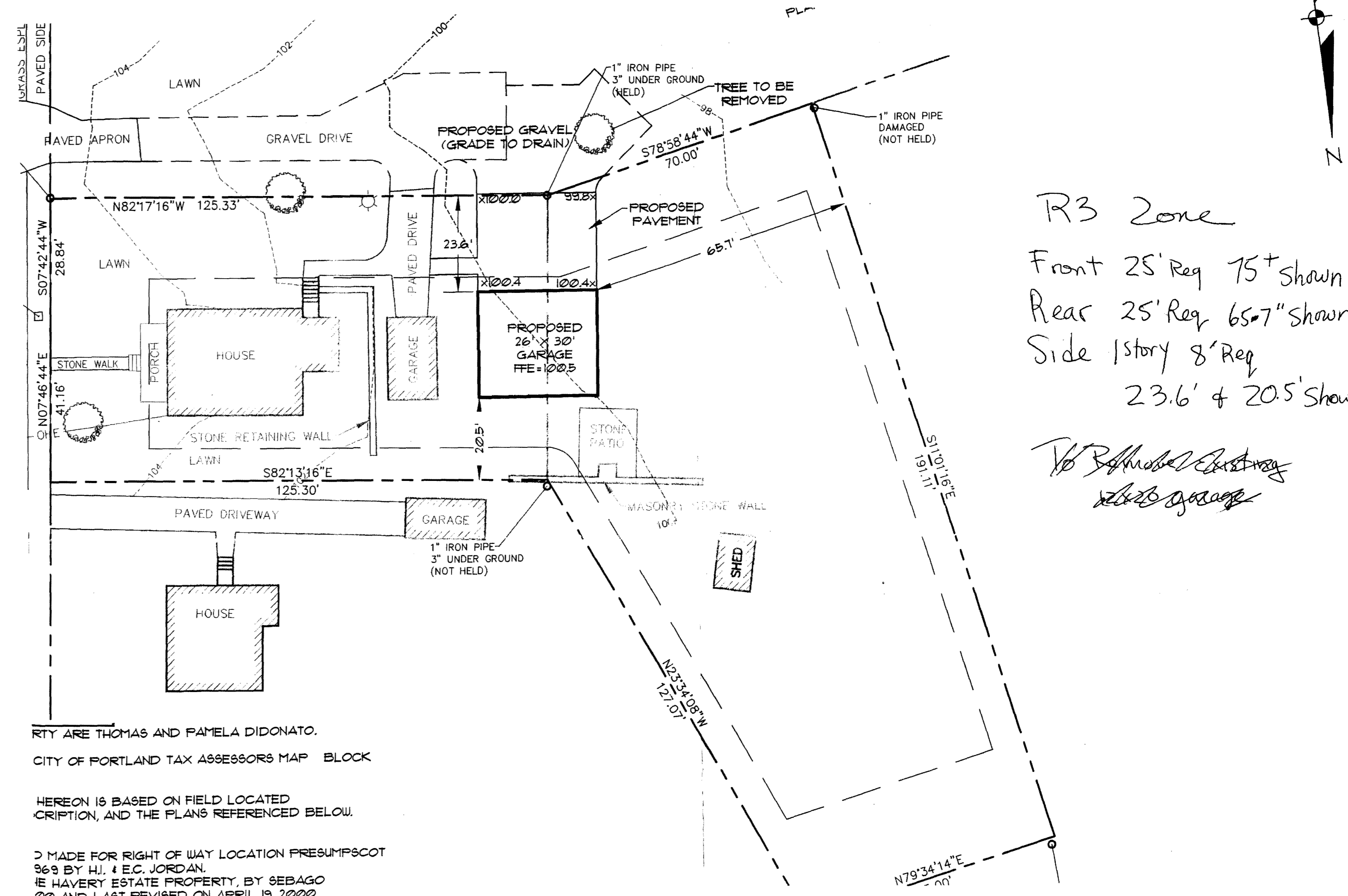
CBL: 384-A-15

Check #: 5088 Total Collected \$ 84.00

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



R3 Zone  
 Front 25' Req 75' Shown  
 Rear 25' Req 65.7" Shown  
 Side 1story 8' Req  
 23.6' & 20.5' Shown

*Thomas and Pamela Didonato*  
*2000*

RTY ARE THOMAS AND PAMELA DIDONATO.  
 CITY OF PORTLAND TAX ASSESSORS MAP BLOCK

HEREON IS BASED ON FIELD LOCATED  
 CRIPTION, AND THE PLANS REFERENCED BELOW.

MADE FOR RIGHT OF WAY LOCATION PRESUMPCOT  
 969 BY H.J. & E.C. JORDAN.  
 HAVERY ESTATE PROPERTY, BY SEBAGO  
 00 AND LAST REVISED ON APRIL 19, 2000.