

Auburn St

Effective April 2012



## Level I – Minor Residential Development Review Application Portland, Maine

Planning and Urban Development Department  
Planning Division

\* Contours  
\* Stormwater  
Mgmt.  
\* Site plan must  
match  
Bldg plan

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level I: Minor Residential site plan and building permit.

### Level I: Minor Residential development includes:

- Development of a single-family or a two-family building, excluding building additions, decks, or accessory structures, such development shall be deemed minor residential development for purposes of this article regardless of its size.
- The addition of any additional dwelling unit to a building initially reviewed as a two-family dwelling or multifamily structure, if the additional dwelling unit does not require subdivision review under Maine State Statutes and Portland's Subdivision Ordinance.

**As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000 in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), or contact the Inspections Office to have one mailed to you.

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/planning/default.asp> or copies may be purchased at the Planning Division Office.

#### Inspection Division

Room 315, City Hall  
389 Congress Street  
(207) 874-8703

#### Office Hours

Monday, Tuesday, Wednesday and Friday  
8:00 a.m. – 4:00 p.m.  
Thursday  
8:00 a.m. – 1:00 p.m.

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#### Planning Division

Fourth Floor, City Hall  
389 Congress Street  
(207) 874-8721

#### Office Hours

Monday thru Friday  
8:00 a.m. – 4:30 p.m.

Project Address: <u>400 Auburn St.</u>		
Total Square Footage of Proposed Structure/Area: <u>1664 / 16,930</u> <u>House / Lot</u>	Area of lot (total sq. ft.): Garage: Yes ___ No <u>X</u> Attached <u>   </u> Detached <u>   </u> Sq. Ft.: <u>   </u>	Number of Stories: <u>2</u> Number of Bathrooms: <u>2</u> Number of Bedrooms: <u>3</u>
Tax Assessor's Chart, Block & Lot(s): Chart# <u>383</u> Block # <u>A</u> Lot # <u>15</u>		
Current legal use: <u>Residential</u>		
Number of Residential Units <u>1</u>		
If vacant, what was the previous use? <u>Vacant Land</u>		
Is property part of a subdivision? <u>No</u> If yes, please name <u>   </u>		
Project Description: <u>28x32 single family cape, 3 BR's, 2 Baths, No garage.</u>		
Applicant – must be owner, Lessee or Buyer Name: <u>Michael Boissonneau</u> Business Name, if applicable: <u>M2 Properties, LLC</u> Address: <u>126 Underwood Rd.</u> City/State: <u>Falmouth, ME</u> Zip Code: <u>04105</u>		Applicant Contact Information Work # Home# Cell # <u>(207) 332-3038</u> e-mail: <u>mboisso1@maine.rr.com</u>
Owner – (if different from Applicant) Name: <u>same</u> Address: City/State: Zip Code:		Owner Contact Information Work # <u>same</u> Home# Cell # e-mail:
Billing Information Name: <u>same</u> Address: City/State: Zip Code: Phone Number:		Contact when Building Permit is Ready: Name: <u>Michael Boissonneau</u> Address: <u>126 Underwood Rd.</u> City/State: <u>Falmouth, ME</u> Zip Code: <u>04105</u> Phone Number <u>(207) 332-3038</u>

**DEVELOPMENT REVIEW FEES:**

Payment may be made in cash, credit card or check addressed to the City of Portland.

<b>Level I Minor Residential Site Plan</b>	<b>Fees Paid:</b>
1. <b>Application Fee - \$300.00</b>	\$ <u>300.00</u>
2. <b>Inspection Fee - \$100.00</b> (for site plan inspection by the Planning Division)	\$ <u>100.00</u>
3. <b>Certificate of Occupancy Fee - \$75.00</b>	\$ <u>75.00</u>
4. <b>Building Permit (Cost of Work) (110,600)</b>	\$ <u>1,120</u>
<b>Total Due:</b>	\$ <u>1,595</u>
<b>Building Permit Fee</b> - \$30 for the first \$1,000 construction cost - \$10 every additional \$1,000.	
<b>Performance Guarantee</b> - Exempt except for those projects that complete construction in the winter and the site work is incomplete.	

Please submit all of the information outlined on the applicable Checklist, shown on Page 4 and 5 of this Application. In addition, a CD or PDF (e-mailed to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)) of the entire Application, including all plans, must be submitted with the Application. Failure to do so may result in the automatic denial of your permit.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: [www.portlandmaine.gov](http://www.portlandmaine.gov) Copies of the ordinances may be purchased through the Planning Division. All of the information on the checklist must be submitted for review. The applicant must check off the items contained in the application package to ensure the application is complete.


**Property Taxes:**

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before a permit of any kind is accepted.

**Separate Permits:**

Separate permits are required for internal and external plumbing, HVAC, and electrical installations.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

<b>Signature of Applicant:</b> 	<b>Date:</b> 8/17/12
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**This is not a permit - you may not commence any work until the permit is issued.**

(A CD or PDF (e-mailed to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)) of the entire application, including all plans, must be submitted with the application.)

<b>General Submittal Requirements – Level I Minor Residential</b>			
<b>Applicant Checklist</b>	<b>Planner Checklist (internal)</b>	<b>Number of Copies</b>	<b>Submittal Requirement</b>
✓		2	Completed application form and check list.
✓		1	Application fees.
✓		2	Evidence of right, title and interest.
N/A		2	Copies of required state and/or federal permits.
✓		2	Written Description of existing and proposed easements or other burdens.
N/A		2	Written requests for waivers from individual site plan and/or technical standards.
✓		2	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). Refer to Fire Department Checklist on page 6 of this application.

<b>Site Plans and Boundary Survey Requirements – Level I Minor Residential</b>			
<b>Applicant Checklist</b>	<b>Planner Checklist (internal)</b>	<b>Number of Copies</b>	<b>Submittal Requirement</b>
✓		3	Boundary survey meeting the requirements of section 13 of the City of Portland Technical Manual with the site plan information listed below shown on the plan, including a north arrow and a scale greater than or equal to 1"=20'. (Photocopies of the plat or hand drawn building footprints will not be accepted.)
✓			▪ Zoning district, setbacks and dimensional requirements. Show zone lines and overlay zones that apply to the property, including Shoreland Zone &/or Stream Protection Zone.
✓			▪ Existing and proposed structures (including location of proposed piers, docks or wharves if in Shoreland Zone).
✓			▪ Location and dimension of existing and proposed paved areas.
✓			▪ Proposed ground floor area of building.
✓			▪ Finish floor elevation (FEE) or sill elevation.
✓			▪ Exterior building elevations (show all 4 sides).
✓			▪ Existing and proposed utilities (or septic system, where applicable)
✓			▪ Existing and proposed grading and contours.
✓			▪ Proposed stormwater management and erosion controls.
✓			▪ Total area and limits of proposed land disturbance.
N/A			▪ Proposed protections to or alterations of watercourses.
N/A			▪ Proposed wetland protections or impacts.
✓			▪ Existing vegetation to be preserved and proposed site landscaping and street trees (2 trees per unit for a single or two-family house).

N/A		▪ Existing and proposed curb and sidewalk, except for a single family home.
✓		▪ Existing and proposed easements or public or private rights of way.
✓		▪ Show foundation/perimeter drain and outlet.
N/A		▪ Additional requirements may apply for lots on unimproved streets.

Building Permit Submittal Requirements –Level I: Minor Residential Development			
Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
✓		1	One (1) complete set of construction drawings must include:
✓			▪ Cross section with framing details
✓			▪ Floor plans and elevations to scale
✓			▪ Stair details including dimensions of : rise/run, head room, guards/handrails, baluster space
✓			▪ Window and door schedules
✓			▪ Foundation plans w/required drainage and damp proofing , if applicable
✓			▪ Detail egress requirements and fire separation, if applicable
✓			▪ Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEEC 2003
✓			▪ Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
✓			▪ As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)
✓			▪ Reduced plans or electronic files in pdf format are also required if original plans are larger than 11X17"

**\*\* Reminder: \*\***

1. A CD or PDF of the entire application, including all plans, must be submitted with the application.
2. Separate permits are required for internal and external plumbing, HVAC, and electrical installations.
3. Please submit all of the information outlined in this application checklist.
4. If the application is incomplete, the application may be refused.
5. The Planning and Urban Development Department may request additional information prior to the issuance of a permit.

## Site Plan Standards for Review of Level I: Minor Residential

Level I: Minor Residential site plan applications are subject to the following site plan standards\*, as contained in section 14-526 of Article V, Site Plan:

- 14-526 (a) **Transportation Standards:**
    - 2.a. Site Access and Circulation (i) and (ii);
    - 2.c Sidewalks: *(if the site plan is a two- family or multi-family building only)*;
    - 4.a. Location and required number of vehicle parking spaces:(i) and (iv)
  - 14-526 (b) **Environmental Quality Standards:**
    - 1. Preservation of significant natural features.
    - 2.a. Landscaping and landscape preservation
    - 2.b. Site landscaping (iii)
    - 3.a. Water quality, stormwater management and erosion control: a., d., e., and f.
  - 14-526 (c) **Public Infrastructure and Community Safety Standards:**
    - 1. Consistency with Master Plan
    - 2. Public Safety and fire prevention
    - 3. Availability and adequate capacity of public utilities; a., c., d., and e.
  - 14-526 (d) **Site Design Standards:**
    - 5. Historic Resources
    - 9. Zoning related design standards
- *Except as provided in Article III of the City Code, or to conditions imposed under Section 14-526(e) only, or to those submission requirements set forth in section 14-527 as relate solely thereto.*



### PORTLAND FIRE DEPARTMENT SITE REVIEW FIRE DEPARTMENT CHECKLIST



A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
  - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
7. Hydrant locations

**WARRANTY DEED**  
(Maine Statutory Short Form)

**KNOW ALL MEN BY THESE PRESENTS**

**THAT I, KENNETH E. RUSSELL**, of Mililani, Hawaii, for consideration paid, grant to **MZ PROPERTIES, LLC**, a **Maine Limited Liability Company**, whose mailing address is 126 Underwood Drive, Falmouth, ME 04105, *with Warranty Covenants*, a certain lot or parcel of land, with any buildings thereon, situated in Portland, County of Cumberland, State of Maine, and being more particularly described as follows:

**SEE EXHIBIT "A" ATTACHED HERETO  
MADE A PART HEREOF AND INCORPORATED BY REFERENCE HEREIN**

Being the same premises conveyed in a deed from Dorothy Mae Russell to Kenneth E. Russell, dated August 6, 2003 and recorded in the Cumberland County Registry of Deeds in Book 20493, Page 216.

**IN WITNESS WHEREOF, I, KENNETH E. RUSSELL**, have caused this instrument to be executed on this 5 day of November, 2010.

SIGNED, SEALED AND DELIVERED  
in presence of

*Sandra Russell*  
**WITNESS**  
*Sandra Russell*

*Kenneth E. Russell*  
**KENNETH E. RUSSELL**

STATE OF Hawaii  
City: COUNTY OF Honolulu }<sup>SS</sup>

Personally appeared before me on this 5th day of November, 2010, the above named **KENNETH E. RUSSELL** and acknowledged the foregoing instrument to be his free act and deed.

Before me,

*Jessica E. Weaver*  
Notary Public/Attorney at Law  
*Jessica E. Weaver*  
Notary Public, State of Hawaii

Printed Name: Jessica E. Weaver  
COMMISSION EXPIRES: August 20, 2010 *JW*

**SEAL**

MAINE REAL ESTATE TAX PAID

**EXHIBIT A**

A certain lot or parcel of land with the buildings thereon, on Auburn Street, in the City of Portland, County of Cumberland, and State of Maine, being bounded and described as follows:

Beginning at a point on the westerly sideline of said Auburn Street and distance Southerly Two Hundred Twenty (220') feet from the southeasterly corner of land now or formerly of H.F. Littlefield, and running northwesterly one straight line approximately at right angles to said Auburn Street One Hundred Twenty-Five (125') feet to a point marked by an iron rod; thence southerly on a line parallel to said Auburn Street to the land now or formerly of J.E. Willey; thence southeasterly along the line dividing said Willey's land from land of Frederick E. Leighton to said westerly sideline of said Auburn Street; thence northerly along the westerly sideline of said Auburn Street to the point of beginning.

*ALSO*, a certain lot or parcel of land located on the westerly side of Auburn Street, in the City of Portland, County of Cumberland, and State of Maine, being bounded and described as follows:

Beginning at a point on the westerly side of said Auburn Street at the intersection of Auburn Street and the northerly boundary of the land now or formerly of Fred T. Fox; thence in a westerly direction along the northerly boundary of the said Fox land Two Hundred Two and Four-Tenths (202.4') feet to a point at the northwesterly corner of said Fox land; thence in a northerly direction in a line approximately parallel to said Auburn Street Forty-Nine and Five Tenths (49.5') feet to a point; thence in an easterly direction in a line approximately parallel to the first course described herein to a point on the westerly side of Auburn Street; thence along the westerly side of Auburn Street Fifty (50') feet to the point of beginning.

*ALSO*, a certain lot or parcel of land situated at the rear of No. 408 Auburn Street, in the City of Portland, County of Cumberland, and State of Maine, being bounded and described as follows:

Beginning at the northwesterly corner of a lot of land, formerly of Laurena A. Scribner and described in a deed recorded in the Cumberland County Registry of Deeds in Book 1671, Page 6 and dated March 13, 1942; and running southwestery along the southerly sideline of a proposed new street Seventy (70') feet to an iron rod; thence southerly at a right angle to said southerly sideline of proposed new street, and in a straight line, One Hundred and Fifty (150') feet, more or less, to land now or formerly of J.E. Willey; thence northeasterly along said Willey's line, to the southwestery corner of the above mentioned Laurena A. Scribner lot; thence northerly along the westerly line of the Laurena A. Scribner lot, to the northwesterly corner thereof and point of beginning.

A right of way is hereby granted along a proposed new street to the lot hereby described.

Received  
Recorded Register of Deeds  
Nov 15, 2010 01:41:33P  
Cumberland County  
Pamela E. Lovley



Deed Description : Land of MZ Properties Auburn St. South Lot

A certain lot or parcel of land located on the west bounds of Auburn Street and north of land of Anzelc Russell LLC described in Book 18624 Page 189 in the City of Portland, Cumberland County and State of Maine and being more particularly described as follows.

Beginning at a 1" pipe found on the west bounds of Auburn Street at the northeast corner of land of Anzelc Russell LLC described in Book 18624 Page 189 and also being S05°-42'-15"W one hundred fifty and thirty eight hundredths 150.38' feet from a 1" iron pipe found on the southeast corner of land of Lee and Grace Morin described in Book 15219 Page 308.

- 1) Thence S83°-29'-42"W one hundred twenty six and fifty one hundredths 126.51' feet along the north bounds land of Anzelc Russell LLC to a 2" iron pipe at the south corner of Land of Morin described in Book 15219 Page 308.
- 2) Thence N17°-58'-59"W one hundred sixty five and eighty six hundredths 165.86' feet along the easterly bounds of Morin to a 14" Broadleaf tree at a corner of land of Morin.
- 3) Thence N75°-32'-49"E sixty seven and forty two hundredths 67.42' feet along land of Morin to a 2" pipe found at the northwest corner of land of formerly owned by grantor.
- 4) Thence S03°-18'-31"E seventy five and seventy six hundredths 75.76' feet along land formerly owned by grantor to a 5/8" rebar set with cap at the southwest corner of land formerly owned by grantor.
- 5) Thence S85°-12'-12"E one hundred fifteen and thirteen hundredths 115.13' feet along land formerly owned by grantor to a 5/8" rebar set with cap on the west bounds of Auburn Street.
- 6) Thence S05°-42'-15"W seventy five and thirty seven hundredths 75.37' feet along the west bounds of Auburn Street to the point of beginning.

Containing 16,920 Square Feet or 0.39 Acres and being a portion of land of MZ properties described in Book 28267 Page 38. Also including a right of way from Auburn Street to rear of the above described property over the land of Morin described in Book 15219 Page 308 for more particularly described right of way see Book 1789 Page 197.

## STORMWATER REPORT

408 Auburn Street, Portland  
MZ Properties, LLC  
August 10, 2012

The following Stormwater Report has been prepared to summarize the stormwater impact of a single family structure at 408 Auburn Street in Portland, Maine.

### **Project Description:**

MZ Properties, LLC is proposing the development of a single family home at 408 Auburn Street. The new home will introduce approximately 2,199 square feet of impervious area to the 16,920 s.f. lot. The impervious area includes the building and new driveway.

### **Existing Conditions:**

The lot is currently undeveloped and mostly wooded. The site slopes away from Auburn Street, westerly, to a neighboring, large wooded parcel. The lot is adjacent to two single family homes to the north and south. The on-site soils are "Au Gres" loamy sand, which has a HSG classification of "B".

### **Proposed Conditions:**

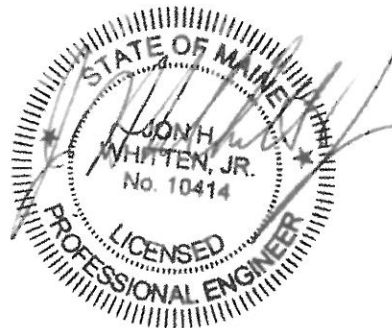
The new home will be located in the center of the lot. A crushed rock infiltration trench is proposed along the eastern and western edges of the home with a storage capacity of approximately 560 cubic feet. This represents 65 percent of the difference in the volume of runoff produced in the post-development conditions versus the pre-development conditions, in a 25-year, 24-hour storm event. Runoff will enter the trench and be allowed to slowly infiltrate into the ground rather than allowed to run overland to the neighboring property. This will minimize the impact on the neighboring wooded parcel.

The neighboring wooded parcel is much larger in size than the development site and does not have soils indicative to future development. The large majority of the property is wetland area. There is also a defined channel for collection of stormwater runoff in the rear of the property. The slight increase in flow from this site is not expected to have a significant, negative impact on downstream areas.

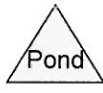
Prepared by,  
**Terradyn Consultants, L.L.C.**



Jon H. Whitten, Jr., P.E.  
Project Manager



8-10-12



**Subcatchment 1S:**

Runoff = 0.84 cfs @ 12.09 hrs, Volume= 0.057 af, Depth> 1.60"

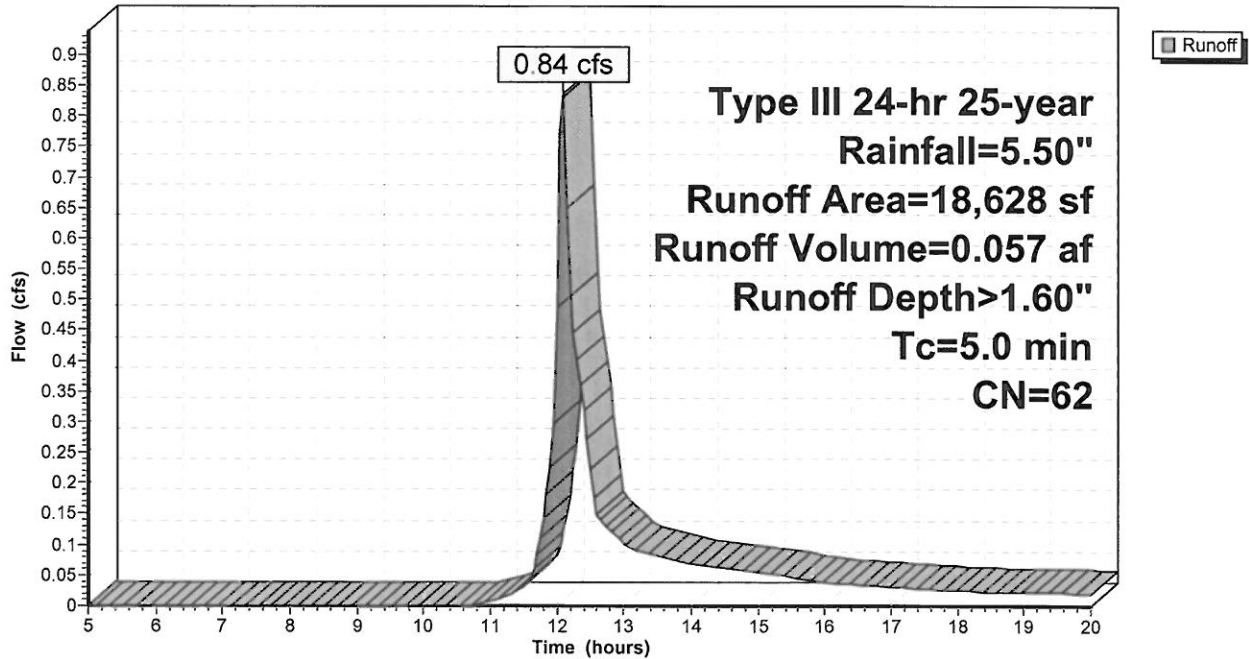
Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
 Type III 24-hr 25-year Rainfall=5.50"

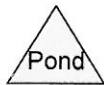
Area (sf)	CN	Description
2,172	98	Paved parking & roofs
10,134	55	Woods, Good, HSG B
6,322	61	>75% Grass cover, Good, HSG B
18,628	62	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 1S:**

Hydrograph





**1236 POST**

Type III 24-hr 25-YEAR Rainfall=5.50"

Prepared by Terradyn Consultants, LLC

Page 2

HydroCAD® 7.10 s/n 003654 © 2005 HydroCAD Software Solutions LLC

8/10/2012

**Subcatchment 1S:**

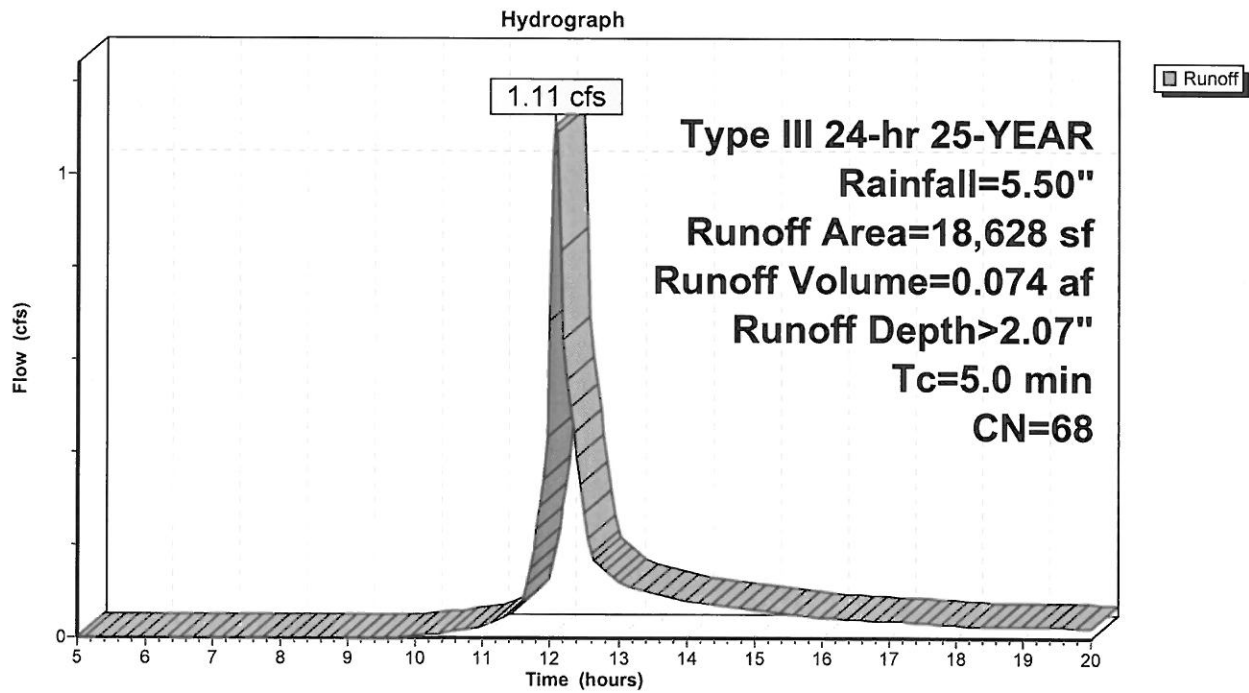
Runoff = 1.11 cfs @ 12.08 hrs, Volume= 0.074 af, Depth> 2.07"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
Type III 24-hr 25-YEAR Rainfall=5.50"

Area (sf)	CN	Description
4,374	98	Paved parking & roofs
5,871	55	Woods, Good, HSG B
8,383	61	>75% Grass cover, Good, HSG B
18,628	68	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**Subcatchment 1S:**





## MAP INFORMATION

Map Scale: 1:1,190 if printed on A size (8.5" x 11") sheet.  
 The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for accurate map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>  
 Coordinate System: UTM Zone 19N NAD83

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Cumberland County and Part of Oxford County, Maine  
 Survey Area Data: Version 7, Jan 8, 2009

Date(s) aerial images were photographed: Data not available.

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## MAP LEGEND

- |                               |                        |                           |                     |
|-------------------------------|------------------------|---------------------------|---------------------|
|                               | Area of Interest (AOI) |                           | Very Stony Spot     |
|                               | Soils                  |                           | Wet Spot            |
|                               | Soil Map Units         |                           | Other               |
| <b>Special Point Features</b> |                        |                           |                     |
|                               | Blowout                |                           | Gully               |
|                               | Borrow Pit             |                           | Short Steep Slope   |
|                               | Clay Spot              |                           | Other               |
|                               | Closed Depression      | <b>Political Features</b> |                     |
|                               | Gravel Pit             |                           | Cities              |
|                               | Gravelly Spot          | <b>Water Features</b>     |                     |
|                               | Landfill               |                           | Streams and Canals  |
|                               | Lava Flow              | <b>Transportation</b>     |                     |
|                               | Marsh or swamp         |                           | Rails               |
|                               | Mine or Quarry         |                           | Interstate Highways |
|                               | Miscellaneous Water    |                           | US Routes           |
|                               | Perennial Water        |                           | Major Roads         |
|                               | Rock Outcrop           |                           | Local Roads         |
|                               | Saline Spot            |                           |                     |
|                               | Sandy Spot             |                           |                     |
|                               | Severely Eroded Spot   |                           |                     |
|                               | Sinkhole               |                           |                     |
|                               | Slide or Slip          |                           |                     |
|                               | Sodic Spot             |                           |                     |
|                               | Spoil Area             |                           |                     |
|                               | Stony Spot             |                           |                     |



## Map Unit Legend

Cumberland County and Part of Oxford County, Maine (ME005)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Au	Au Gres loamy sand	4.9	96.6%
DeB	Deerfield loamy sand, 3 to 8 percent slopes	0.1	1.4%
HIB	Hinckley gravelly sandy loam, 3 to 8 percent slopes	0.1	2.1%
<b>Totals for Area of Interest</b>		<b>5.1</b>	<b>100.0%</b>

8/17/2012

Re: 400 Auburn St – Single Family Home

To: Portland Fire Dept

The sprinkler design will be forth coming and will be in compliance with NFPA 13D. The system will be designed by Uponor and will be given to the Fire Dept for review prior to installation.

MZ Properties LLC