Agent Fax:

CITY OF PORTLAND, MAINE **DEVELOPMENT REVIEW APPLICATION** ARTMENT PROCESSING FORM **DRC Copy**

Jay Reynolds

2006	3-00	88

Application I. D. Number

5/11/2006

Application Date

Single Family Home Project Name/Description

555 - 555 Auburn St , Portland, Maine

Address of Proposed Site

382A D023001

Applicant or Agent Daytime Telephone, Fax Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): 🔽 New Building T Building Addition T Change Of Use 🔽 Residential T Office T Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify)

12791 Proposed Building square Feet or # of Units Zoning Acreage of Site

Check	Review	Required:
-------	--------	-----------

Performance Guarantee Reduced

Brush & Hammer Inc/Phil Requis

Applicant's Mailing Address

Applicant Ph: (207) 807-2586

110 Lester Drive, Portland, ME 04103

Applicant

Phil Requia

Consultant/Agent

One on the treatment of the contract			
Site Plan	Subdivision	PAD Review	14-403 Streets Review
(major/minor)	# of lots	_	_

Flood Hazard Shoreland □ DEP Local Certification

Zoning Conditional Zoning Variance Other Use (ZBA/PB)

Fees Paid: Site Pla \$50.00 Subdivision Engineer Review Date 5/11/2006

Reviewer **DRC Approval Status:**

Approved Approved w/Conditions Denied See Attached

Approval Date Approval Expiration Additional Sheets Extension to

Condition Compliance date signature

Not Required Performance Guarantee Required*

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted date amount expiration date Inspection Fee Paid

date amount **Building Permit Issue**

date

date remaining balance signature Temporary Certificate of Occupancy Conditions (See Attached)

date expiration date

Final Inspection date signature

Certificate Of Occupancy

date Performance Guarantee Released date signature

Defect Guarantee Submitted

submitted date amount expiration date Defect Guarantee Released date

signature



PORTANDNAME

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Finance Department Duane G. Kline, Director

June 19, 2008

Phil Requia 110 Lester Drive Portland, ME 04103

Re:

555 Auburn Street - Brush & Hammer - Defect Guarantee

Escrow Account #710-0000-233-91-12

Enclosed please find a check for \$600.00, which the Planning Department has authorized me to release. This leaves a zero balance in the above-referenced account.

If you require any further information, please let me know.

Sincerely,

Duane G. Kline

Finance Director

DGK:mma Enclosure

CC

Barbara Barhydt, Development Review Services Manager Philip DiPierro, Development Review Coordinator



Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Planning and Development Department Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

TO:

Duane Kline, Finance Department

FROM:

Alexander Jaegerman, Planning Division Director

DATE:

June 17, 2008

SUBJECT:

Request for Release of Defect Guarantee

555 Auburn Street

Brush & Hammer, Phil Requia

(ID# 2006-0088)

(Lead CBL #382A D 023001)

Please release the Internal Performance Guarantee account #710-0000-233.91-12 for the site improvements at 555 Auburn Street, for street tree plantings.

Remaining Balance

\$ 600.00

Approved:

Alexander Jaegerman

Planning Division Director

cc: Philip DiPierro, Development Review Coordinator

Inspections Department

FROM:

Philip DiPierro, Development Review Coordinator

DATE:

June 17, 2008

RE:

C. of O. for #555 Auburn Street,

(Id#2006-0088) (CBL 382A D 023001)

After visiting the site, I have the following comments:

Site work complete

At this time, I recommend issuing a permanent Certificate of Occupancy.

Cc: Barbara Barhydt, Development Review Services Manager Jeanie Bourke, Inspection Services Manager File: Urban Insight

Inspections Department

FROM:

Philip DiPierro, Development Review Coordinator

DATE:

January 10, 2008

RE:

C. of O. for #555 Auburn Street (Id#2006-0088) (CBL 382 A D023)

After visiting the site, I have the following comments:

Site work incomplete:

Two undersized street trees are installed, so the trees must be replaced with two trees meeting the City's Arboricultural standards prior to the final certificate of occupancy.

I anticipate this work can be completed by June 1, 2008. At this time, I recommend issuing a temporary Certificate of Occupancy.

1 6/16/06 trees planted - OK for Final CD

Cc: Barbara Barhydt, Development Review Services Manager Jeannie Bourke, Inspection Services Manager File: Urban Insight

Curt & Denise Johnson <westie20@verizon.net>

To: Date:

<pd@portlandmaine.gov>
1/7/2008 5:40:01 PM

Subject:

555 Auburn Street, Portland

Phil -- I stopped by the City Hall yesterday after you had left for your site inspections. I have the above referenced home under contract for purchase and was just wondering if you could check your records and let me know what is under the basement floor, gravel or stone (to the best of your knowledge). I discovered accidentally that the final C.O. was never issued, so the Homeowner will be contacting you to find out what they need to do to rectify that situation. Thank you very much, Denise & Curt Johnson, 10 Eastfield Road, Cape Elizabeth, ME work phone 317-5172 cell 650-0044 if you wish to speak to me

Good Afternoon Philip,

I was asked to contact you in regards to a property I own at 555 Auburn Street, Portland ME, 04103. I am currently in the process of selling the home, and it was brought to my attention that the property only had a temporary CO, due to lack of completed site work. My builder said that it was because we didnt have the necessary trees in place because the house was completed in January and the ground was still frozen. Somehow this slipped through the cracks, and I would like to take immediate action to fulfill the city's requirements. Can you please verify that this is in fact what needs to be completed, and let me know how I go about getting a full CO once I have the trees planted. I have made contact with a professional landscaper, who has informed me that trees can still be put in, even now. I appreciate your help in this matter, and look forward to resolving this immediately.

Sincerely,

Leisa A. Breggia 207-232-9584 (Cell)

> الا ال

> > C.

Tom Markley Philip DiPierro

To: Date:

1/8/2008 2:09:29 PM

Subject:

555 Auburn St. Lot # 3

Hey Phil,

These folks have a Temporary Certificate of Occupancy which expires 30 June 07. They say all site work was completed and checked but I have no Memo from you. Please check and if done send to me and I will issue new Certificate . They want to sell in a week or so. Thanks Phil.

Tom Markley

Roger Hutchins

To:

Barbara Barhydt

Date: Subject: 1/31/2007 12:55:51 PM Re: 555 Auburn St.

Hi Barbara:

I looked at the site yesterday. The grading appears to be good, directed toward Auburn St. or to french drain. The site work is done except for seeding. All repairs to sidewalk, curb, street etc. appear good. The plans called for 2 trees in front to be 3", they are approx. 1" (too small). Keep in mind that the ground is ice and snow covered and should be inspected again in the spring. I spoke to the developer and voiced my concerns about the size of the trees. He said that if it was a problem, that he would replace them in the spring. He will also be seeding in the spring. I would recommend a temporary C of O pending seeding, tree replacement and final inspection in the spring. If you need any more info, I will be in the office tomorrow. Have a great day!

>>> Barbara Barhydt 1/31/2007 8:38:07 AM >>> Hi Tom:

Roger Hutchins is helping us out and I have asked him to look at the site for us. I am cc'ing him on this to see if he has been able to inspect it.

Thanks.

Barbara

>>> Tom Markley 1/31/2007 8:33:15 AM >>> The owner is asking for the Cof O to close on property. Your memo would be greatly appreciated.

Tom Markley

June 4, 2007

Leisa Breggia 555 Auburn Street Portland, Maine 04103

RE: Final Site Inspection, (Project # 2006-0088), (CBL 382 A 023001)

Dear Ms. Breggia:

Recently I visited your property at 555 Auburn Street, and conducted a site inspection for a Final Certificate of Occupancy. During my inspection it was observed that several site improvements were incomplete. Please be advised that your Temporary Certificate of Occupancy expired on June 1, 2007. The following items must be completed **prior** to the issuance of a Final Certificate of Occupancy (as outlined and agreed to in the conditions of approval relating to you building permit).

The following items require your attention and must be completed immediately.

- 1. Loaming, seeding, and mulching of all disturbed and sparsely grown areas,
- 2. Two (2) City of Portland approved species and size trees must be planted on your street frontage. In order to meet the City's Arboricultural standards the trees must be a minimum 2 to 2 ½ inch caliper in size.

Please contact me if you have any questions.

Sincerely,

Philip DiPierro Development Review Coordinator

Cc: Barbara Barhydt, Development Review Services Manager Jeanie Bourke, Inspection Services Manager File: Urban Insight

Inspections Department

FROM:

Barbara Barhydt, Development Review Manager

DATE:

January 31, 2007

RE:

C. of O. for #555 Auburn Street (Id#2006-0088) (CBL 382 A D023)

Roger Hutchins inspected the site and based upon his review, I have the following comments:

Site work incomplete:

Final loam and seeding is needed; and

no mulch. no grass catch

Start food 5

Two undersized street trees are installed, so the trees must be replaced with two trees of a minimum of three inch caliper meeting the City's Arboricultural standards prior to the final certificate of occupancy.

I anticipate this work can be completed by **June 1, 2007**. At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: file for: Development Review Services Manager Roger Hutchins, Rehabilitation Specialist Jeannie Bourke, Inspection Services Manager

File: Urban Insight

Inspections Department

FROM:

Barbara Barhydt, Development Review Manager

DATE:

January 31, 2007

RE:

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Cc: file for: Development Review Services Manager

Roger Hutchins, Rehabilitation Specialist Jeannie Bourke, Inspection Services Manager

File: Urban Insight

STANDARD CONSTRUCTION NOTES

I-All construction, planning, electrical and mechanical kill comply with the CABO One and two Family Dwelling Code and State, County and Minicipal Codes. 2.Construction shall comply with all Covenants, Conditions and Restrictions recorded against the load.

Seteral contractor and all selecatinations will review pleas for accuracy and rity all dimensions and compilence with above codes (see all) prior to the art of construction. Bids submitted will be according to such review.

efety, and of adjacent properties during construction, and congrigace with applicable setsity respectations is, and shall be, the contractors and contractors and

All trees to be protected from demage of construction process and machines less approved for removal by owner.

confal shall be 5-78; one enterthed with a minimum compressive strength of, CVD pill for besentet while and themobilisies not exposed to readher and for feet sloss and history state on a grade, con pill for besented tomedition and exterior valid and other vertical work, con be waither. CVD pill for carport and garage floor slots for parallels and stage exposed to ter, lideat PSO/221.

concrete form work to be adequately ted tagether and braced to form a line, souther carners and physic valle.

Il reinforcing bors sholl caliform to ASTM Spec (A625 Deliarmed burs with thirm yield stress at 40,000 pell Neided Hire tabric to be 6x6, 10/10, rhoming to ASTM spec 155.

"oured facting to be poured on level"(less the t" in 101-0* slape). Historiaed soil,

istall Hoshers on all foundation bolts.

-raid space venting minimum i.O sq.ft. for each 150 sq.ft. at toundation area

framing corrections to be Simpson Company, or approved equivalent. Simpson be used at each tress to top plate connection. flashing to be 24 ga. 6.1. metal. Gravel stops and beam caps to be 22 ga.

2.All direction lander to be Douglas Fir-Larch, 2x4 standard or better all other #2 or better inless noted otherwise. (Exposed physical to be extenior grade CCX, Natl 6' on edge 12" in field. Masarry-

AMI walls to be double plated, and plated joints will not be less than 4ps spart. Top plate of interior partitions shall be full into exterior wall plate.

t.=Trovide operable expess windows at overy elegating room with a maintain net Jour opening of 5.7 sq.t. (Ground Hoor express window 5 sq.t.) Locas operable elight. 24') least operable width. 30'i navimom sill height. 44'. (R-2102)

Level changes at entries to be minimum $U2^{\bullet}$ movining $7\ U2^{\bullet}$.

n.Extentor bearing walt headers to be 2-2x10 with 2" rigid insulation.

s.Plumbing mails to be 2x6. Bathtub framed at 60 V2" untess noted, Unterior bearing will headers to be 4x6 unless noted.

Efrovide elooking for backing: Shower rod, 64° height, Yawe*i r*od, 42° height, wron rod, each side of all windows.

(0 All pro-wiring for telephone, TV, Stereo etc. to be coordinated with owner,

2.Trusses shall not bear on Interior portitions unless so designed. sinsulation baffies to be __^ CDX plynoad (or approved equal); no felt paper stoned. Use scrap if available.

I.All trusses to be per manufacturers engineering specifications. Truss details to be provided upon having lispection. Tress increhentives to verify all spoos and configurations prior to tress labrication.

2. Fire damper required except for gas theplace. l.Store or Brick selected by owner,

3Phyvolate on oblade our wat, at least \$1" of dimeter, the first shall be closed the Company that in Company the state of the control of the property of the con-control of our control of the state of the patients in the shall be control or the state of the basings in the shall be shall be located near, or on the flavor within 24 to these of the inexplose or opplicates (R4C6.5 - 406.2).

Thermal Protection-

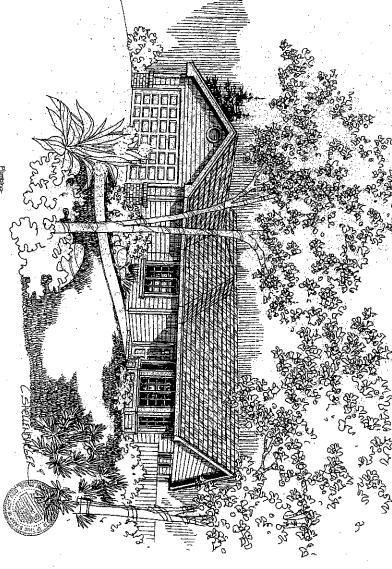
Idalian required as follows: man Mallip R-21 Trs; R-25 Ng R-30 Hat, R-30 slopad (max 50% of Hoor oction Halia; R-11

later Heater; R-III yrap hab on Grade; R-IO

255x millmeter black potjethylena fretiforced II wider slido) ground cover requined of foundation.

4.Docrs and rendons to; be neather-stripped. 3.Yapar barriers at exterior walls (one dry cup rating or lews).

5All vibidovis, including skylights to be double glazed insulpted glass, or equipped with storm wardows. (U.40 movimin)



I.Fixtures to be identified by owner. Color to be write unless specified.

2.Planding waste lines to be located as follows: The center line of water closes visite line to be 12 from face of wall behind; to waste lines to be centered in wall behind controls and 15° face of side wall.

3-MI melboard jorts, suk adges and pipe openings at the and shower exclusives to be previously with a septemble scale of the adhesive sead as scales. Prior to applications the middle melboard propriets around pipes, fathers, at the be cartied with approved relating our handwards go defining compound.

Schemers shall be adjipped with control values of the pressure balance, the thermostatic maring, or the combridton pressure balance/thermostatic mixing valve type with high limit slops in occardance with ASSE (O)B, [P-403] 4.The machium amount of water vised by next plumbing fixturius: a) toffets, t.b. gal. per flush; b) shower keads. 25 GPM; c)interior facets: 25 GPM (P-4)(5)

6.6 tass that and shawer doors to be sufely glazed to comply with CPSC 16-CFR. Part 1201.

12-liazing contractor to install planting to minimize notes from use and protect shruthral support members.

4 Noter heatens shall be anchored to resist horizontal movement. (P-1910.e) S.Victer heaters to be provided with gressime relief valves with provision to drain to exterior or approved drain.

10.55xm kater drains (eith 5 of tombalton kall) stall be o'i incharial as specified for earliery decinizate years. (Chopy,45×40-4) storm kater severs (5' and beyond foundation) shall be of indianal specified in Sec. (103, [6-,405])

IAII finishes to be identified by owner, including cobinets, doors, and finishing etc.

2. Flash all exterior doors, Hindows, and for izontal wood trim as required. 3.Counter tops to be self edged, and soved, for as per owner)

Sine grange shall be completely separated from the residence and its article programs for the providence of the Sine became and the article separates to the sparate shall return the separates to floor-calling assessible the structure supporting to expanding the structure supporting to expanding the structure supporting the structure structure. 4All open florius and glan elements to be minited 18th above garage floor.

6.5 fujlights shall be of an approved hit design, or provide construction plans and obtains on also to be approved by the frepection before installation begins. All minimum glosing and curb incomine and it R-2006 a brail but met.

7.Provide a minimum of 90° wide-space and 21° clear in front of oil water closets. [Figure R2072]

S.Mintmum hallway width 36; Prish wall to finish soil. [R-20]

efferolde on appropriat sincise selection on all Rock levals and at all stepping areas, All distillation in the common terms the selection from the primary source of letters the the primary source of letters that the primary source of letters that the primary source of letters that the primary source of the

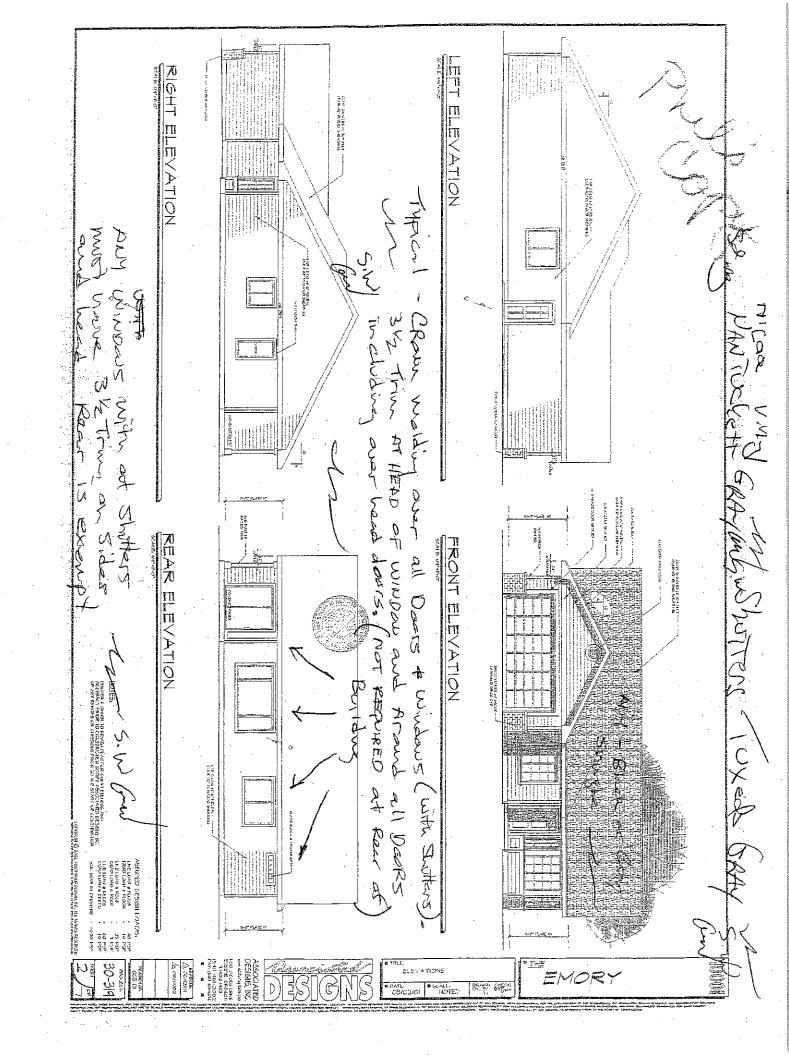
ic/Recessed light flathres hatclied in insulated covibles shall be indeled as suitable for being hatclied in direct contact with heliation, i.e. ic nated, (5903(a)5 and NEC4(0,66).

ASSOCIATED DESIGNS, INC. D)[\$S](6

RENDERING A RD CONSTRUCTION NOTES

EMORY

C8/14/00 C6/12/01



CITY OF PORTLAND, MAINE PLA

DEVELOPMENT REVIEW APPLICATION	
NNING DEPARTMENT PROCESSING FORM	2006-0088
DRC Copy	Application I. D. Number

Brush & Hammer Inc/Phil R Applicant 110 Lester Drive, Portland, M Applicant's Mailing Address Phil Requia Consultant/Agent Applicant Ph: (207) 807-2586 Applicant or Agent Daytime Te Proposed Development (check	ME 04103 Agent Fax: elephone, Fax ⟨ all that apply): New Buildi	Address of Prop 382A D023001 Assessor's Refe ing Building Addition Cha	Apply Sir Promotes of Promotes	Lot Residential
Proposed Building square Fee	et or # of Units	12791 Acreage of Site		Zoning
Check Review Required:				
✓ Site Plan (major/minor)	Subdivision # of lots	PAD Review		14-403 Streets Review
Flood Hazard	Shoreland	HistoricPrese	ervation	DEP Local Certification
Zoning Conditional Use (ZBA/PB)	Zoning Variance			Other
Fees Paid: Site Plan	\$50.00 Subdivision	Engineer Review	\$250.00	Date
DRC Approval Stat	us:	Reviewer Jay Rey	nolds	
Approved	Approved w/Con See Attached	ditions	Denied	
Approval Date 6/5/2006	Approval Expiration	6/5/2007 Extension to		Additional Sheets
Condition Compliance	Jay Reynolds	6/5/2006		Attached -
	signature	date		্-
Performance Guarantee	Required*	Not Require	d	
* No building permit may be is	sued until a performance guarar	ntee has been submitted as indicate	ed below	¥
Performance Guarantee A				
☐ Inspection Fee Paid	date	ar	nount	expiration date
	date	ar	nount	
Building Permit Issue	_ 1 _ 1.			
Performance Guarantee R	date educed			
	date	remaini	ng balance	signature
Temporary Certificate of O	· · · —		See Attached)	
Final Inspection	date			expiration date
	date	sig	nature	-
Certificate Of Occupancy				
☐ Performantee Guarantee R	date			30 See-
renormance Guarantee R	eleaseddate	sig	nature	- -
☐ Defect Guarantee Submitt				
Defeat Curveter Bell	submitted	l date ar	nount	expiration date
Defect Guarantee Release	eddate	sio	nature	-

CITY OF PORTLAND, MAINE **DEVELOPMENT REVIEW APPLICATION** PLANNING DEPARTMENT PROCESSING FORM

2006-0088

	ADDENDUM	Application I. D. Number
Brush & Hammer Inc/Phil Requia		5/11/2006
Applicant		Application Date
10 Lester Drive, Portland, ME 04103		Single Family Home
Applicant's Mailing Address		Project Name/Description
Phil Requia	555 - 555 Auburn S	t , Portland, Maine
Consultant/Agent	Address of Proposed	Site
Applicant Ph: (207) 807-2586 Agent Fax:	382A D023001	_
innlicant or Agent Daytime Telephone, Fav	Accessor's Deferens	n. Chart Black Lat

Approval Conditions of DRC

- 1 FINAL GRADING SHALL BE DONE SO THAT DRAINAGE IS DIRECTED TOWARD AUBURN STREET.
- 2 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 5 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Roger Hutchins Barbara Barhydt

To: Date:

1/31/2007 12:55:51 PM

Subject:

Re: 555 Auburn St.

Hi Barbara:

I looked at the site yesterday. The grading appears to be good, directed toward Auburn St. or to french drain. The site work is done except for seeding. All repairs to sidewalk, curb, street etc. appear good. The plans called for 2 trees in front to be 3", they are approx. 1" (too small). Keep in mind that the ground is ice and snow covered and should be inspected again in the spring. I spoke to the developer and voiced my concerns about the size of the trees. He said that if it was a problem, that he would replace them in the spring. He will also be seeding in the spring. I would recommend a temporary C of O pending seeding, tree replacement and final inspection in the spring.

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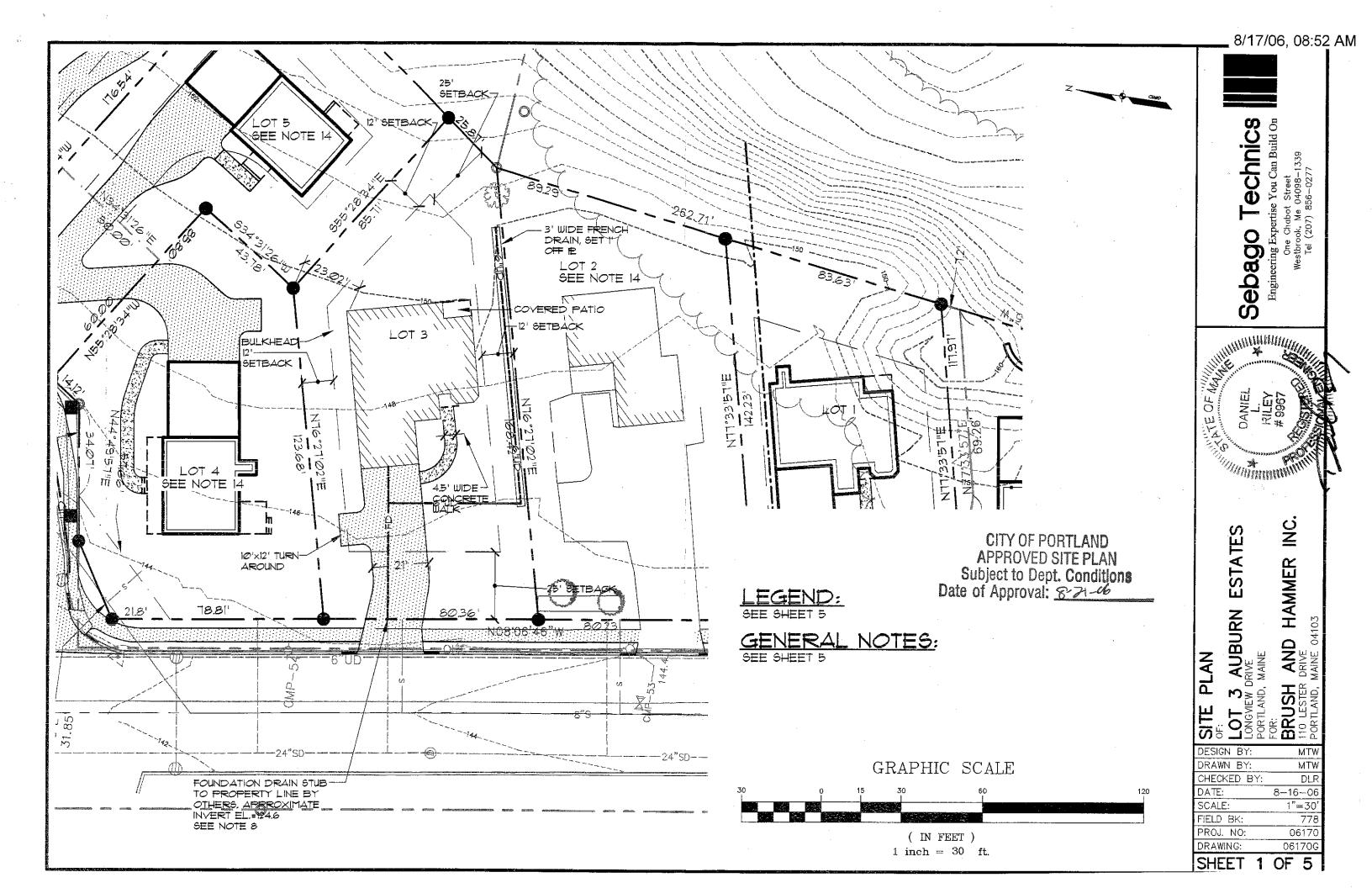
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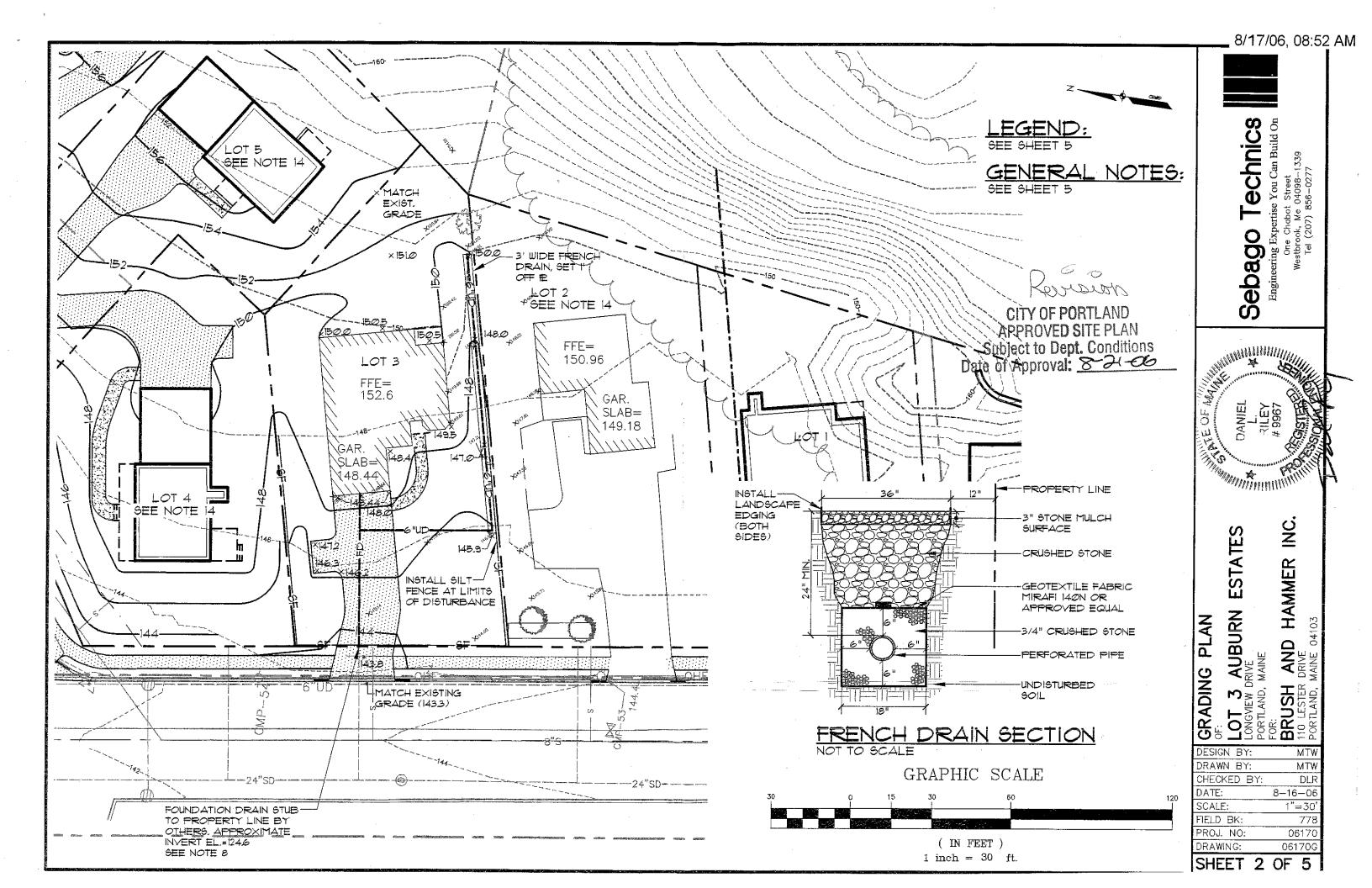
Thanks.

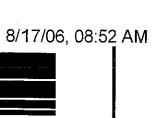
Barbara

>>> Tom Markley 1/31/2007 8:33:15 AM >>> The owner is asking for the Cof O to close on property. Your memo would be greatly appreciated.

Tom Markley









The state of the s

NC. HAMMER

ESTATES AUBURN DRIVE D, MAINE AND DRIVE MAINE 041 BRUSH 110 LESTER PORTLAND, 1

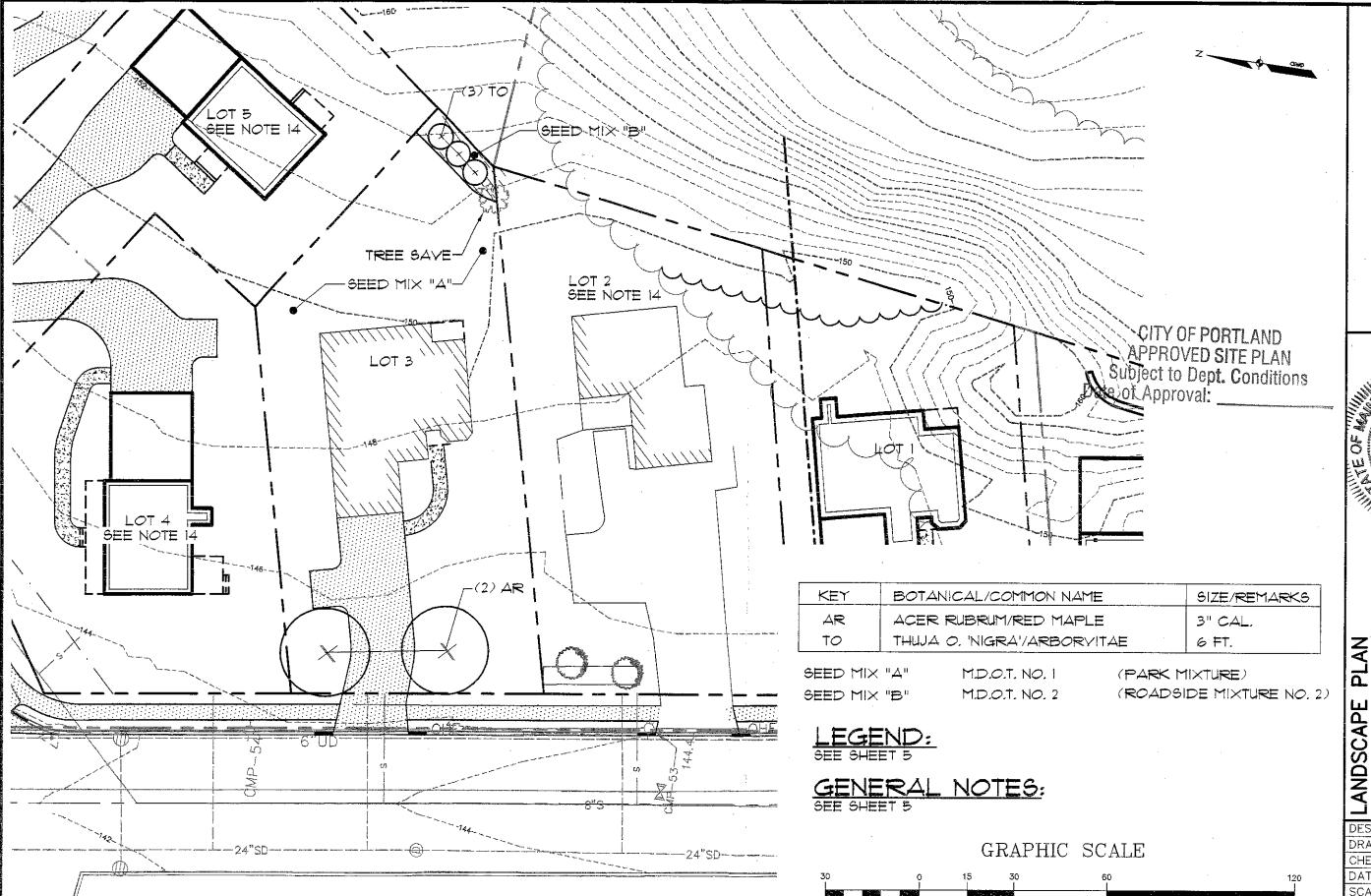
LOT

DESIGN BY: MTW DRAWN BY: MTW CHECKED BY: DLR DATE: 8-16-06 SCALE: 1"=30 FIELD BK: 778 PROJ. NO: 06170

DRAWING: 061700 4 OF 5 SHEET

(IN FEET)

1 inch = 30 ft.



GENERAL NOTES

- I. APPLICANT: BRUSH AND HAMMER INC.
 11/0 LESTER DRIVE
 PORTLAND, ME 04103
- 2. THE PROPERTY IS SHOWN AS LOT 3 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
- 4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH, HORIZONTAL CONTROL REFRENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
- 5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY IT, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929). VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6'X6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVWEWAY AT ELEVATION 108.86 FEET.
- 6. PLAN REFERENCES:
 - A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.
- 1. THE PROPERTY IS LOCATED IN THE CITY OF PORTAND R-2 ZONE, THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

	R-2 ZONE
MIN. LOT SIZE	10.000 SF.
MIN. AREA PER DWELLING UNIT	10,000 SF.
MIN. STREET FRONTAGE	_50 FT.
MIN. FRONT YARD SETBACK	25 FT.
MIN. REAR YARD SETBACK	25 FT.
MIN. SIDE YARD SETBACK	
1 STORY	12 FT.
1/2 STORY	12 FT.
2 STORY	4 FT.
21/2 STORY	16 FT.
MIN. SIDE YARD SETBACK	
ON SIDE STREET	2Ø FT.
MAX, LOT COVERAGE	
(BLDG, FOOTPRINT)	2 <i>0</i> %
MIN. LOT WIDTH	8Ø FT.
MAX. BLDG. HEIGHT	
(PRINCIPAL)	35 FT.
MAX. BLDG. HEIGHT	
(DETACHED ACCESSORY)	18 FT.

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET.

- 8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE AND AUBURN STREET ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6A. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION,
- 9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
- 10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MANE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSES A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

- 11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.
- 12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HERON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.
- 13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER
- 14. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 5 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 5 AUBURN ESTATES" FOR LARRY STURDIVANT BY SEBAGO TECHNICS, INC. DATED MARCH 9, 2005. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 2 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 2 AUBURN ESTATES" FOR SHARON PELLETIER BY SEBAGO TECHNICS, INC. DATED APRIL 7, 2005. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 4 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 4 AUBURN ESTATES" FOR RICK OBER BY SEBAGO TECHNICS, INC. DATED APRIL 21, 2005.

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval:

EGEND EXISTING DESCRIPTION PROPOSED PROPERTY/ROW . SETBACK BUILDING SIGN EDGE PAVEMENT GRAVEL ROAD CURBLINE TREELINE ULLLLLU. www. CONTOURS WATER SEWER STORM DRAIN FOOTING DRAIN UNDERDRAIN UNDERGROUND -UGE--·UGE 4T-ELEC. & TEL. GATE VALVE D=1Ċ LIGHT POLE -0-HYDRANT (S)(D) MANHOLE SPOT GRADE 30.20 × 30.20 DECIDUOUS TREE × CONFEROUS TREE

Ebago Technics
Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098–1339
Tel (207) 856–0277

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