

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

2006-0088

Application I. D. Number

DRC Copy

5/11/2006

Application Date

Jay Reynolds

Single Family Home

Project Name/Description

Brush & Hammer Inc/Phil Requia

Applicant

110 Lester Drive, Portland, ME 04103

Applicant's Mailing Address

Phil Requia

Consultant/Agent

Applicant Ph: (207) 807-2586 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

555 - 555 Auburn St , Portland, Maine

Address of Proposed Site

382A D023001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units 12791 Acreage of Site _____ Zoning _____

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots _____
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 5/11/2006

DRC Approval Status:

Reviewer _____

- Approved
- Approved w/Conditions See Attached
- Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

① Look at Grading
 ② " " Sub. Plans
 for Grades/FFE
 ③ Call Dan Riley
 5-17



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life * www.portlandmaine.gov

Finance Department
Duane G. Kline, Director

June 19, 2008

Phil Requia
110 Lester Drive
Portland, ME 04103

Re: 555 Auburn Street – Brush & Hammer – Defect Guarantee
Escrow Account #710-0000-233-91-12

Enclosed please find a check for \$600.00, which the Planning Department has authorized me to release. This leaves a zero balance in the above-referenced account.

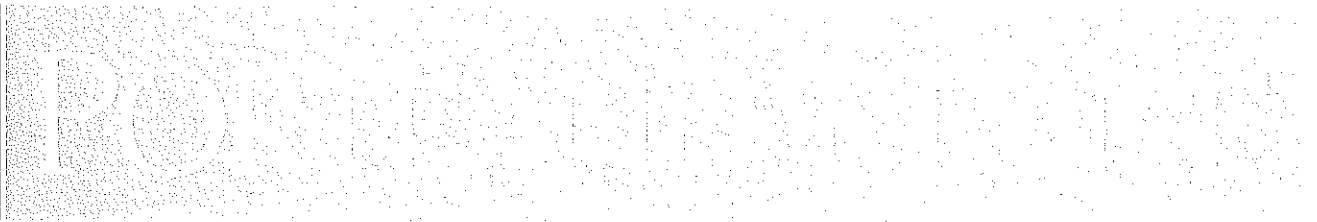
If you require any further information, please let me know.

Sincerely,

Duane G. Kline
Finance Director

DGK:mma
Enclosure

cc: ~~Barbara Barhydt~~, Development Review Services Manager
~~Philip DiPierro~~, Development Review Coordinator



Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Planning and Development Department

Lee D. Urban, Director

Planning Division

Alexander Jaegerman, Director

TO: Duane Kline, Finance Department

FROM: Alexander Jaegerman, Planning Division Director

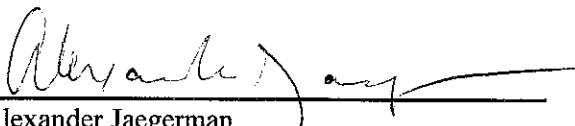
DATE: June 17, 2008

SUBJECT: Request for Release of Defect Guarantee
555 Auburn Street Brush & Hammer, Phil Requia
(ID# 2006-0088) (Lead CBL #382A D 023001)

Please release the Internal Performance Guarantee account #710-0000-233.91-12 for the site improvements at 555 Auburn Street, for street tree plantings.

Remaining Balance \$ 600.00

Approved:


Alexander Jaegerman
Planning Division Director

cc: Philip DiPierro, Development Review Coordinator

TO: Inspections Department
FROM: Philip DiPierro, Development Review Coordinator
DATE: June 17, 2008
RE: C. of O. for #555 Auburn Street,
(Id#2006-0088) (CBL 382A D 023001)

After visiting the site, I have the following comments:

Site work complete

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager
Jeanie Bourke, Inspection Services Manager
File: Urban Insight

TO: Inspections Department
FROM: Philip DiPierro, Development Review Coordinator
DATE: January 10, 2008
RE: C. of O. for #555 Auburn Street
(Id#2006-0088) (CBL 382 A D023)

After visiting the site, I have the following comments:

Site work incomplete:

Two undersized street trees are installed, so the trees must be replaced with two trees meeting the City's Arboricultural standards prior to the final certificate of occupancy.

I anticipate this work can be completed by **June 1, 2008**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

6/16/08 Trees planted - ok for Final CO

Cc: Barbara Barhydt, Development Review Services Manager
Jeannie Bourke, Inspection Services Manager
File: Urban Insight

From: Curt & Denise Johnson <westie20@verizon.net>
To: <pd@portlandmaine.gov>
Date: 1/7/2008 5:40:01 PM
Subject: 555 Auburn Street, Portland

Phil -- I stopped by the City Hall yesterday after you had left for your site inspections. I have the above referenced home under contract for purchase and was just wondering if you could check your records and let me know what is under the basement floor, gravel or stone (to the best of your knowledge). I discovered accidentally that the final C.O. was never issued, so the Homeowner will be contacting you to find out what they need to do to rectify that situation. Thank you very much, Denise & Curt Johnson, 10 Eastfield Road, Cape Elizabeth, ME work phone 317-5172 cell 650-0044 if you wish to speak to me

Good Afternoon Philip,

I was asked to contact you in regards to a property I own at 555 Auburn Street, Portland ME, 04103. I am currently in the process of selling the home, and it was brought to my attention that the property only had a temporary CO, due to lack of completed site work. My builder said that it was because we didnt have the necessary trees in place because the house was completed in January and the ground was still frozen. Somehow this slipped through the cracks, and I would like to take immediate action to fulfill the city's requirements. Can you please verify that this is in fact what needs to be completed, and let me know how I go about getting a full CO once I have the trees planted. I have made contact with a professional landscaper, who has informed me that trees can still be put in, even now. I appreciate your help in this matter, and look forward to resolving this immediately.

Sincerely,

Leisa A. Breggia
207-232-9584 (Cell)

W
CA

R
CA

From: Tom Markley
To: Philip DiPierro
Date: 1/8/2008 2:09:29 PM
Subject: 555 Auburn St. Lot # 3

Hey Phil,

These folks have a Temporary Certificate of Occupancy which expires 30 June 07. They say all site work was completed and checked but I have no Memo from you. Please check and if done send to me and I will issue new Certificate . They want to sell in a week or so. Thanks Phil.

Tom Markley

From: Roger Hutchins
To: Barbara Barhydt
Date: 1/31/2007 12:55:51 PM
Subject: Re: 555 Auburn St.

Hi Barbara:

I looked at the site yesterday. The grading appears to be good, directed toward Auburn St. or to french drain. The site work is done except for seeding. All repairs to sidewalk, curb, street etc. appear good. The plans called for 2 trees in front to be 3", they are approx. 1" (too small). Keep in mind that the ground is ice and snow covered and should be inspected again in the spring. I spoke to the developer and voiced my concerns about the size of the trees. He said that if it was a problem, that he would replace them in the spring. He will also be seeding in the spring. I would recommend a temporary C of O pending seeding, tree replacement and final inspection in the spring.

If you need any more info, I will be in the office tomorrow. Have a great day!

>>> Barbara Barhydt 1/31/2007 8:38:07 AM >>>

Hi Tom:

Roger Hutchins is helping us out and I have asked him to look at the site for us. I am cc'ing him on this to see if he has been able to inspect it.

Thanks.

Barbara

>>> Tom Markley 1/31/2007 8:33:15 AM >>>

The owner is asking for the Cof O to close on property. Your memo would be greatly appreciated.

Tom Markley

June 4, 2007

Leisa Breggia
555 Auburn Street
Portland, Maine 04103

RE: Final Site Inspection, (Project # 2006-0088), (CBL 382 A 023001)

Dear Ms. Breggia:

Recently I visited your property at 555 Auburn Street, and conducted a site inspection for a Final Certificate of Occupancy. During my inspection it was observed that several site improvements were incomplete. Please be advised that your Temporary Certificate of Occupancy expired on June 1, 2007. The following items must be completed **prior** to the issuance of a Final Certificate of Occupancy (as outlined and agreed to in the conditions of approval relating to you building permit).

The following items require your attention and must be completed immediately.

1. Loaming, seeding, and mulching of all disturbed and sparsely grown areas,
2. Two (2) City of Portland approved species and size trees must be planted on your street frontage. In order to meet the City's Arboricultural standards the trees must be a minimum 2 to 2 ½ inch caliper in size.

Please contact me if you have any questions.

Sincerely,

Philip DiPierro
Development Review Coordinator

Cc: Barbara Barhydt, Development Review Services Manager
Jeanie Bourke, Inspection Services Manager
File: Urban Insight

TO: Inspections Department
FROM: Barbara Barhydt, Development Review Manager
DATE: January 31, 2007
RE: C. of O. for #555 Auburn Street
(Id#2006-0088) (CBL 382 A D023)

Roger Hutchins inspected the site and based upon his review, I have the following comments:

Site work incomplete:

Final loam and seeding is needed; and

no mulch - no grass catch

Two undersized street trees are installed, so the trees must be replaced with two trees of a minimum of three inch caliper meeting the City's Arboricultural standards prior to the final certificate of occupancy.

*still need
2 street trees*

I anticipate this work can be completed by **June 1, 2007**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: file for: Development Review Services Manager
Roger Hutchins, Rehabilitation Specialist
Jeannie Bourke, Inspection Services Manager
File: Urban Insight

TO: Inspections Department

FROM: Barbara Barhydt, Development Review Manager

DATE: January 31, 2007

RE: C. of O. for #555 Auburn Street
(Id#2006-0088) (CBL 382 A D023)

Roger Hutchins inspected the site and based upon his review, I have the following comments:

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Final loam and seeding is needed; and

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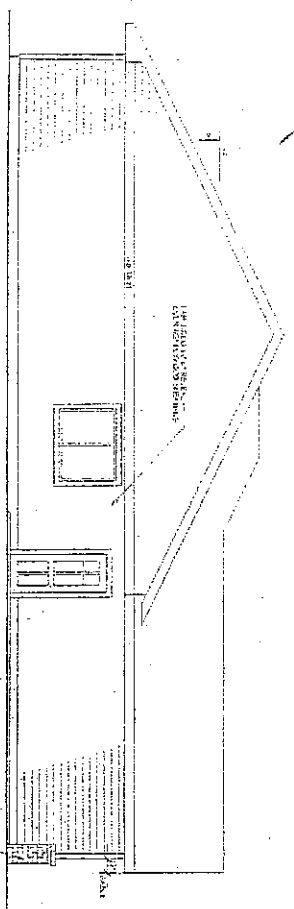
I anticipate this work can be completed by **June 1, 2007**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: file for: Development Review Services Manager
Roger Hutchins, Rehabilitation Specialist
Jeannie Bourke, Inspection Services Manager
File: Urban Insight

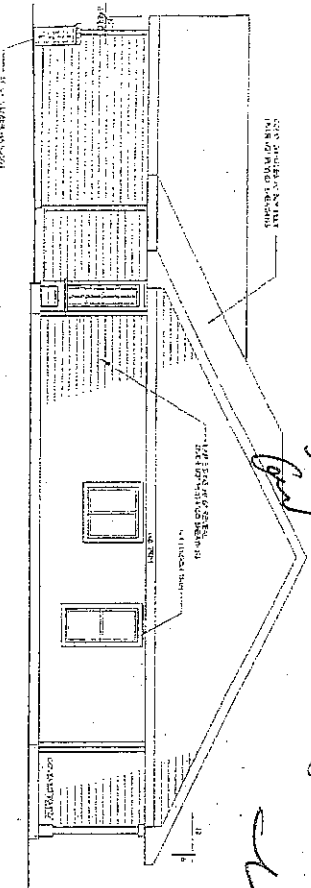
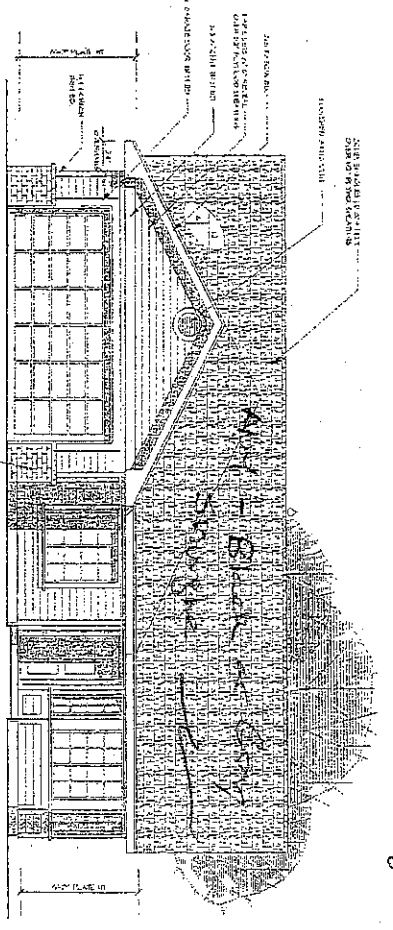
Handwritten notes:
 1/2" Ply Shear
 1/2" Ply Shear

Handwritten notes:
 NICOA V.M.V. GRAVEL SHOOTERS TOXED GRAY S.W. 1/2" Ply Shear

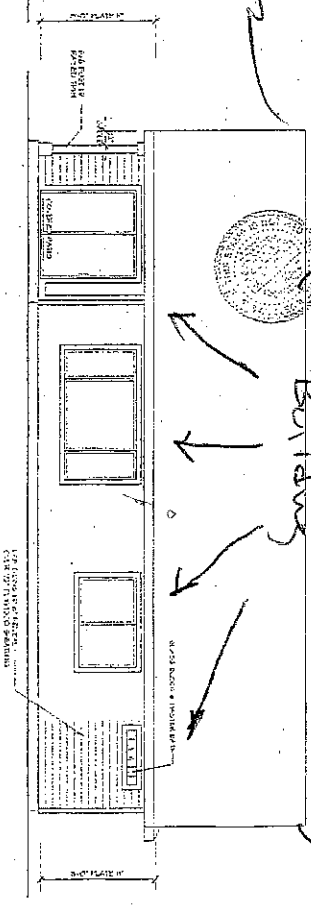


LEFT ELEVATION

FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

Handwritten notes:
 Typical - Crown molding over all Doors & windows (with Shutters).
 3/4\"/>

Handwritten notes:
 Shutters
 All windows with shutters
 must have 3/4\"/>

Handwritten notes:
 Shutters
 S.W. 1/2\"/>

ASSEMBLED DESIGN ELEMENTS	QTY	UNIT PRICE	TOTAL PRICE
1/2\"/>			

TITLE	ELEVATIONS
DATE	03/01/2020
SCALE	1/8\"/>

EMORY

ASSOCIATED DESIGNS, INC.
 1500 N. W. 10th Ave.
 Suite 200
 Ft. Lauderdale, FL 33304
 Phone: (954) 561-2200
 Fax: (954) 561-2200

DESIGNS

DATE	03/01/2020
SCALE	1/8\"/>

EMORY

ASSOCIATED DESIGNS, INC.
 1500 N. W. 10th Ave.
 Suite 200
 Ft. Lauderdale, FL 33304
 Phone: (954) 561-2200
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**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2006-0088
Application I. D. Number

5/11/2006
Application Date

Single Family Home
Project Name/Description

L23

Brush & Hammer Inc/Phil Requia
Applicant
110 Lester Drive, Portland, ME 04103
Applicant's Mailing Address
Phil Requia
Consultant/Agent
Applicant Ph: (207) 807-2586 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

555 - 555 Auburn St , Portland, Maine
Address of Proposed Site
382A D023001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units 12791 Acreage of Site _____ Zoning _____

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 5/11/2006

DRC Approval Status:

Reviewer Jay Reynolds

- Approved Approved w/Conditions See Attached Denied

Approval Date 6/5/2006 Approval Expiration 6/5/2007 Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds 6/5/2006
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date
- Inspection Fee Paid _____ date _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date Conditions (See Attached) _____ expiration date
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date
- Defect Guarantee Released _____ date _____ signature _____

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2006-0088

Application I. D. Number

5/11/2006

Application Date

Single Family Home

Project Name/Description

Brush & Hammer Inc/Phil Requia

Applicant

110 Lester Drive, Portland, ME 04103

Applicant's Mailing Address

Phil Requia

Consultant/Agent

Applicant Ph: (207) 807-2586 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

555 - 555 Auburn St , Portland, Maine

Address of Proposed Site

382A D023001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 **FINAL GRADING SHALL BE DONE SO THAT DRAINAGE IS DIRECTED TOWARD AUBURN STREET.**
- 2 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 5 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

From: Roger Hutchins
To: Barbara Barhydt
Date: 1/31/2007 12:55:51 PM
Subject: Re: 555 Auburn St.

Hi Barbara:

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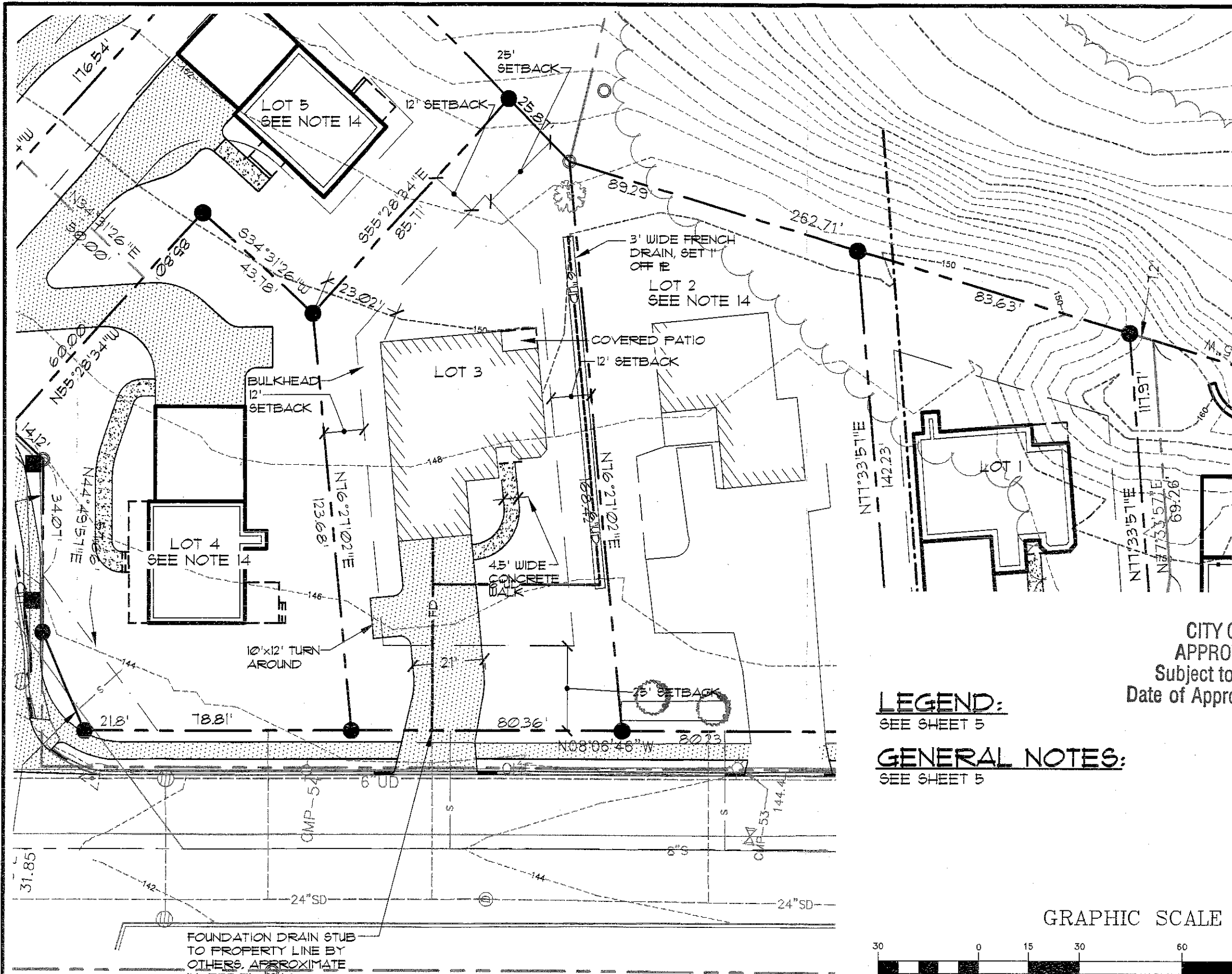
Thanks.

Barbara

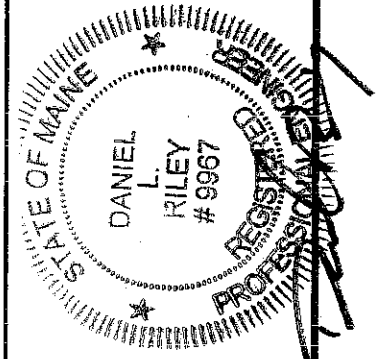
>>> Tom Markley 1/31/2007 8:33:15 AM >>>

The owner is asking for the Cof O to close on property. Your memo would be greatly appreciated.

Tom Markley



Sebago Technics
 Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 8-7-06

LEGEND:
 SEE SHEET 5

GENERAL NOTES:
 SEE SHEET 5

GRAPHIC SCALE



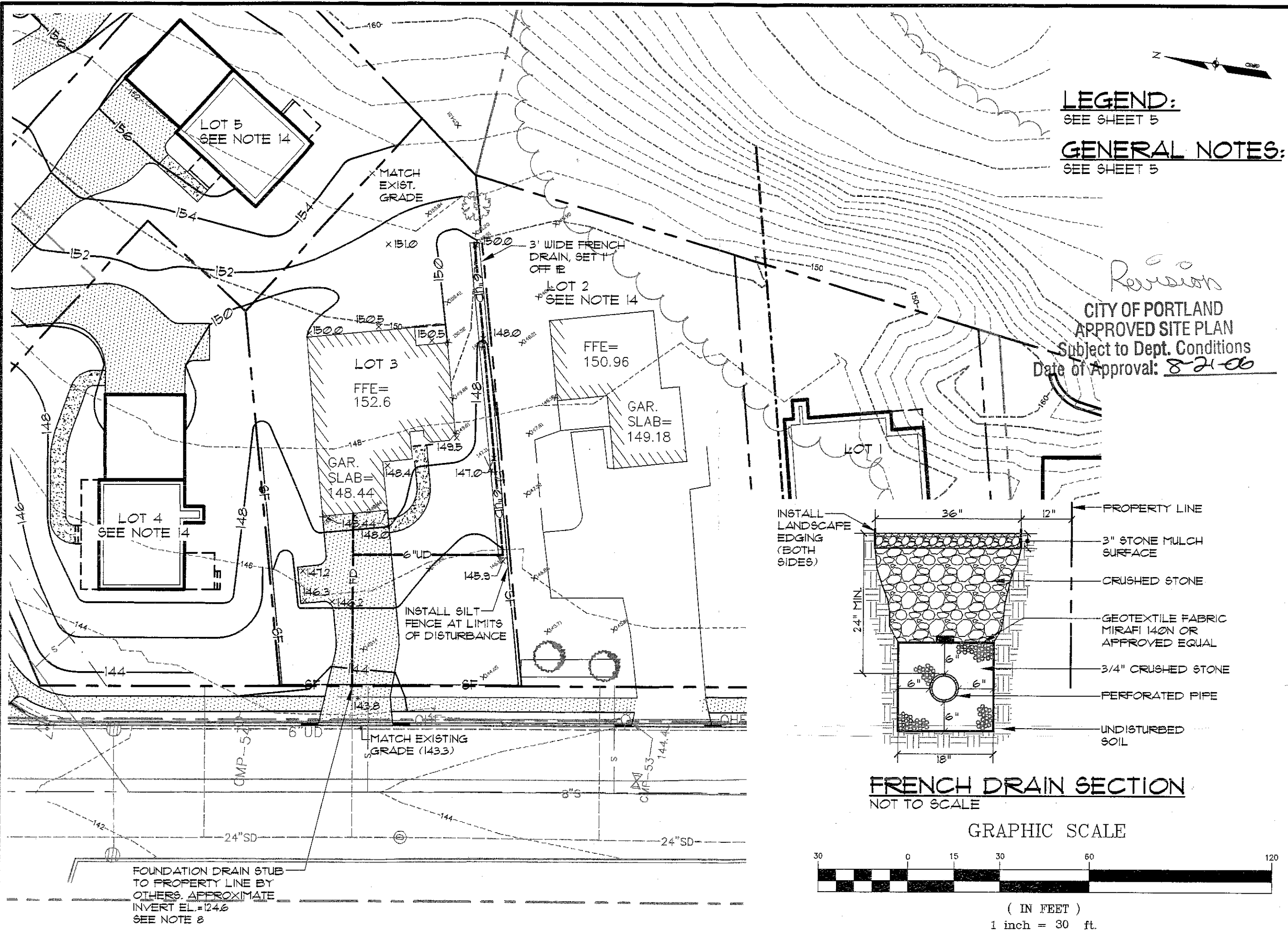
(IN FEET)
 1 inch = 30 ft.

FOUNDATION DRAIN STUB
 TO PROPERTY LINE BY
 OTHERS. APPROXIMATE
 INVERT EL. 94.6
 SEE NOTE 8

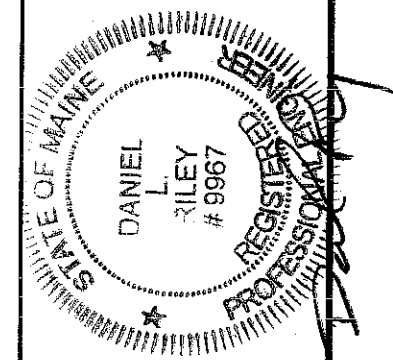
SITE PLAN
 OF: **LOT 3 AUBURN ESTATES**
 LONGVIEW DRIVE
 PORTLAND, MAINE
 FOR: **BRUSH AND HAMMER INC.**
 110 LESTER DRIVE
 PORTLAND, MAINE 04103

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	8-16-06
SCALE:	1"=30'
FIELD BK:	778
PROJ. NO:	06170
DRAWING:	06170G

SHEET 1 OF 5

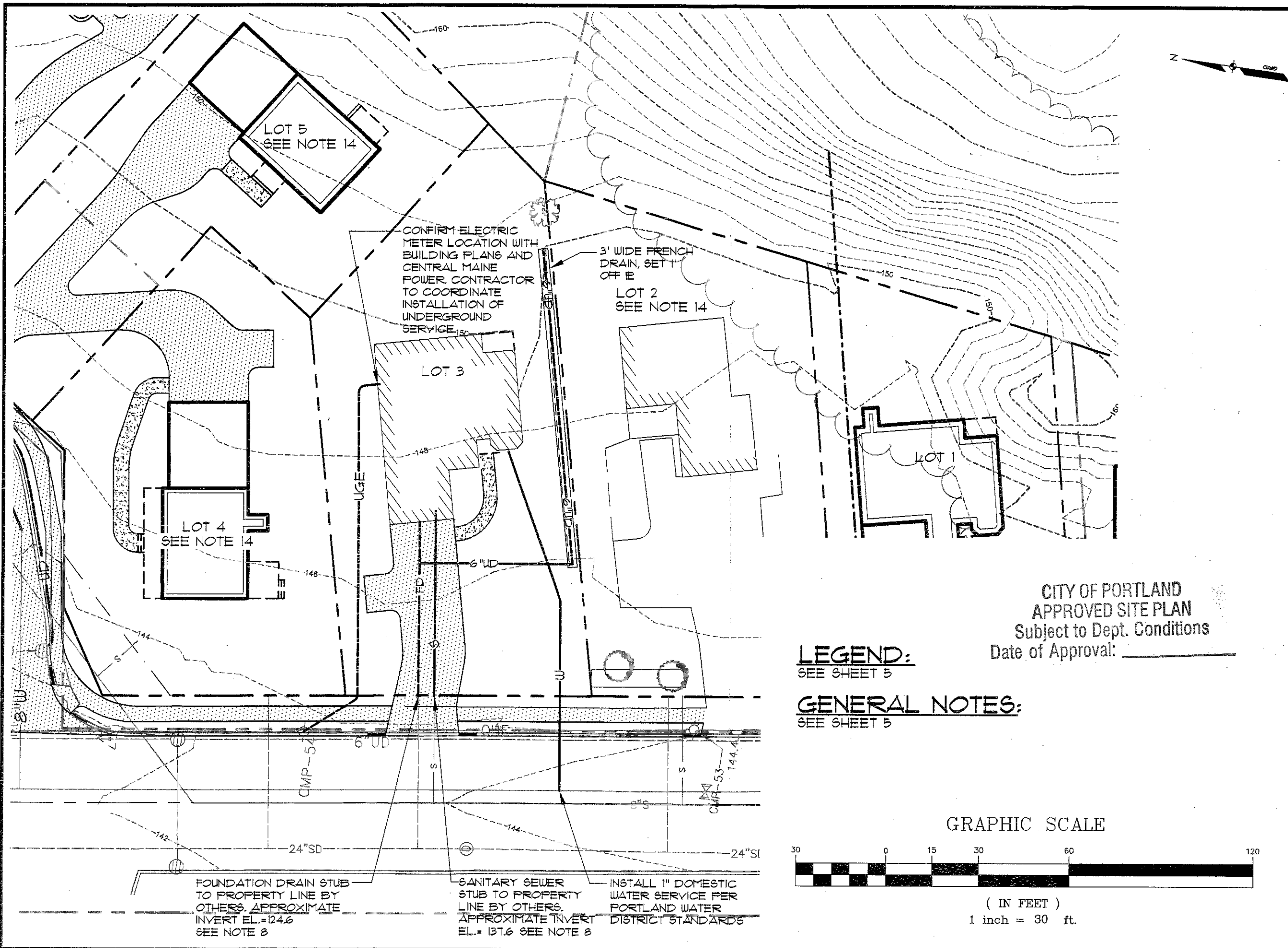


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Westbrook, Me 04098-1339
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GRADING PLAN
OF:
LOT 3 AUBURN ESTATES
LONGVIEW DRIVE
PORTLAND, MAINE
FOR:
BRUSH AND HAMMER INC.
110 LESTER DRIVE
PORTLAND, MAINE 04103

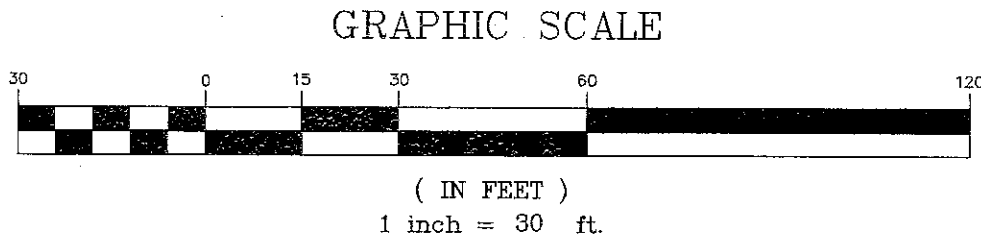
DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	8-16-06
SCALE:	1"=30'
FIELD BK:	778
PROJ. NO.:	06170
DRAWING:	06170G



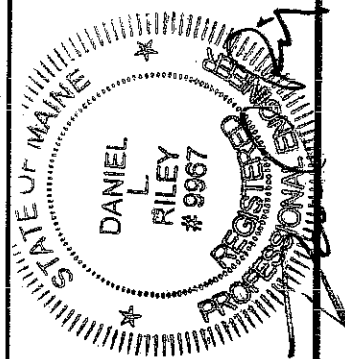
CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: _____

LEGEND:
SEE SHEET 5

GENERAL NOTES:
SEE SHEET 5



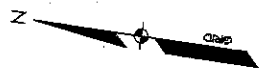
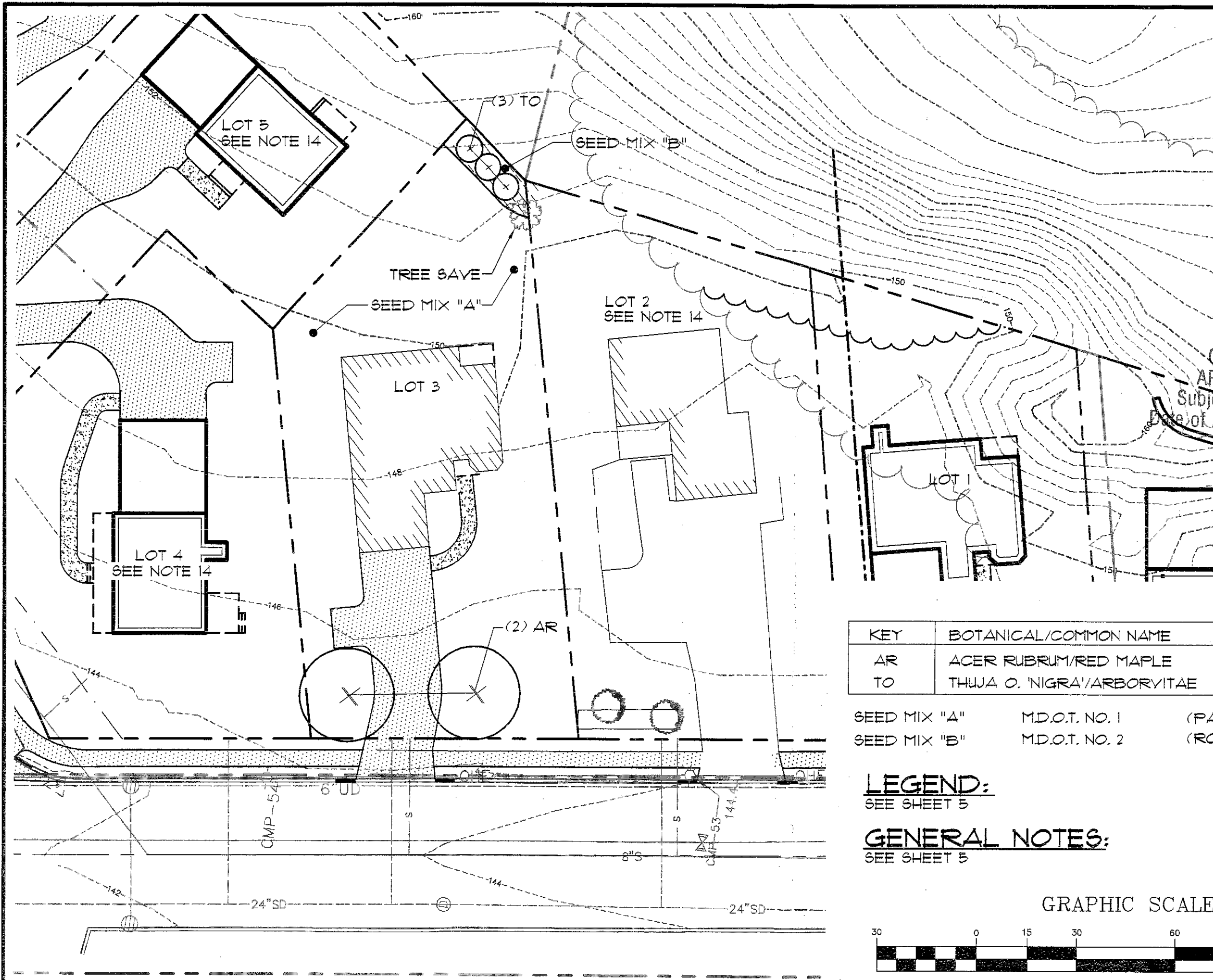
Sebago Technics
Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277



UTILITY PLAN
OF: **LOT 3 AUBURN ESTATES**
LONGVIEW DRIVE
PORTLAND, MAINE
FOR: **BRUSH AND HAMMER INC.**
110 LESTER DRIVE
PORTLAND, MAINE 04103

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	8-16-06
SCALE:	1"=30'
FIELD BK:	778
PROJ. NO:	06170
DRAWING:	06170G

SHEET 3 OF 5



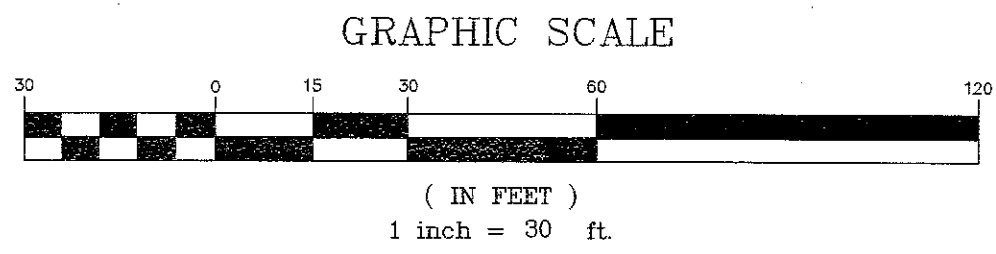
CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: _____

KEY	BOTANICAL/COMMON NAME	SIZE/REMARKS
AR	ACER RUBRUM/RED MAPLE	3" CAL.
TO	THUJA O. 'NIGRA'/ARBORVITAE	6 FT.

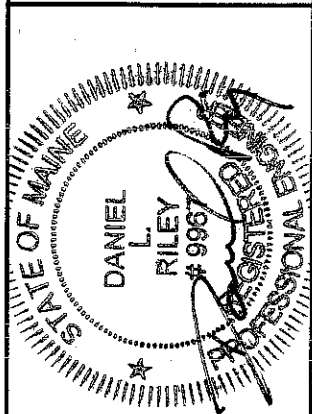
SEED MIX "A" M.D.O.T. NO. 1 (PARK MIXTURE)
 SEED MIX "B" M.D.O.T. NO. 2 (ROADSIDE MIXTURE NO. 2)

LEGEND:
 SEE SHEET 5

GENERAL NOTES:
 SEE SHEET 5



Sebago Technics
 Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, Me 04098-1339
 Tel (207) 856-0277



LANDSCAPE PLAN
 OF:
LOT 3 AUBURN ESTATES
 LONGVIEW DRIVE
 PORTLAND, MAINE
 FOR:
BRUSH AND HAMMER INC.
 110 LESTER DRIVE
 PORTLAND, MAINE 04103

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	8-16-06
SCALE:	1" = 30'
FIELD BK:	778
PROJ. NO:	06170
DRAWING:	06170G

GENERAL NOTES

1. APPLICANT: BRUSH AND HAMMER INC.
110 LESTER DRIVE
PORTLAND, ME 04103
2. THE PROPERTY IS SHOWN AS LOT 3 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
3. TOTAL AREA OF PARCEL: 12,791 SQUARE FEET (0.29 ACRES).
4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929). VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAYEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.
6. PLAN REFERENCES:
 - A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.

7. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 ZONE. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

	<u>R-2 ZONE</u>
MIN. LOT SIZE	10,000 SF.
MIN. AREA PER DWELLING UNIT	10,000 SF.
MIN. STREET FRONTAGE	50 FT.
MIN. FRONT YARD SETBACK	25 FT.
MIN. REAR YARD SETBACK	25 FT.
MIN. SIDE YARD SETBACK	
1 STORY	12 FT.
1½ STORY	12 FT.
2 STORY	14 FT.
2½ STORY	16 FT.
MIN. SIDE YARD SETBACK ON SIDE STREET	20 FT.
MAX. LOT COVERAGE (BLDG. FOOTPRINT)	20%
MIN. LOT WIDTH	30 FT.
MAX. BLDG. HEIGHT (PRINCIPAL)	35 FT.
MAX. BLDG. HEIGHT (DETACHED ACCESSORY)	18 FT.

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET.

8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE AND AUBURN STREET ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6A. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.

9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.

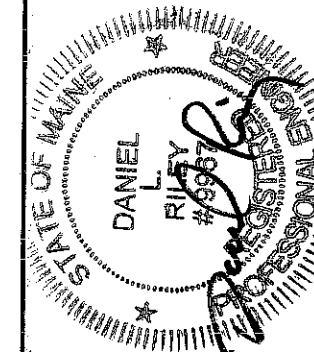
10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.
12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HERON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.
13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
14. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 5 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 5 AUBURN ESTATES" FOR LARRY STURDIVANT BY SEBAGO TECHNICS, INC. DATED MARCH 9, 2005. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 2 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 2 AUBURN ESTATES" FOR SHARON PELLETIER BY SEBAGO TECHNICS, INC. DATED APRIL 7, 2005. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 4 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 4 AUBURN ESTATES" FOR RICK OBER BY SEBAGO TECHNICS, INC. DATED APRIL 21, 2005.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
	BUILDING	
—	SIGN	—
—	EDGE PAVEMENT	—
---	GRAVEL ROAD	---
---	CURBLINE	---
~~~~~	TREELINE	~~~~~
---124---	CONTOURS	---124---
—W—	WATER	—W—
—S—	SEWER	—S—
—SD—	STORM DRAIN	—SD—
—UD—	FOOTING DRAIN	—FD—
—UGE—	UNDERDRAIN	—UGE—
—	UNDERGROUND ELEC. & TEL.	—UGE & T—
⊗	GATE VALVE	
⊙	LIGHT POLE	
⊕	HYDRANT	
⊙	MANHOLE	
30.20	SPOT GRADE	x 30.20
⊙	DECIDUOUS TREE	⊙
⊙	CONIFEROUS TREE	⊙
====	ZONE LINE	

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: _____



NOTES OF:  
**LOT 3 AUBURN ESTATES**  
AUBURN STREET/LONGVIEW DRIVE  
PORTLAND, MAINE  
FOR:  
**BRUSH AND HAMMER INC.**  
110 LESTER DRIVE  
PORTLAND, MAINE 04103

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	8-16-06
SCALE:	
FIELD BK:	778
PROJ. NO:	06170
DRAWING:	06170G

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Westbrook, Me 04098-1339  
Tel (207) 856-0277