

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

Permit Number: 060703

This is to certify that Breggia, Leisa A. & Fenlason John/Brush & Hammer Inc/ P Req
has permission to build a one story, single family home w/ car gar

AT 555 AUBURN ST Lot#3

382A D023001

PERMIT ISSUED
AUG - 4 2006
CITY OF PORTLAND

provided that the person or persons firm or person accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is loaded or enclosed-in 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

Department Name _____

[Signature]
8/3/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

389 Congress Street. 04101 Tel: (207) 874-8703. Fax: (207) 874-8716

Permit 06-0703	Issue Date:	CBL: 382A D023001
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Location of Construction: 555 AUBURN ST Lot#3	Owner Name: Breggia, Leisa A. & Fenlason, John	Owner Address: 22 Racine Avenue	Phone: 2078972586
Business Name:	Contractor Name: Brush & Hammer Inc/ Phil Reauia	Contractor Address: 110 Lester Drive Portland	Phone: 2078972586
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R3
Past Use: Vacant Land	Proposed Use: Single Family Home/ build a one story, single family home w/ 2 car garage	Permit Fee: \$996.00	Cost of Work: \$100,000.00
		FIRE DEPT: Approved Denied	INSPECTION: Use Group <i>R-3</i> Type <i>IRC 2003</i> Signature: <i>[Signature]</i>
		CITY OF PORTLAND	
		EDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	
		Signature: _____ Date: _____	

Permit Taken By: ldobson	Date Applied For: 0511 112006	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <i>NIA</i> <input type="checkbox"/> Wetland <i>NIA</i> <input type="checkbox"/> Flood Zone <i>Panel 2 - Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>moment 2006 - 0288</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ conditions</i> Date: <i>5/26/06</i> <i>ten</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> late.

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

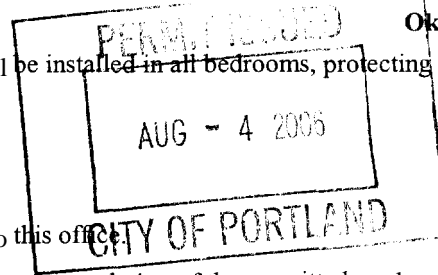
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0703	Date Applied For: 0511 112006	CBL: 382A D023001
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Location of Construction: 555 AUBURN ST Lot#3	Owner Name: Breggia, Leisa A. & Fenlason, John	Owner Address: 22 Racine Avenue	Phone:
Business Name:	Contractor Name: Brush & Hammer Incl Phil Requia	Contractor Address: 110 Lester Drive Portland	Phone (207) 807-2586
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	
Proposed Use: Single Family Home/ build a one story, single family home w/ 2 car		Proposed Project Description: build a one story, single family home w/ 2 car garage	

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 0810312006**Note:****Ok to Issue:**

- 1) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 2) As discussed, the U-value of the windows shall be 0.35 or lower.
- 3) The basement is NOT approved as habitable space.
- 4) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 5) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 6) Separate permits are required for any electrical, plumbing, or heating.
- 7) The attic scuttle opening must be 22" x 30".

**Dept:** DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 0610512006**Note:****Ok to Issue:**

- 1) FINAL GRADING SHALL BE DONE SO THAT DRAINAGE IS DIRECTED TOWARD AUBURN STREET.
- 2) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 3) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext .8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 5) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 6) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Dept: Planning **Status:** Not Applicable **Reviewer:** Jay Reynolds **Approval Date:** 06/05/2006**Note:****Ok to Issue:**

Location of Construction: 555 AUBURN ST Lot#3	Owner Name: Breggia, Leisa A. & Fenlason, John	Owner Address: 22 Racine Avenue	Phone:
Business Name:	Contractor Name: Brush & Hammer Inc/ Phil Requia	Contractor Address: 110 Lester Drive Portland	Phone (207) 807-2586
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

39 Auburn 382A-D-23
 \$060702 Ph. 1 807-2586
 555 Auburn St

UNE AUND IWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)	Submitted Plan	Findings
Component	Submitted Plan	Revisions
STRUCTURAL	Submitted Plan	Date
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	8' 8"x24"	Need fabric - ① Heavy nylon wrapped pipe ② Asphalt cement seal
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	4" drain/stain/damp proof	Need fabric - ① Heavy nylon wrapped pipe ② Asphalt cement seal
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	Need 4" post walls for garage
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2"x10" 2" oc - OK	Foundation
Lally Column Type (Section R407)	Lally Pins	Foundation
Girder & Header Spans (Table R 502.5(2))	9'4" Floor	Foundation
Built-Up Wood Center Girder Dimension/Type	2x6 PT	✓
Sill/Band Joist Type & Dimensions	2x6 PT	✓
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x12's - 16" oc	✓
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	N/A	✓
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Trusses?	Engineered trusses by wood structures - See on file with them ✓

1

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1 (8))			
Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)			
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	1/2, 1/2"		3/4" x 6" - 7/16 OSB - 5/8 CBX ✓
Fastener Schedule (Table R602.3(1) & (2))	CRB		
Private Garage (Section R309)			
Living Space? (Above or beside)			
Fire separation (Section R309.2)	5/8" house wall		5/8 Fire rated ✓
Opening Protection (Section R309.1)	NOT SHOWS		2 hr steel fire rated ✓
Emergency Escape and Rescue Openings (Section R310)	1 Egress per bedroom	6040	1 ea 6040 in all bedrooms ✓
Roof Covering (Chapter 9)	Asph/Flt?		
Safety Glazing (Section R308)	Used in shower if glass block is not used.		OK (using block) ✓
Attic Access (Section R807)	CONDITION - 22' x 30"	NOT SHOWS	16" x 20" scuttle hole ✓
Chimney Clearances/Fire Blocking (Chap. 10)	N/A		
Header Schedule (Section 502.5(1) & (2))	2-2x10		
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-38 Ceiling R-21 walls	R-25 Floors	EITHER Anderson windows OR American Craftsmans ✓

U-Value of windows

Condition with U value of .5 or better

or better

Type of Heating System

~~Means of Egress~~ (Sec R311 & R312)

Basement

Number of Stairways

Interior

Exterior

Trads and Risers
(Section R311.5.3)

Width (Section R311.5.1)

Headroom (Section R311.5.2)

Guardrails and Handrails
(Section R312 & R311.5.6 - R311.5.6.3)

Smoke Detectors (Section R313)

Location and type/Interconnected

Draftstopping (Section R502.12) and
Fireblocking (Section (R602.8)

Dwelling Unit Separation (Section R317) and
IBC - 2003 (Section 1207)

Deck Construction (Section R502.2.1)

Not shown on floor plan -
location? OK

9" x 8" Rise - Doesn't meet code
on plan - OK

Not shown - OK

mezz level OK

OK

N/A

Front & Rear decks / porches

NO decks -
Front = 1 concrete step
Rear = ground level
concrete pad

NO framing details.

Roof beam on covered
Deck is not above crawls.

3 - 2x10 header
OK

555 ~~606-0703~~ Auburn

#06-0703

Ph. 1 807-2586

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)	Submitted Plan	Findings
Component		Revisions
		Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1)), (Section R403.1 & R403.1.4.1)	8' 8"x24"	Need fabric
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	4" drain/stave/damp proof	Need 4 rows wall
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	for gary foundation
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2"x10" @ 24" oc OK	
Lally Column Type (Section R407)	Lally Beams	
Girder & Header Spans (Table R 502.5(2))	9'4" Floor	
Built-Up Wood Center Girder		
Dimension/Type	2x6 PT	
Sill/Band Joist Type & Dimensions		
First Floor Joist Species		
Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x12's - 16" oc	
Second Floor Joist Species		
Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	N/A	
Attic or additional Floor Joist Species		
Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Trusses?	

1

06-0703

<p>2 Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1) Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))</p>	<p>1/2, 1/2"</p>	
<p>Fastener Schedule (Table R602.3(1) & (2)) Private Garage (Section R309) Living Space? (Above or beside)</p>	<p>CRB</p>	
<p>Fire separation (Section R309.2)</p>	<p>5/8" house wall</p>	
<p>3 Opening Protection (Section R309.1) Emergency Escape and Rescue Openings (Section R310)</p>	<p>NOT shown 1 Egress per bedroom</p>	
<p>4 Roof Covering (Chapter 9)</p>	<p>Asphalt?</p>	
<p>5 Safety Glazing (Section R308)</p>	<p>Used in shower if glass block is not used.</p>	
<p>6 Attic Access (Section R807)</p>	<p>NOT shown</p>	
<p>Chimney Clearances/Fire Blocking (Chap. 10)</p>	<p>N/A</p>	
<p>Header Schedule (Section 502.5(1) & (2))</p>	<p>2-2x10</p>	
<p>Energy Efficiency (NI101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration</p>	<p>R-38 Ceiling R-21 walls</p>	<p>R-25 Floors</p>

7 U-Value of windows

06-0703

	Basement	Code (Sec R311 & R312)	
	Number of Stairways		Not shown on floor plan - location?
	Interior		
	Exterior		
	Stairways and Risers (Section R311.5.3)	9" T + 8" Rise - Doesn't meet code	
	Width (Section R311.5.1)	36" +	
	Headroom (Section R311.5.2)	Not shown	
	Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	Not shown	
	Smoke Detectors (Section R313)		
	Location and type/Interconnected		
	Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	OK	
	Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	
	Deck Construction (Section R502.2.1)	Front & rear decks/porches -	

Roof beam on curved partition is not large enough.

NO framing details.

Applicant: John Fenlason
 Luca Brassini

Date: 5/26/06

Address: 555 Arburn St. (Lot 3 Arburn Estates)

C-B-L: 3824-D-023
permit # 06-0703

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-2

Interior or corner lot -

Proposed Use/Work - build new single family home - one story w/ attached garage.

Sewage Disposal - City

Lot Street Frontage - 50' min. - 80.36 given

Front Yard - 25' min. - 59' (to garage) scaled

Rear Yard - 25' min. - 28.5' scaled

Side Yard - 1 story 12' min. - right - 13.5
 2 story 14' min. - left - 19.5 (13.5 to bulkhead)

Projections - patio 10.5 x 6, bulkhead 6 x 6, front step entry. $5 \times 6.5, 4.5 \times 4, \frac{1}{2}(2 \times 2) =$
 $32.5 + 18 + 2 = 52.5$

Width of Lot - 80' min. - 80' scaled.

Height - 35' max. - 14.5' scaled.

Lot Area - 10,000 sq ft min. - 12,791 sq ft

Lot Coverage Impervious Surface - 20% 2558.2 sq ft

Area per Family - 10,000 sq ft

Off-street Parking - 2 spaces required - 2 car garage

Loading Bays - NA

Site Plan - minor/minor 2006-0088

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 2 - zone X

* no daylight basement

garage 21 x 23 = 483
house 46 x 32 = 1380
35.5 x 6 = 213
10 x 11 = 110
10.5 x 4 = 42
2 x 6.5 = 13
2 x 2 = 4
4.5 x 2 = 9
10.5 x 6 = 63
6 x 6 = 36

OK.

52.5
2405.5



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

555 Auburn St.

Location/Address of Construction: <u>Lot # 3, Auburn Estates, Auburn Street</u>		
Total Square Footage of Proposed Structure <u>1,592 s/f structure</u>	Square Footage of Lot <u>12,791 s/f</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>382A</u> Block# <u>D23</u> Lot# <u></u>	Owner: <u>John Fenlason / Leisa Breggia</u> <u>76 Methodist Rd</u> <u>Cumberland, Me</u>	Telephone: <u>878-8582</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Phil Reguia</u> <u>Brush & Hammer Inc.</u>	Cost Of Work: \$ <u>100,000</u> Fee: \$ <u>1296.00</u> ⁹²¹ ₃₀₀ ₇₅ C of O Fee: \$ <u>75</u>
Current Specific use: <u>VACANT Building Lot - Part of Subdivision</u> If vacant, what was the previous use? <u>Same</u> Proposed Specific use: <u>Single story, single family residence</u> Project description: <u>46' x 55' single story, single family residence</u> <u>3 bedrooms. 2 bath. 2 car attached garage.</u>		
Contractor's name, address & telephone: <u>Brush & Hammer Inc. Phil H. Reguia</u>		
Who should we contact when the permit is ready: <u>Phil Reguia</u> Mailing address: <u>Phil Reguia</u> <u>110 Lester DR.</u> <u>PORT. ME. 04103</u> Phone: <u>807-2586</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>5-10-06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

From: Jay Reynolds
To: Single Family Signoff
Date: 6/5/2006 2:08:38 PM
Subject: 555 Auburn Street

Approvals with conditions have been entered in urban insight for this application.

Jay Reynolds
Development Review Coordinator
City of Portland Planning Division
(207) 874-8632
jayjr@portlandmaine.gov

WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS, that NIAL CONSTRUCTION, INC., a Massachusetts corporation with a place of business at 191 State Road, #2, Kittery, Maine, for consideration paid grants to LEISA A. BREGGIA and JOHN A. FENLASON, of 22 Racine Avenue, Portland, Maine 04103 with WARRANTY COVENANTS, and *as joint tenants*, the premises in the City of Portland, County of Cumberland and State of Maine, being more particularly described in Exhibit A attached hereto and made a part hereof.

IN WITNESS WHEREOF, the said NIAL CONSTRUCTION, INC. has caused this instrument to be signed in its corporate name by David A. Sullivan, its President thereunto duly authorized this 4th day of April, 2006.

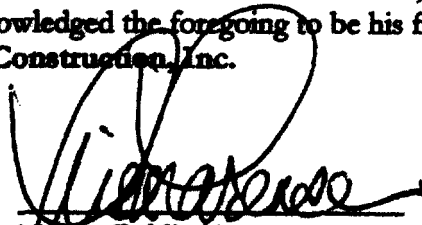


NIAL CONSTRUCTION, INC.
By David A. Sullivan
Its President

Witness

State of MAINE
County of CUMBERLAND

On April _____, 2006, personally appeared the above-named David A. Sullivan, President of said Nial Construction, Inc. and acknowledged the foregoing to be his free act and deed and the free act and deed of said Nial Construction, Inc.



Notary Public/Attorney

Name:

LISA L. LARSEN
NOTARY PUBLIC - MAINE
MY COMMISSION EXPIRES 4/18/2009

EXHIBIT A

A certain lot or parcel of land situated on the easterly side of Auburn Street in the City of Portland, County of Cumberland and State of Maine as shown on a plan entitled "Subdivision Plan of Auburn Estates for Nial Construction" by Sebago Technics, Inc., dated March 4, 2004 and revised July 22, 2004 recorded at the Cumberland County Registry of Deeds in Plan Book 204, Page 665, being further bounded and described as follows:

Beginning at a 5/8 inch capped rebar at the northerly corner of land now or formerly of Stephen J. and Karole L. Malenfant as described in a deed recorded at the Cumberland County Registry of Deeds in Book 11376, Page 122;

Thence S 76°-27'-02" W, by and along Lot Two as shown on said plan, a distance of 168.42 feet to a 5/8 inch iron rebar to be set at the easterly side of Auburn Street;

Thence N 08°-06'-46" W, by and along Auburn Street, a distance of 80.36 feet to a 5/8 inch iron rebar to be set at the southwesterly corner of Lot Four as shown on said plan;

Thence N 76°-27'-02" E, by and along Lot Four as shown on said plan, a distance of 123.68 feet to a 5/8 inch iron rebar to be set at a corner of Lot Five as shown;

Thence S 55°-28'-34" E, by and along Lot Five as shown on said plan, a distance of 85.71 feet to a 5/8 inch iron rebar to be set in the northwesterly sideline of land now or formerly of Mark J. Scanlon and George O. Blomquist as described in a deed recorded at the Cumberland County Registry of Deeds in Book 16499, Page 212;

Thence S 37°-35'-43" W, by and along said land of Scanlon and Blomquist, a distance of 25.87 feet to the point of beginning.

Meaning and intending to convey all of Lot #3 containing approximately 12,791 square feet as shown on said plan.

Bearings are based on grid north.

The premises are conveyed subject to a Declaration of Covenants, Common Easements and Restrictions for Nial Construction, Inc., dated September 15, 2004 and recorded in Book 21789, Page 271.

Meaning and intending to convey a portion of the premises described in a deed from Louise M. Woodbury to the Grantor herein, recorded in Book 20825, Page 249.

STANDARD CONSTRUCTION NOTES

General-

- 1. All construction, painting, electrical and mechanical will comply with the CADD One and the framing, finishing, code and state, county and municipal codes. Referenced codes shall apply with all amendments, conditions and restrictions.
- 2. General contractor and all subcontractors will review plans for accuracy and report of construction shall be submitted to the architect in accordance with the contract documents.
- 3. All trades to be protected from damage of construction process and means unless approved by owner.
- 4. Concrete-
 - a) Concrete shall be 5,000 psi, unless otherwise specified with a minimum compressive strength of 3,000 psi for all concrete.
 - b) All concrete shall be placed in one continuous pour.
 - c) All concrete shall be placed in one continuous pour.
 - d) All concrete shall be placed in one continuous pour.
- 5. All trades to be protected from damage of construction process and means unless approved by owner.

Concrete-

- 1. Concrete shall be 5,000 psi, unless otherwise specified with a minimum compressive strength of 3,000 psi for all concrete.
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- 15. All concrete shall be placed in one continuous pour.
- 16. All concrete shall be placed in one continuous pour.
- 17. All concrete shall be placed in one continuous pour.
- 18. All concrete shall be placed in one continuous pour.
- 19. All concrete shall be placed in one continuous pour.
- 20. All concrete shall be placed in one continuous pour.

Fronting-

- 1. All framing to be 2x4 girders, metal girders and beam caps to be 2x4 girders.
- 2. All framing connections to be Simpson Connectors, or approved equivalent Simpson Connectors.
- 3. All framing to be 2x4 girders, metal girders and beam caps to be 2x4 girders.
- 4. All framing to be 2x4 girders, metal girders and beam caps to be 2x4 girders.
- 5. All framing to be 2x4 girders, metal girders and beam caps to be 2x4 girders.
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- 17. All framing to be 2x4 girders, metal girders and beam caps to be 2x4 girders.
- 18. All framing to be 2x4 girders, metal girders and beam caps to be 2x4 girders.
- 19. All framing to be 2x4 girders, metal girders and beam caps to be 2x4 girders.
- 20. All framing to be 2x4 girders, metal girders and beam caps to be 2x4 girders.

Hosopy-

- 1. Fire damper required except for gas fireplaces.
- 2. Fire damper required except for gas fireplaces.
- 3. Fire damper required except for gas fireplaces.
- 4. Fire damper required except for gas fireplaces.
- 5. Fire damper required except for gas fireplaces.
- 6. Fire damper required except for gas fireplaces.
- 7. Fire damper required except for gas fireplaces.
- 8. Fire damper required except for gas fireplaces.
- 9. Fire damper required except for gas fireplaces.
- 10. Fire damper required except for gas fireplaces.
- 11. Fire damper required except for gas fireplaces.
- 12. Fire damper required except for gas fireplaces.
- 13. Fire damper required except for gas fireplaces.
- 14. Fire damper required except for gas fireplaces.
- 15. Fire damper required except for gas fireplaces.
- 16. Fire damper required except for gas fireplaces.
- 17. Fire damper required except for gas fireplaces.
- 18. Fire damper required except for gas fireplaces.
- 19. Fire damper required except for gas fireplaces.
- 20. Fire damper required except for gas fireplaces.

Thermal Protection-

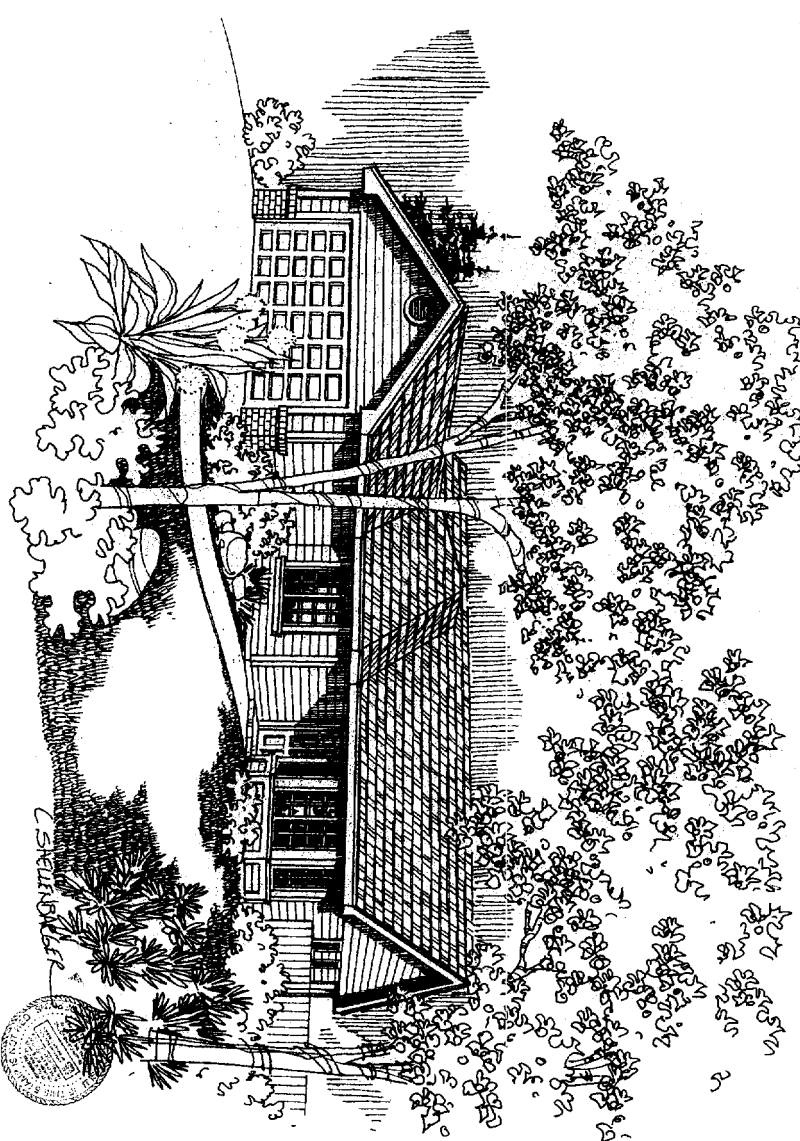
- 1. Insulation required on all exterior walls.
- 2. Insulation required on all exterior walls.
- 3. Insulation required on all exterior walls.
- 4. Insulation required on all exterior walls.
- 5. Insulation required on all exterior walls.
- 6. Insulation required on all exterior walls.
- 7. Insulation required on all exterior walls.
- 8. Insulation required on all exterior walls.
- 9. Insulation required on all exterior walls.
- 10. Insulation required on all exterior walls.
- 11. Insulation required on all exterior walls.
- 12. Insulation required on all exterior walls.
- 13. Insulation required on all exterior walls.
- 14. Insulation required on all exterior walls.
- 15. Insulation required on all exterior walls.
- 16. Insulation required on all exterior walls.
- 17. Insulation required on all exterior walls.
- 18. Insulation required on all exterior walls.
- 19. Insulation required on all exterior walls.
- 20. Insulation required on all exterior walls.

Painting-

- 1. Paint to be identified by owner. Color to be white unless specified.
- 2. Paint to be identified by owner. Color to be white unless specified.
- 3. Paint to be identified by owner. Color to be white unless specified.
- 4. Paint to be identified by owner. Color to be white unless specified.
- 5. Paint to be identified by owner. Color to be white unless specified.
- 6. Paint to be identified by owner. Color to be white unless specified.
- 7. Paint to be identified by owner. Color to be white unless specified.
- 8. Paint to be identified by owner. Color to be white unless specified.
- 9. Paint to be identified by owner. Color to be white unless specified.
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- 11. Paint to be identified by owner. Color to be white unless specified.
- 12. Paint to be identified by owner. Color to be white unless specified.
- 13. Paint to be identified by owner. Color to be white unless specified.
- 14. Paint to be identified by owner. Color to be white unless specified.
- 15. Paint to be identified by owner. Color to be white unless specified.
- 16. Paint to be identified by owner. Color to be white unless specified.
- 17. Paint to be identified by owner. Color to be white unless specified.
- 18. Paint to be identified by owner. Color to be white unless specified.
- 19. Paint to be identified by owner. Color to be white unless specified.
- 20. Paint to be identified by owner. Color to be white unless specified.

Finish-

- 1. All finishes to be identified by owner. Including concrete, doors and trim.
- 2. All finishes to be identified by owner. Including concrete, doors and trim.
- 3. All finishes to be identified by owner. Including concrete, doors and trim.
- 4. All finishes to be identified by owner. Including concrete, doors and trim.
- 5. All finishes to be identified by owner. Including concrete, doors and trim.
- 6. All finishes to be identified by owner. Including concrete, doors and trim.
- 7. All finishes to be identified by owner. Including concrete, doors and trim.
- 8. All finishes to be identified by owner. Including concrete, doors and trim.
- 9. All finishes to be identified by owner. Including concrete, doors and trim.
- 10. All finishes to be identified by owner. Including concrete, doors and trim.
- 11. All finishes to be identified by owner. Including concrete, doors and trim.
- 12. All finishes to be identified by owner. Including concrete, doors and trim.
- 13. All finishes to be identified by owner. Including concrete, doors and trim.
- 14. All finishes to be identified by owner. Including concrete, doors and trim.
- 15. All finishes to be identified by owner. Including concrete, doors and trim.
- 16. All finishes to be identified by owner. Including concrete, doors and trim.
- 17. All finishes to be identified by owner. Including concrete, doors and trim.
- 18. All finishes to be identified by owner. Including concrete, doors and trim.
- 19. All finishes to be identified by owner. Including concrete, doors and trim.
- 20. All finishes to be identified by owner. Including concrete, doors and trim.



EMORY

10000 SERIES

TITLE: ARTIST'S RENDERING & STANDARD CONSTRUCTION NOTES
 DATE: 03/02/01 SCALE: NOTED DRAWN CHECK BY: LS
 PROJECT: 30-31

ASSOCIATED DESIGNS, INC.
 400 ACRES DRIVE
 BAYVIEW, MI 48104
 TEL: 313-481-2000
 FAX: 313-481-2424
 WWW.ASSOCIATEDDESIGNS.COM

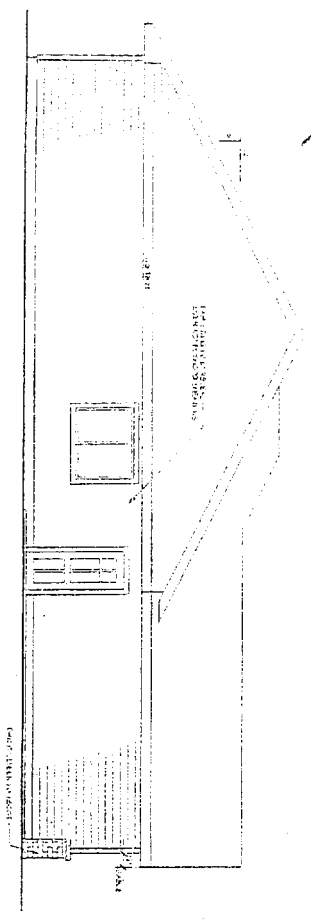
PROJECT: 30-31
 SHEET: 7 OF 7

PROJECT: 30-31
 SHEET: 7 OF 7

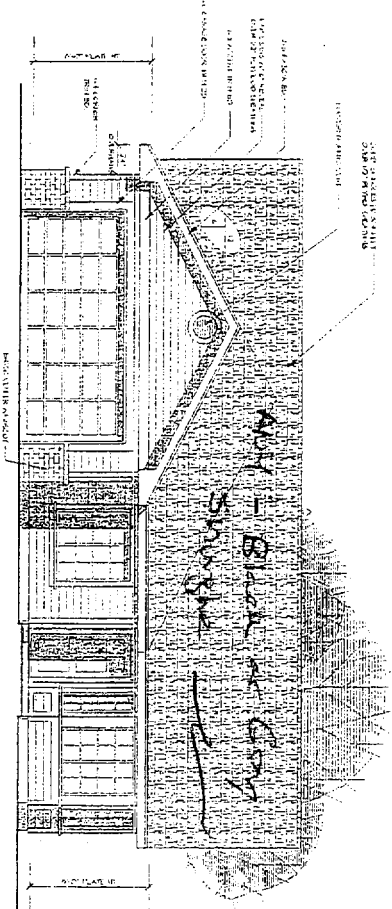
PROJECT: 30-31
 SHEET: 7 OF 7

Handwritten notes:
 1.5" x 3" x 1/2" Shutter
 1/2" x 3" x 1/2" Shutter
 1/2" x 3" x 1/2" Shutter

Handwritten notes:
 NICOLE WITH GRAY/WHITE SHUTTERS TOXED GRAY
 HAND-PAINTED GRAY/WHITE SHUTTERS TOXED GRAY

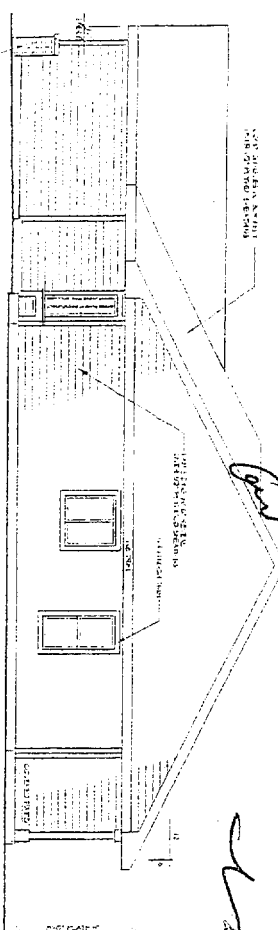


LEFT ELEVATION

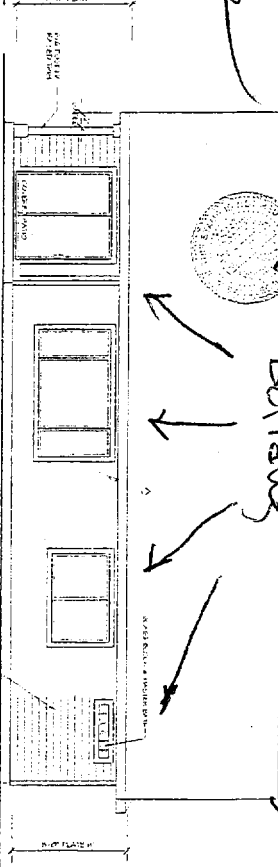


FRONT ELEVATION

Handwritten notes:
 Typical - Crown molding over all Doors & Windows (with Shutters).
 3 1/2\"/>



RIGHT ELEVATION



REAR ELEVATION

Handwritten notes:
 ANY Windows with out Shutters must have 3 1/2\"/>

Handwritten notes:
 5.10 Grad

DATE	30-31-19
REVISED	2
BY	2

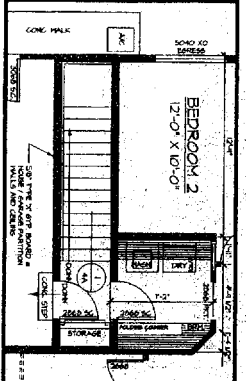
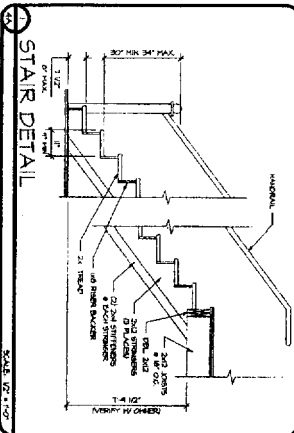
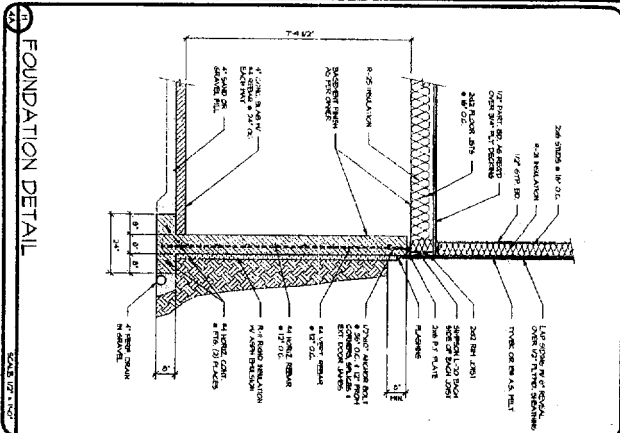
EMORY

ASSOCIATED DESIGN, INC.
 1502 JEFFERSON
 SUITE 100
 ATLANTA, GA 30309
 TEL: 404.525.1100
 FAX: 404.525.1101
 WWW.ASSOCIATEDDESIGN.COM

DESIGNS

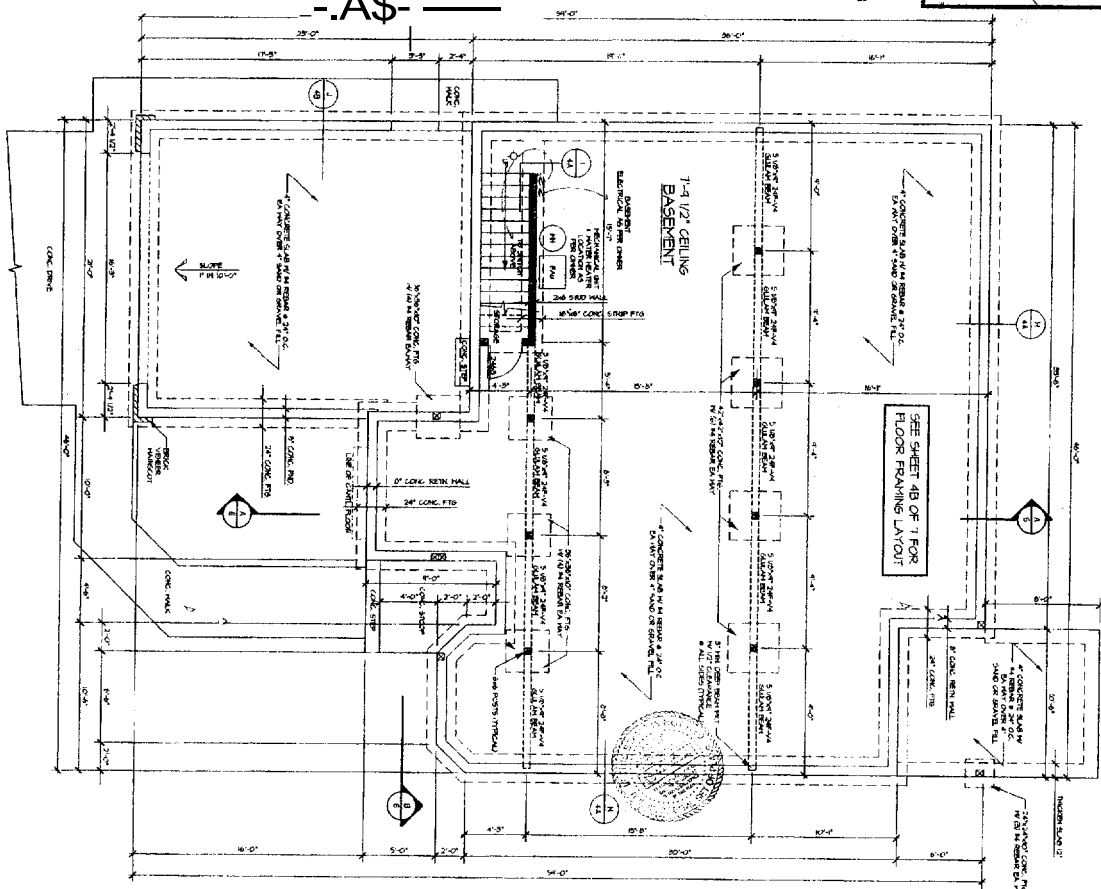
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 DATE: 30-31-19
 SCALE: 1/8\"/>

EMORY



- NOTES:
- USE METAL BRACKETS AT ALL POINTS TO SUPPORT CONNECTIONS.
 - ALL MATERIALS TO BE IN COMPLIANCE WITH CALIF. TITLE 24, PART 19, CHAPTER 1, DIVISION 10, SECTION 1001.2.1.
 - LOCAL PROFESSIONAL TO VERIFY STRUCTURAL MEMBERS CAPACITY LOCATION PRIOR TO CONSTRUCTION.

ALTERNATE
BASEMENT FOUNDATION PLAN



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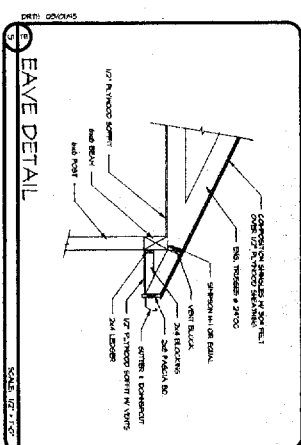
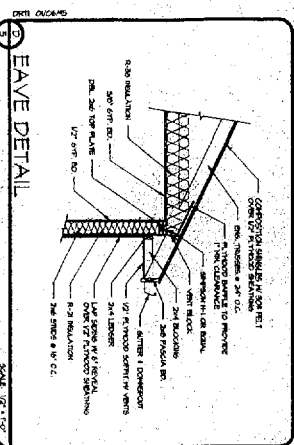
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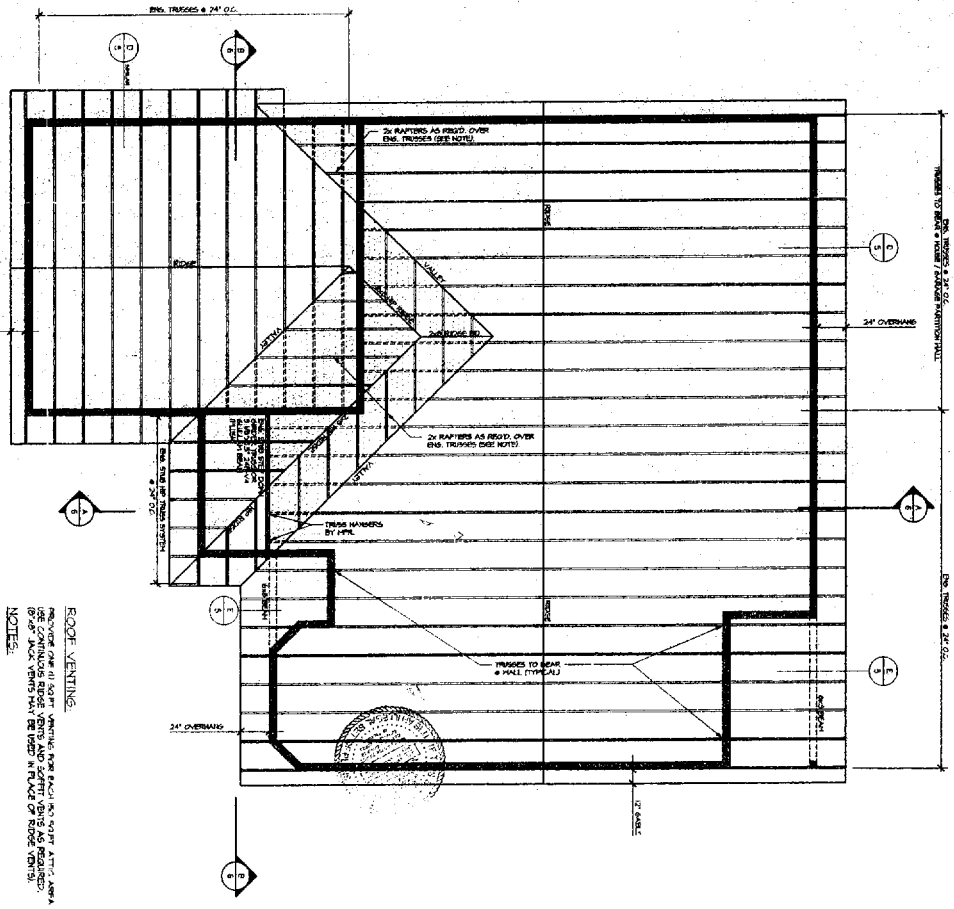
30-314

30-314



OVERLAYING:
 PROVIDE SLOPE TO DRAINAGE AT ALL ROOF EDGES. PROVIDE 1/2\"/>

ROOF FRAMING PLAN
 SCALE: 1/2" = 1'-0"



ROOF VENTING:
 PROVIDE ONE (1) ROOF VENT FOR EACH 100 SQ. FT. ATTIC AREA. SEE CONTINGENT ROOF VENTS AND SAFETY VENTS AS REQUIRED. PROVIDE ONE (1) ROOF VENT FOR EACH 100 SQ. FT. ATTIC AREA. PROVIDE ONE (1) ROOF VENT FOR EACH 100 SQ. FT. ATTIC AREA.

NOTE:

- USE METAL FASTENERS AT ALL BEAM TO SIMPLY MEMBERS.
- TYPICAL ROOF PITCH IS 6 IN 12.
- SEE FLOOR PLAN FOR MEMBER SIZES.
- TRUSS #16, TO VERIFY ALL DIMENSIONS PRIOR TO TRUSS ASSEMBLY.
- PROVIDE 27" HIGH ATTIC ACCESS TO ANY ATTIC AREA WITH CEILING OR DOOR TO BE 2'-0" HIGH.
- ALL FINISHES TO BE IN COMPLIANCE WITH LOCAL CODES.
- LOCAL PROFESSIONAL TO VERIFY STRUCTURAL MEMBER CAPACITY LOCATION PRIOR TO CONSTRUCTION.

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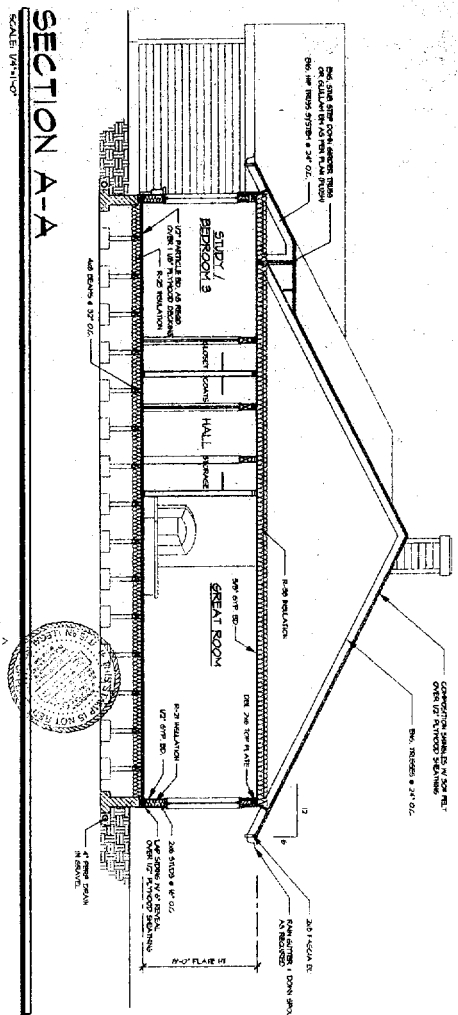
30-314
 SHEET 5 OF 7
 DATE: 03/02/21

Associated DESIGNS
 ASSOCIATED DESIGN, INC.
 11102-1883
 FAYETTEVILLE, NC 28404
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 FAX: 704-785-4723
 EMAIL: info@ad-inc.com
 WWW.ASSOCIATEDDESIGNS.COM
 03/02/21
 03/02/21

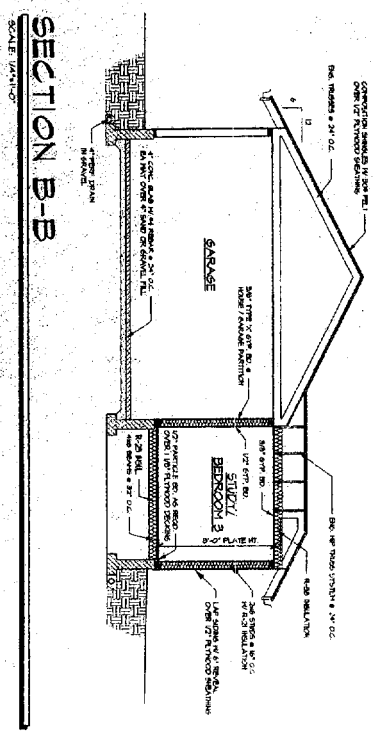
TITLE: ROOF FRAMING PLAN & DETAILS
DATE: 03/02/21
SCALE: NOTED
DRAWN BY: JT
CHECKED BY: JT

THE EMORY
 10000 SERIES

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SECTION A-A
SCALE: 1/4" = 1'-0"



SECTION B-B
SCALE: 1/4" = 1'-0"

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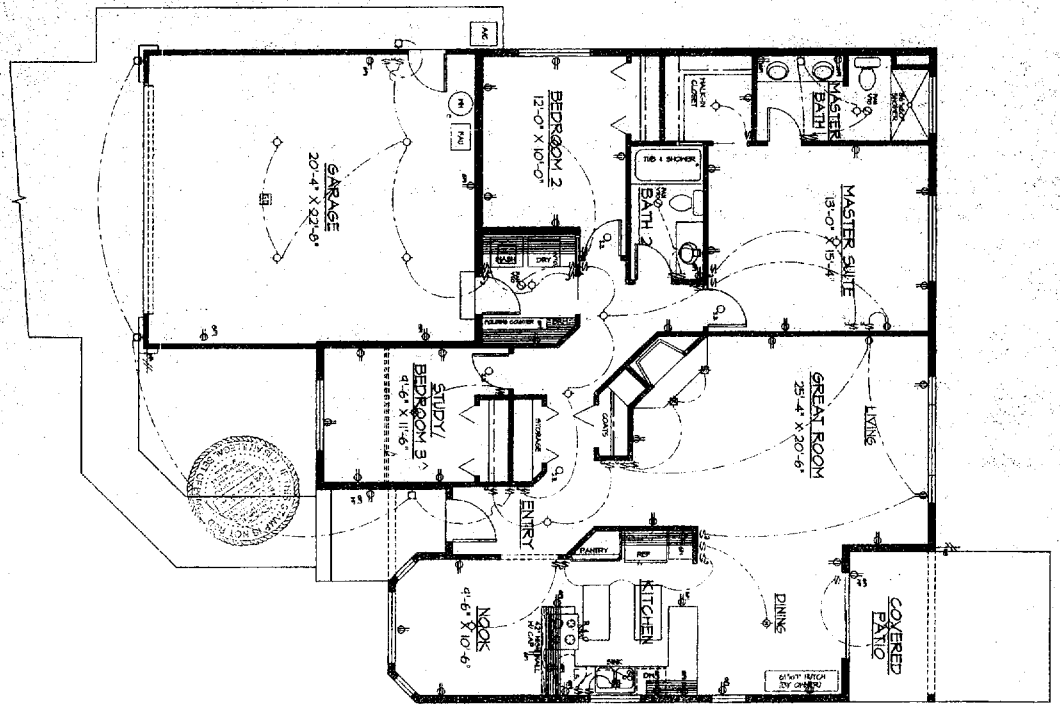
PROJECT: 30-314
 SHEET: 6 OF 7
 DATE: 10/20/00

ASSOCIATED DESIGNS, INC.
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 DALLAS, TEXAS 75243
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 FAX: (214) 461-0714
 WWW: www.associateddesigns.com

Associated DESIGNS
 ARCHITECTS

TITLE: SECTIONS
 DATE: 10/20/00
 SCALE: NOTED
 DRAWN BY: TT
 CHECK BY: TT

THE EMORY
 10000 SERIES



ELECTRICAL PLAN

LIGHTING LEGEND

- 24"x48" FLUORESCENT FIXTURE
- ◇ UNDER CABINET FLUORESCENT
- CEILING LIGHT
- RECESSED CEILING LIGHT
- HANGING CEILING LIGHT
- WALL MOUNTED LIGHT
- SMOKE DETECTOR
- WALL VENT COVERED
- WALL VENT
- SPLIT WIRED SWITCHED OUTLET
- SWITCH
- 3 WAY SWITCH
- TELEVISION CABLE JACK
- TELEPHONE JACK
- GARAGE DOOR OPENER

NOTES

- GROUND FAULT CIRCUIT PROTECTION REQUIRED FOR ALL 120 VOLT SWIRE BRACKETS AND OUTLETS INSTALLED OR MOVED BY OTHER CONTRACTORS.
- EQUIPMENT GROUNDING PER SYSTEM, TELEVISION, TELEPHONE, AND SECURITY SYSTEM WITH OWNER.
- MECHANICAL SYSTEMS TO BE PROVIDED BY MECHANICAL CONTRACTOR TO MEET OWNER'S NEEDS AND COMPLY WITH LOCAL CODES.

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PROJECT: **30-314**

DATE: **03/02/01**

SCALE: **NOTED**

DRAWN BY: **BT**

CHECK BY: **BT**

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TITLE: **ELECTRICAL PLAN**

DATE: **03/02/01**

SCALE: **NOTED**

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