

Add Tree-Save Info from
LANDSCAPE PLAN (SUB PLANS)
TO SITE PLAN.

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

2005-0038

Application I. D. Number

DRC Copy

Jay Reynolds

REC'D 3-8

3/2/2005

Application Date

545 Auburn St.

Project Name/Description

Lot #2

Pelletier Sharon A

Applicant

17 Miranda Cir, Saco, ME 04072

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Other (specify)

2300

Proposed Building square Feet or # of Units

12648

Acreage of Site

3-73 REC'D PLANS AND APPROVED

545 - 545 Auburn St, Portland, Maine

Address of Proposed Site

382A D022001

Assessor's Reference: Chart-Block-Lot

Check Review Required:

- Site Plan (major/minor)
- Flood Hazard
- Zoning Conditional Use (ZBA/PB)
- Subdivision # of lots
- Shoreland
- Zoning Variance
- PAD Review
- Historic Preservation
- 14-403 Streets Review
- DEP Local Certification
- Other

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 3/2/2005

DRC Approval Status:

- Approved
- Approved w/Conditions See Attached
- Denied
- Approval Date _____ Approval Expiration _____ Extension to _____
- Condition Compliance _____ signature _____ date _____
- Additional Sheets Attached

Performance Guarantee

Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

Jay

March 8, 2005

Sharon A. Pelletier
P.O. Box 9739-1105
Portland, ME 04104

RE: 545 Auburn Street (lot #2) - 382A-D-022 - R-2 Zone - application #05-0219

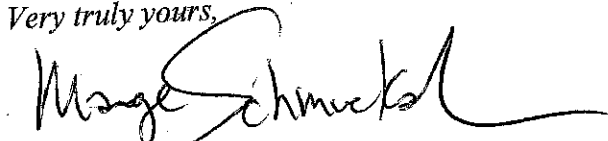
Dear Ms Pelletier:

I am in receipt of your application to construct a new dwelling unit at the above location. Your permit is denied until the following information has been received and approved by this office.

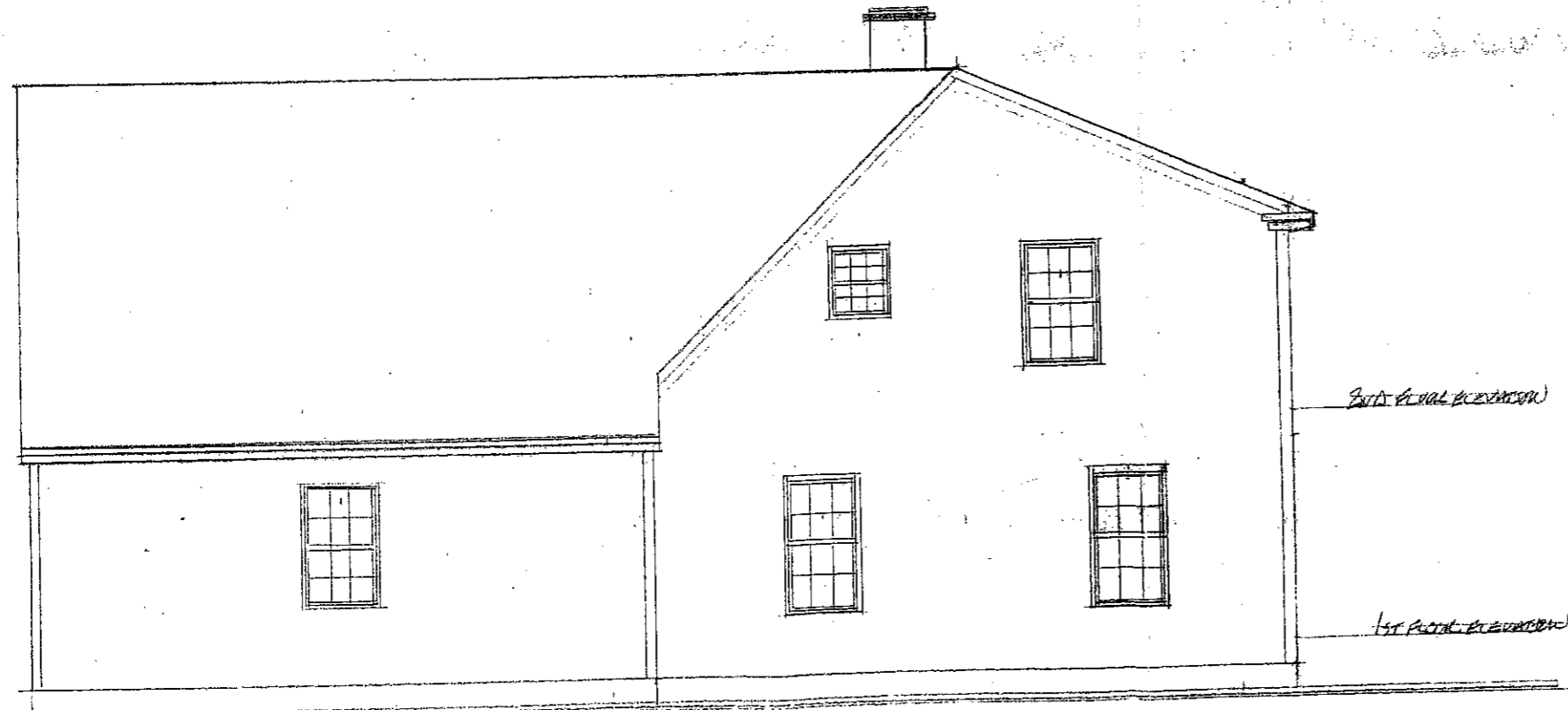
Your construction plans show a hair salon on the first floor. A hair salon is not an allowable principal use within the R-2 Zone. However, the City of Portland does allow for a home occupation within a dwelling unit. Before your new house permit can be issued, you must apply for a home occupation. I have included an application with this letter. Please fill it out as instructed and submit it to our front staff for processing. Your permit is on hold until such time that your home occupation permit application is reviewed and can be issued.

If you have any questions regarding this matter, please do not hesitate to contact this office.

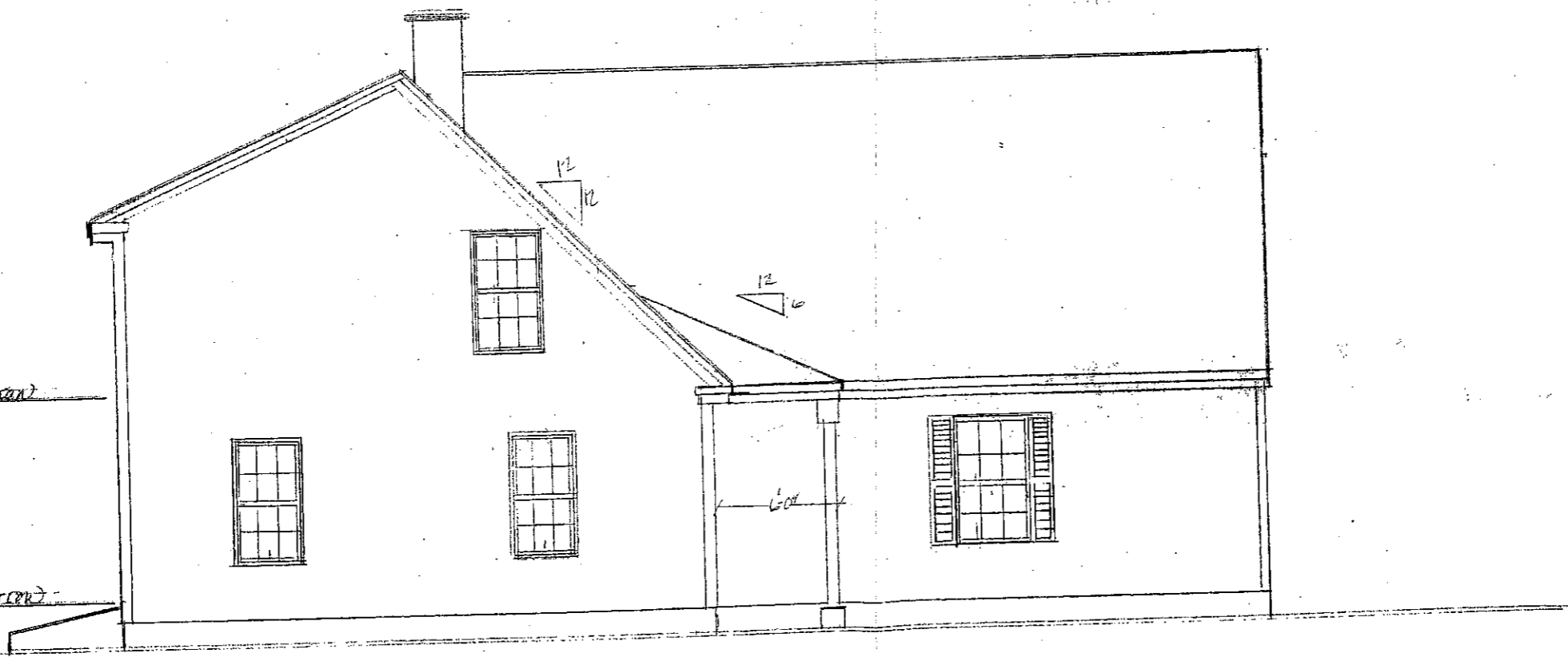
Very truly yours,


Marge Schmuckal
Zoning Administrator

Cc: David Dardano, 20 Shepard Land, Portland, ME 04103
✓ Jay Reynolds, Planning
File



<i>RIGHT SIDE ELEVATION</i>		
SCALE: <i>1/4" = 1'-0"</i>	APPROVED BY	DRAWN BY
DATE:		
<i>PERCENTAGE DESIGN</i>		
	DRAWING NUMBER	
	<i>SHEET 3 OF 4</i>	



2ND FLOOR ELEVATION

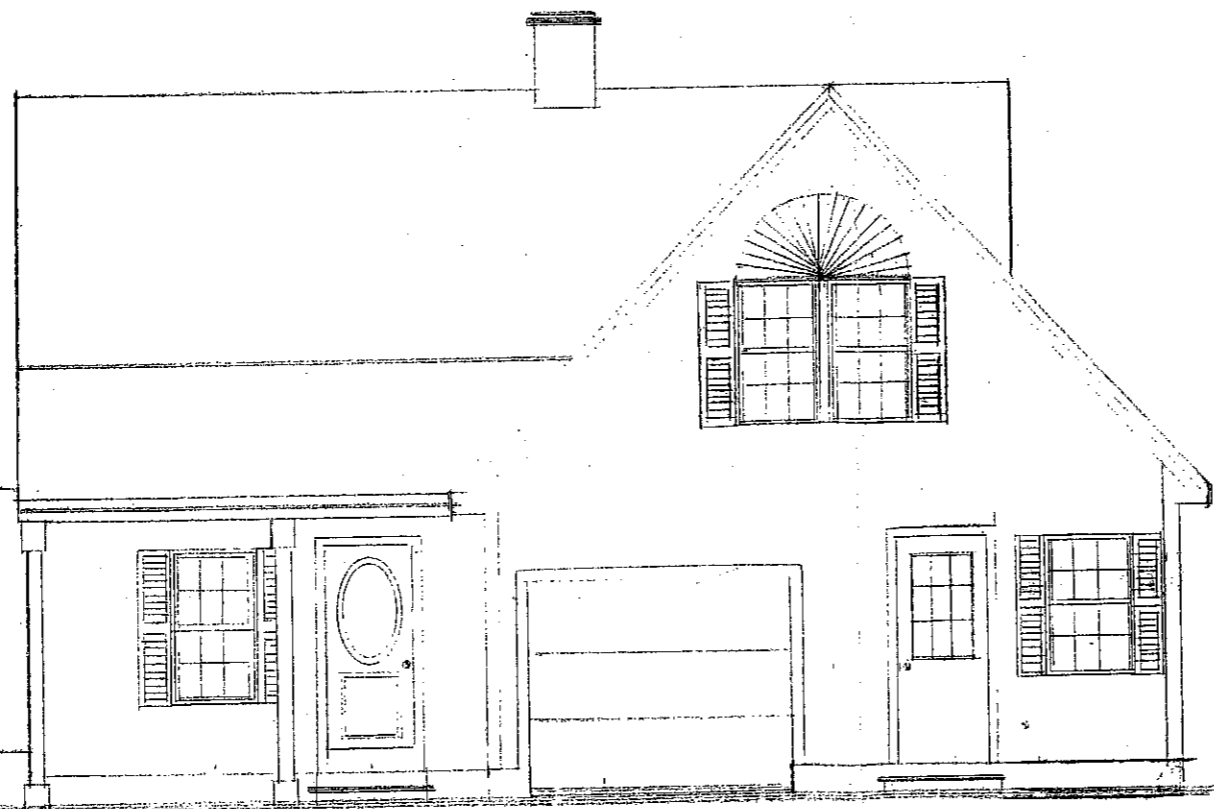
1ST FLOOR ELEVATION

LEFT SIDE VIEW		
SCALE: 1/4" = 1'-0"	APPROVED BY	DRAWN BY
DATE:		
DELLERBIL RESIDENCE		
DRAWING NUMBER		SHEET 4 OF 11

382 AD 22
 DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 MAR 2 2005
 RECEIVED

2nd FLOOR ELEVATION

1st FLOOR ELEVATION

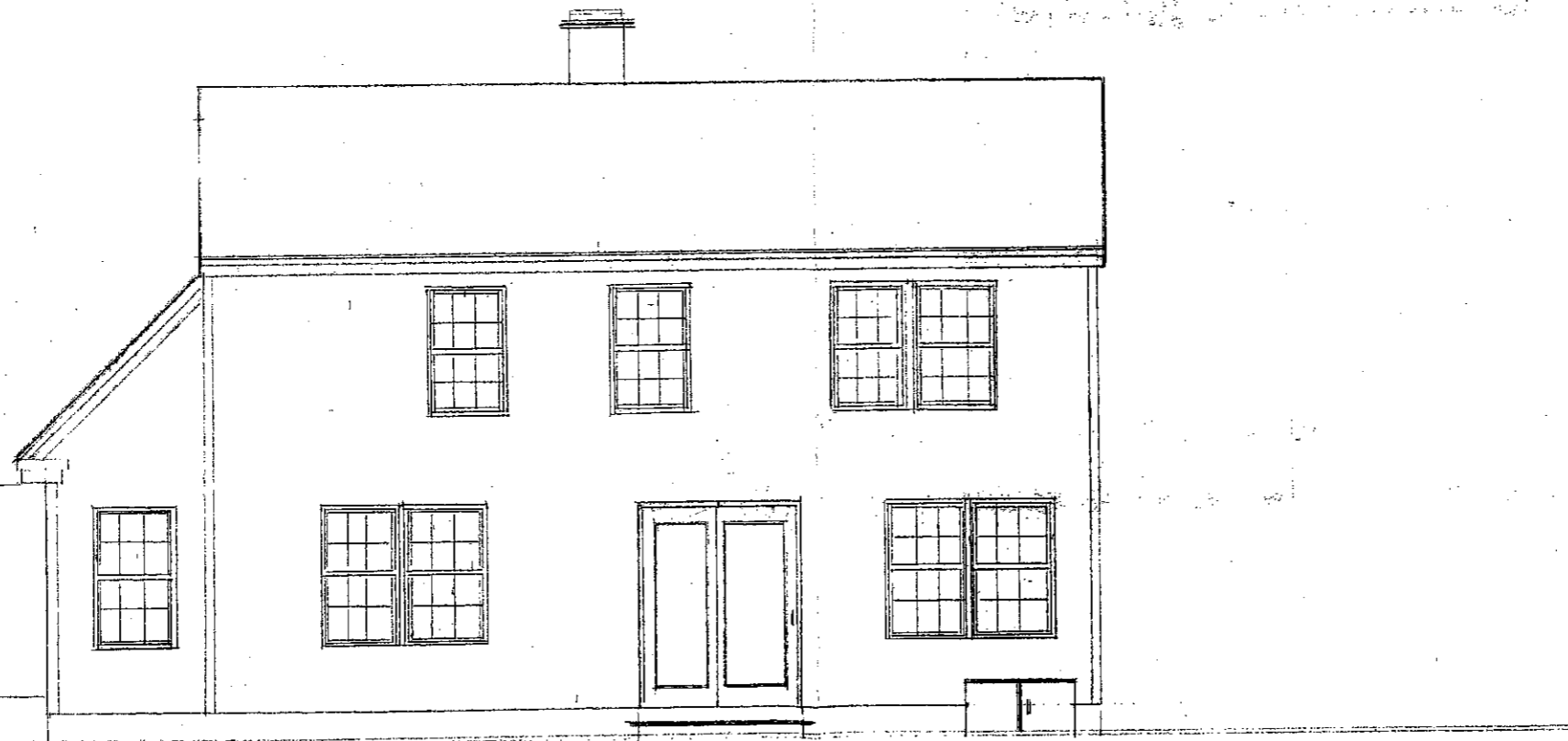


P Sharon A. Pelletier
 P.O. Box 9739-1105
 Portland, Maine
 04104-5039

<i>FRONT PLAN VIEW</i>		
SCALE: <i>1/4" = 1'-0"</i>	APPROVED BY:	DRAWN BY:
DATE:		
<i>SHARON A. PELLETIER</i>		DRAWING NUMBER:
		<i>SHEET 1</i>

2nd Floor Elevation

1st Floor Elevation



<u>FRONT PLAN VIEW</u>		
SCALE: <u>1/4" = 1'-0"</u>	APPROVED BY	DRAWN BY
DATE:		
<u>RECEIVED</u> <u>RESTORACE</u>		
		DRAWING NUMBER <u>SHEET 2 of 11</u>

24" STORM DRAIN
BY OTHERS
SEE NOTE 14

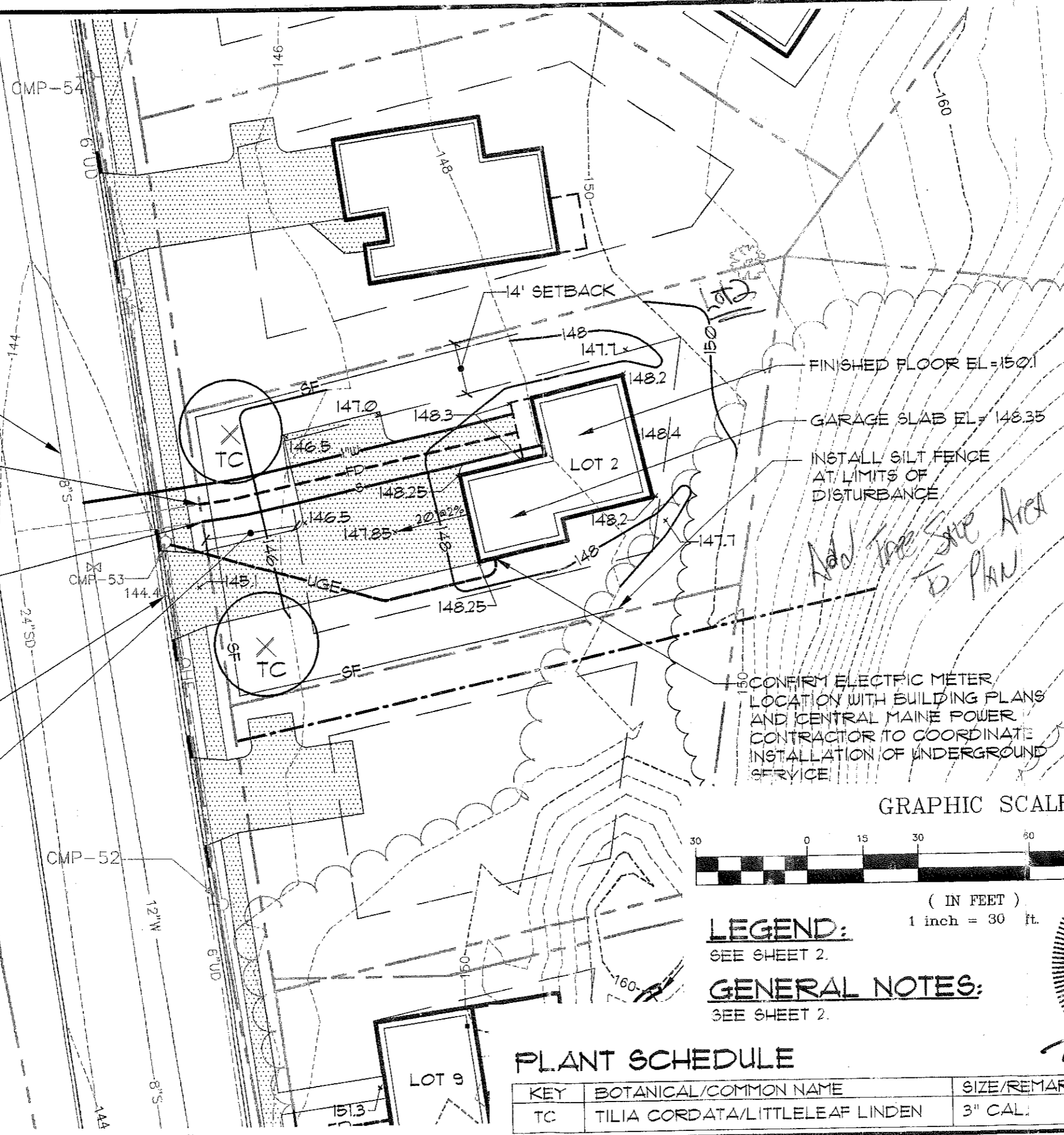
8" SAN SEWER BY
OTHERS
S = 0.005
SEE NOTE 14

FOUNDATION DRAIN
STUB TO PROPERTY
LINE BY OTHERS.
APPROXIMATE INVERT
EL. = 126.0
SEE NOTE 14

SANITARY SEWER
STUB TO PROPERTY
LINE BY OTHERS.
APPROXIMATE INVERT
EL. = 131.0
SEE NOTE 14

MATCH EXISTING GRADE
AT AUBURN STREET

25' SETBACK



CONFIRM ELECTRIC METER
LOCATION WITH BUILDING PLANS
AND CENTRAL MAINE POWER
CONTRACTOR TO COORDINATE
INSTALLATION OF UNDERGROUND
SERVICE

GRAPHIC SCALE

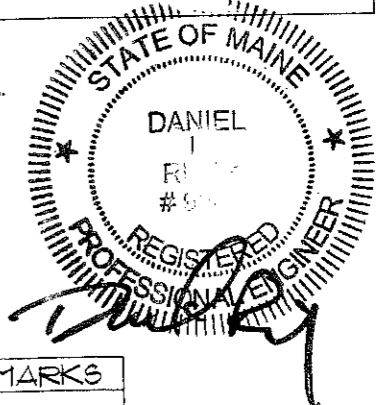


LEGEND:
SEE SHEET 2.

GENERAL NOTES:
SEE SHEET 2.

PLANT SCHEDULE

KEY	BOTANICAL/COMMON NAME	SIZE/REMARKS
TC	TILIA CORDATA/LITTLELEAF LINDEN	3" CAL.



382 AD22

Sebago Technics
Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

MAR 2 2005

RECEIVED

GRADING PLAN LOT 2

OF: **AUBURN ESTATES**
AUBURN STREET/LONGVIEW DRIVE
PORTLAND, MAINE

FOR: **SHARON PELLETIER**
P.O. BOX 9739-1105
PORTLAND, MAINE 04104-0530

DESIGN BY: MT
DRAWN BY: MT
CHECKED BY: DL
DATE: 2-23-05
SCALE: 1" = 30'
FIELD BK: 77
PROJ. NO: 0504
DRAWING: 05047

SHEET 1 OF 2

GENERAL NOTES

1. APPLICANT: SHARON PELLETIER
P.O. BOX 9739-1105
PORTLAND, ME 04104-0539
2. THE PROPERTY IS SHOWN AS LOT 2 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
3. TOTAL AREA OF PARCEL: 12,648 SQUARE FEET (0.29 ACRES).
4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNIQS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929). VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.
6. PLAN REFERENCES:
 - A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNIQS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.
7. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 ZONE. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

	R-2 ZONE
MIN. LOT SIZE	10,000 SF.
MIN. AREA PER DWELLING UNIT	10,000 SF.
MIN. STREET FRONTAGE	50 FT.
MIN. FRONT YARD SETBACK	25 FT.
MIN. REAR YARD SETBACK	25 FT.
MIN. SIDE YARD SETBACK	
1 STORY	12 FT.
1½ STORY	12 FT.
2 STORY	14 FT.
2½ STORY	16 FT.
MIN. SIDE YARD SETBACK ON SIDE STREET	20 FT.
MAX. LOT COVERAGE (BLDG. FOOTPRINT)	20%
MIN. LOT WIDTH	80 FT.
MAX. BLDG. HEIGHT (PRINCIPAL)	35 FT.
MAX. BLDG. HEIGHT (DETACHED ACCESSORY)	18 FT.

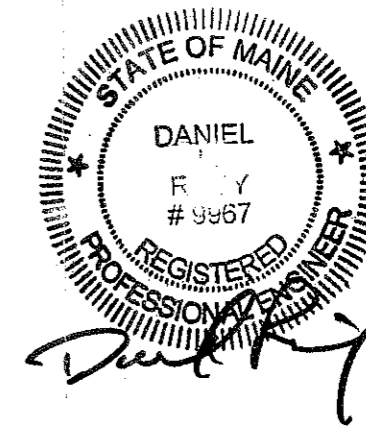
NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET.

8. THE UTILITY LOCATIONS SHOWN IN AUBURN STREET ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.
12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HEREON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.
13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
14. THE SANITARY SEWERS, STORM DRAINS, MANHOLES CATCH BASINS, AND FOUNDATION DRAIN STUBS IN AUBURN STREET ARE PROPOSED FOR CONSTRUCTION BY THE CITY OF PORTLAND AS PART OF THE AUBURN STREET COMBINED SEWER SEPARATION PROJECT. THE SERVICE STUB LOCATIONS AND ELEVATIONS SHOWN HEREON ARE BASED ON DESIGN PLANS AND DO NOT REFLECT THE AS BUILT CONDITION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE SERVICE STUBS WITH THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO THE CONSTRUCTION OF BUILDING FOUNDATIONS.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
	BUILDING	
---	SIGN	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
~~~~~	TREELINE	~~~~~
-----124-----	CONTOURS	-----124-----
-----W-----	WATER	-----W-----
-----S-----	SEWER	-----S-----
-----SD-----	STORM DRAIN	-----SD-----
-----FD-----	FOOTING DRAIN	-----FD-----
-----UD-----	UNDERDRAIN	-----UD-----
-----UGE-----	UNDERGROUND ELEC. & TEL.	-----UGE #T-----
⊗	GATE VALVE	
☆	LIGHT POLE	
⊕	HYDRANT	
⊙	MANHOLE	
30.20	SPOT GRADE	x 30.20
○	DECIDUOUS TREE	
⊗	CONIFEROUS TREE	
====	ZONE LINE	



**Sebago Technics**  
Engineering Expertise You Can Build On  
One Chabot Street  
Westbrook, Me 04098-1339  
Tel (207) 856-0277

**NOTES**  
OF:  
**LOT 2 AUBURN ESTATES**  
AUBURN STREET/LONGVIEW DRIVE  
PORTLAND, MAINE  
FOR:  
**SHARON PELLETIER**  
P.O. BOX 9739-1105  
PORTLAND, MAINE 04104-0539

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	2-23-05
SCALE:	
FIELD BK:	778
PROJ. NO:	05047
DRAWING:	05047G.DWG

**SHEET 2 OF 2**





**Sebago Technics**  
 Engineering Expertise You Can Build On

One Chabot Street  
 Westbrook, Me 04098-1339  
 Tel (207) 856-0277

24" STORM DRAIN BY OTHERS  
 SEE NOTE 14

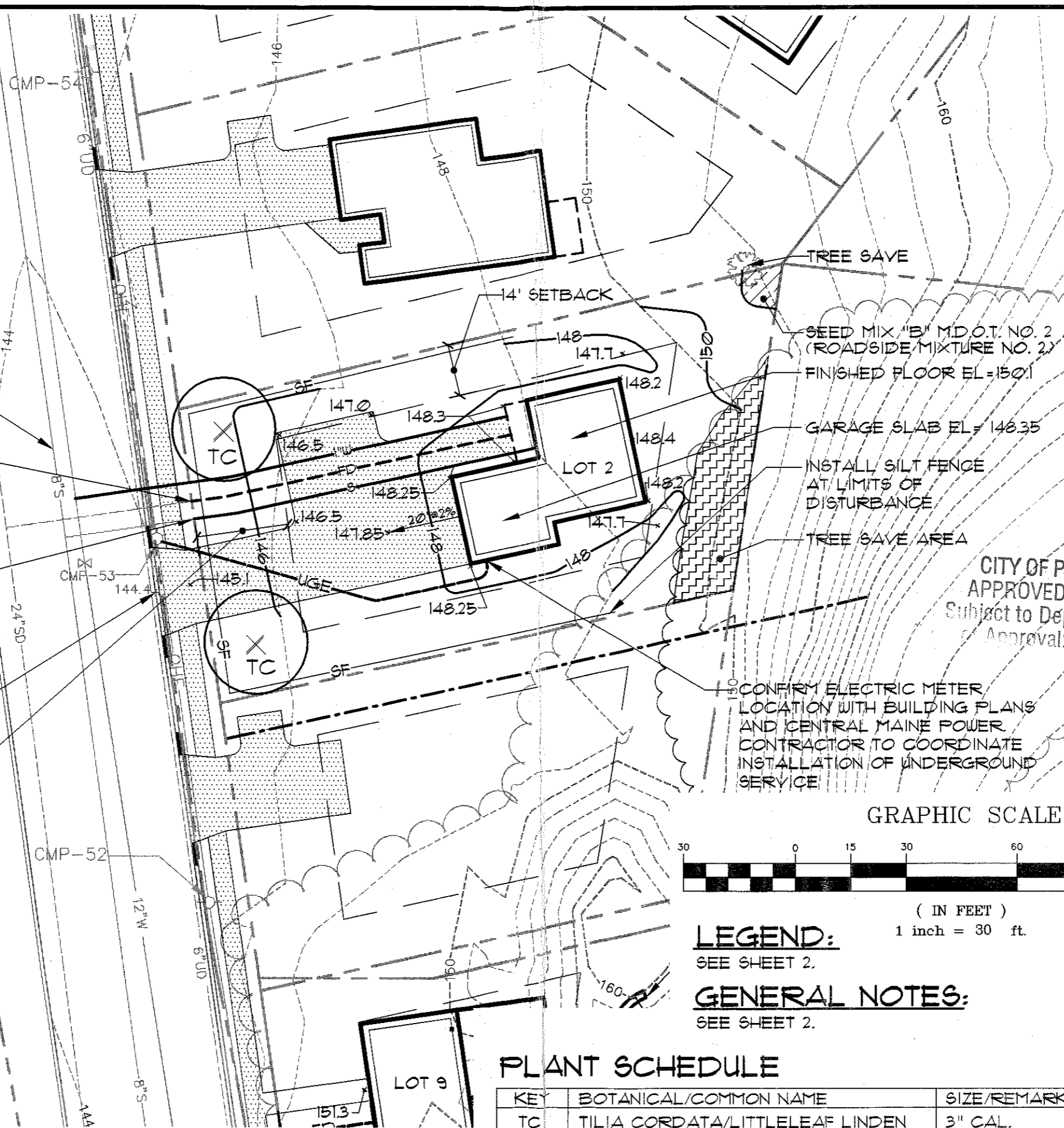
8" SAN SEWER BY OTHERS  
 S = 0.005  
 SEE NOTE 14

FOUNDATION DRAIN STUB TO PROPERTY LINE BY OTHERS.  
 APPROXIMATE INVERT EL. = 126.0  
 SEE NOTE 14

SANITARY SEWER STUB TO PROPERTY LINE BY OTHERS.  
 APPROXIMATE INVERT EL. = 137.0  
 SEE NOTE 14

MATCH EXISTING GRADE AT AUBURN STREET

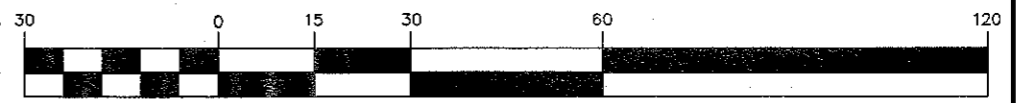
25' SETBACK



CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 of Approval: 3-23-05

CONFIRM ELECTRIC METER LOCATION WITH BUILDING PLANS AND CENTRAL MAINE POWER CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND SERVICE

GRAPHIC SCALE



( IN FEET )  
 1 inch = 30 ft.

**LEGEND:**  
 SEE SHEET 2.

**GENERAL NOTES:**  
 SEE SHEET 2.

**PLANT SCHEDULE**

KEY	BOTANICAL/COMMON NAME	SIZE/REMARKS
TC	TILIA CORDATA/LITTLELEAF LINDEN	3" CAL.

GRADING PLAN LOT 2

OF: **AUBURN ESTATES**  
 AUBURN STREET/LONGVIEW DRIVE  
 PORTLAND, MAINE

FOR: **SHARON PELLETTIER**  
 P.O. BOX 9739-1105  
 PORTLAND, MAINE 04104-0539

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	2-23-05
SCALE:	1" = 30'
FIELD BK:	778
PROJ. NO:	05047
DRAWING:	05047G

SHEET 1 OF 2