

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2006-0087

Application I. D. Number

5/11/2006

Application Date

single Family Home

Project Name/Description

539 - 539 Auburn St , Portland, Maine

Address of Proposed Site

382A D021001

Assessor's Reference: Chart-Block-Lot

_____ Inc/Phil Requia

Drive, Portland, ME 04103

's Mailing Address

Requia

sultant/Agent
Applicant Ph: (207) 807-2586 Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units 10148 Acreage of Site _____ Zoning _____

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 5/11/2006

DRC Approval Status:

Approval Date 6/5/2006 Approval Expiration 6/5/2007 Extension to _____ Reviewer Jay Reynolds
 Approved Approved w/Conditions See Attached Denied
 Condition Compliance Jay Reynolds 6/5/2006 Additional Sheets Attached
signature date

Performance Guarantee Required* Not Required

No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

Brush & Hammer Inc/Phil Requia
Applicant
110 Lester Drive, Portland, ME 04103
Applicant's Mailing Address
Phil Requia
Consultant/Agent
Applicant Ph: (207) 807-2586 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

2006-0087
Application I. D. Number
5/11/2006
Application Date
single Family Home
Project Name/Description
539 - 539 Auburn St , Portland, Maine
Address of Proposed Site
382A D021001
Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

*Surface coat - Paving
Final Grading, Loam/Seed
Landscaping
2 Trees*

From: Tammy Munson
To: Philip DiPierro
Date: 4/9/2007 1:03:41 PM
Subject: ~~Re: Temp. CO's for #'s 19 & 25 Stepping Stone Lane~~

Yes please. The house is done the site work is not. Thanks

>>> Philip DiPierro 4/9/2007 12:37:47 PM >>>

No, I never received a notice saying it needed to be done. Do you want me to go out and do a site inspection?

Phil

>>> Tammy Munson 4/9/2007 12:01:35 PM >>>

Hey Phil, have you checked 539 Auburn? It is a single family home.

>>> Philip DiPierro 4/9/2007 11:42:51 AM >>>

~~Hi all, I have inspected #'s 19 & 25 Stepping Stone Lane and recommend issuing a temp. CO. Please see attached. Thanks,~~

Philip DiPierro
Development Review Coordinator
389 Congress Street
Portland, Maine 04101

Phone 207 874-8632
Fax 207 756-8258

4/10

2:00 - 2:30

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2006-0087
Application I. D. Number
5/11/2006
Application Date
single Family Home *lot # 1*
Project Name/Description

Jay Reynolds

Condition about drainage near turnaround 5-17

Brush & Hammer Inc/Phil Requia
Applicant
110 Lester Drive, Portland, ME 04103
Applicant's Mailing Address
Phil Requia
Consultant/Agent
Applicant Ph: (207) 807-2586 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

539 - 539 Auburn St, Portland, Maine
Address of Proposed Site
382A D021001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units 10148 Acreage of Site _____ Zoning _____

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 5/11/2006

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
Reviewer _____
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

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<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issue	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

June 12, 2007

Brush & Hammer, Inc.
Phil Requia
110 Lester Drive
Portland, Maine 04103

RE: Final Site Inspection, (Project # 2006-0087), (CBL 382A D 021001)

Dear Mr. Requia:

Recently I visited the property at 539 Auburn Street, and conducted a site inspection for a Final Certificate of Occupancy. During my inspection it was observed that several site improvements were incomplete. Please be advised that your Temporary Certificate of Occupancy expires on June 15, 2007. The following items must be completed **prior** to the issuance of a Final Certificate of Occupancy (as outlined and agreed to in the conditions of approval relating to your building permit).

The following items require your attention and must be completed immediately.

1. Final grading per the approved site plan; the grade along both sides and the front of your house appears to be pitched toward the house causing water to drain toward the foundation. Per the approved site plan, the grade should be pitched away from the foundation toward the street,
2. Loaming and seeding of all disturbed areas,
3. Two (2) City of Portland approved species and size trees must be planted on your street frontage. The trees must be a minimum 2 to 2 1/2 caliper in size.

Please contact me if you have any questions.

Sincerely,


Philip D. Pierro

Development Review Coordinator

Cc: Barbara Barhydt, Development Review Services Manager
Jeanie Bourke, Inspection Services Manager
File: Urban Insight

June 12, 2007

Brush & Hammer, Inc.
Phil Requia
110 Lester Drive
Portland, Maine 04103

RE: Final Site Inspection, (Project # 2006-0087), (CBL 382A D 021001)

Dear Mr. Requia:

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The following items require your attention and must be completed immediately.

1. Final grading per the approved site plan; the grade along both sides and the front of your house appears to be pitched toward the house causing water to drain toward the foundation. Per the approved site plan, the grade should be pitched away from the foundation toward the street,
2. Loaming and seeding of all disturbed areas,
3. Two (2) City of Portland approved species and size trees must be planted on your street frontage. The trees must be a minimum 2 to 2 ½ caliper in size.

Please contact me if you have any questions.

Sincerely,

Philip DiPierro
Development Review Coordinator

Cc: Barbara Barhydt, Development Review Services Manager
Jeanie Bourke, Inspection Services Manager
File: Urban Insight

TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: April 10, 2007

RE: C. of O. for 539 Auburn Street
(Id#2006-0087)(CBL 382A D 021001)

After visiting the site, I have the following comments:

Site work incomplete:

1. Final Grading,
2. Paving,
3. Loam and seed,
4. Landscaping,
5. Miscellaneous site work

I anticipate this work can be completed by **June 15, 2007**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager
Jeanie Bourke, Inspection Services Manager
File: Urban Insight

Brush & Hammer Inc.
110 Lester Dr.
Portland, Maine 04103

To: City Of Portland
Attn: Philip DiPierro

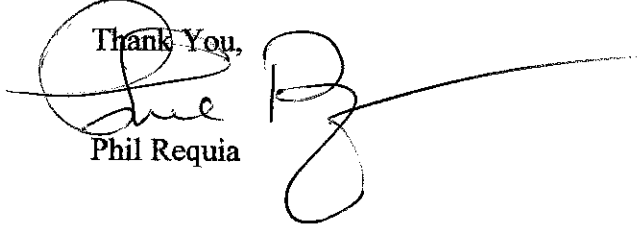
Date: 06/19/07

Re: Final Site Inspection, 539 Auburn St.

Dear Mr. DiPierro,

Regarding your letter: We have graded the area with proper runoff, loamed and seeded all areas, and planted two 2" red maple trees at the front of the property.

Thank You,


Phil Requia



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Brush & Hammer, Inc.
Phil Requia
110 Lester Drive
Portland, Maine 04103

June 12, 2007

RE: Final Site Inspection, (Project # 2006-0087), (CBL 382A D 021001)

Dear Mr. Requia:

Recently I revisited the property at 539 Auburn Street, and conducted another site inspection for a Final Certificate of Occupancy. During my inspection it was observed that several site improvements were not completed according to the approved site plan design standards. Please be advised that your Temporary Certificate of Occupancy expired on June 15, 2007. The following items must be completed **prior** to the issuance of a Final Certificate of Occupancy (as outlined and agreed to in the conditions of approval relating to your building permit).

The following items require your attention and must be completed immediately.

1. Final grading per the approved site plan; the grade along both sides and the front of your house appears to be pitched toward the house causing water to drain toward the foundation. Per the approved site plan, the grade should be pitched away from the foundation toward the street. This must be corrected.
2. Loaming and seeding of all disturbed areas,
3. Two (2) City of Portland approved species and size trees must be planted on your street frontage. The trees that have been planted are less than the minimum accepted standard. The trees must be a minimum 2 to 2 ½ caliper in size.

Please contact me if you have any questions.

Sincerely,

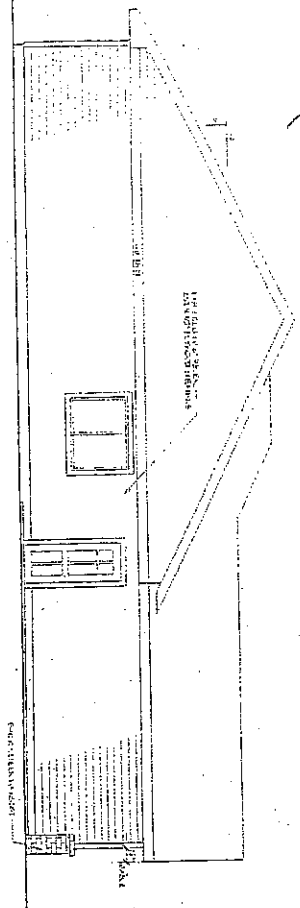
Philip DiPierro

Development Review Coordinator

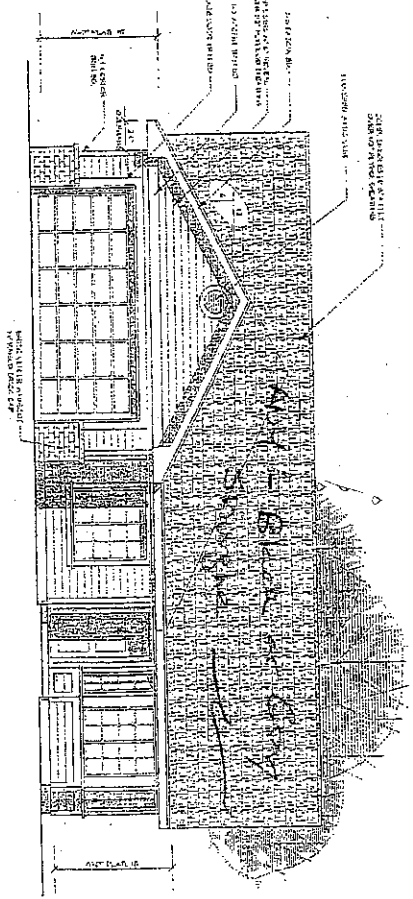
Cc: Barbara Barhydt, Development Review Services Manager
Jeanie Bourke, Inspection Services Manager
File: Urban Insight

Handwritten notes:
 1st floor
 2nd floor

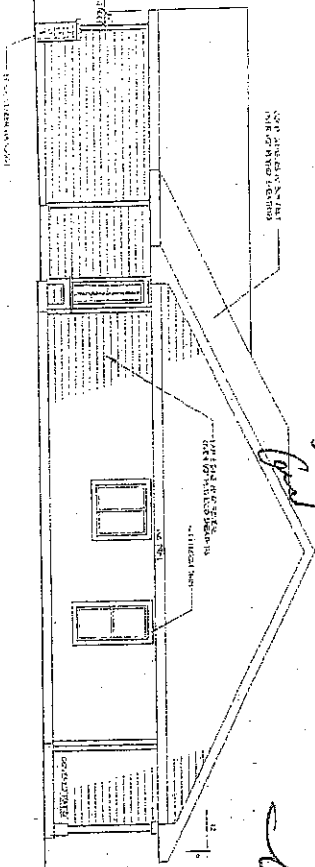
Handwritten notes:
 PAN TROCKETS & GRAY LICKED BOTTOMS - VOXERS GRAY S. 1/2
 and



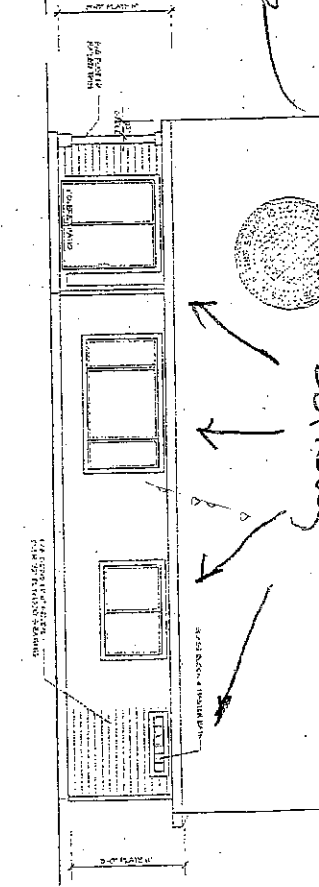
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

Handwritten notes:
 Typical - Crown molding over all Doors & Windows (with Shutters).
 3 1/2" Trim AT HEAD OF WINDOW and Around all Doors
 S.W. including over head doors. (NOT REQUIRED AT REAR AT
 BOTTOMS)

Handwritten notes:
 ANY WINDOWS WITH SHUTTERS
 MUST HAVE 3 1/2" Trim on Sides
 and Rear is exempt

SCALE: 1/8" = 1'-0"

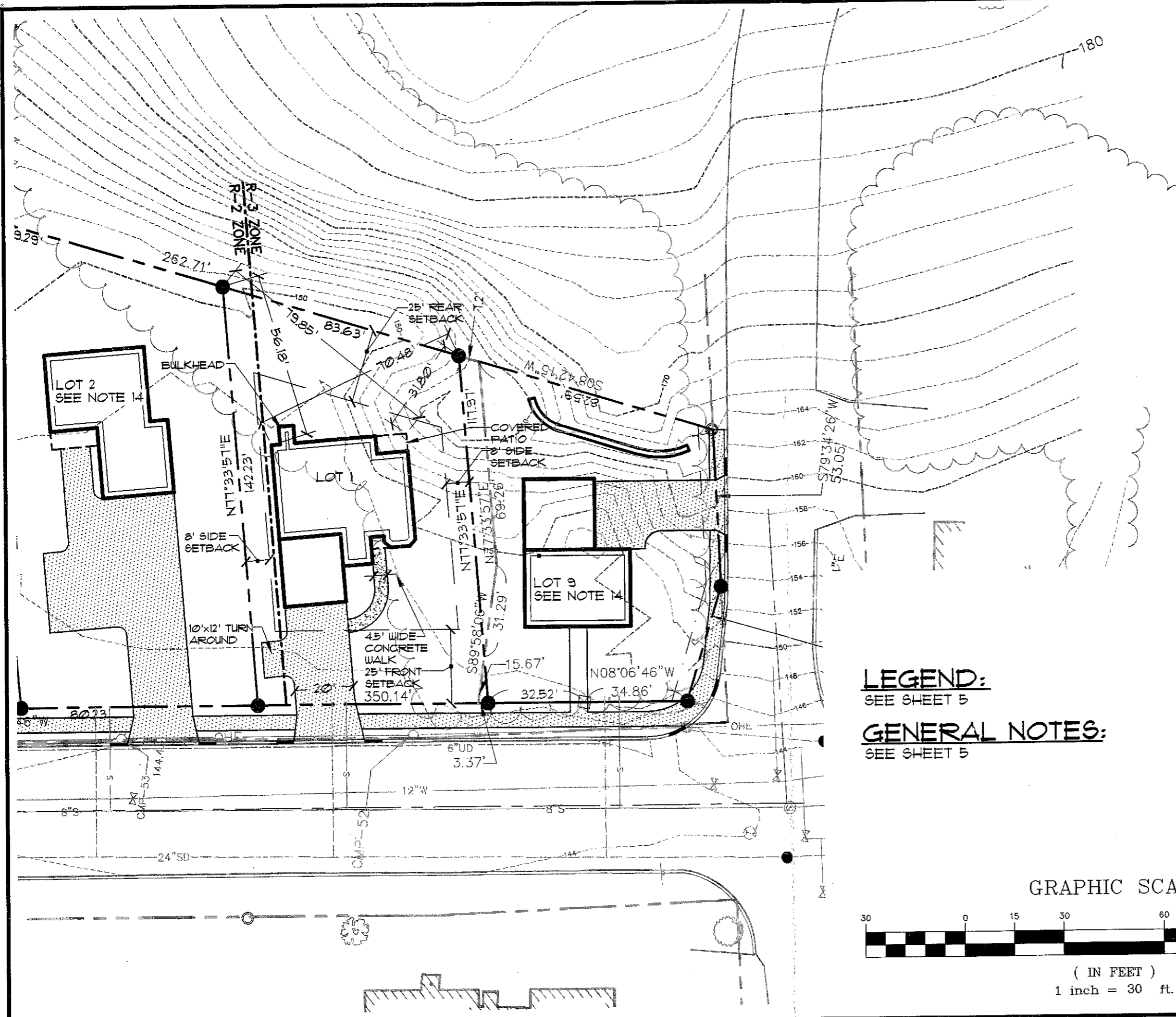
ASSEMBLED MATERIAL (L/2/P/D/S)	40 PER
LIME LOAN & FLOOR	40 PER
DOOR LOCK & FLOOR	40 PER
WALL COVER & FLOOR	40 PER
WALL COVER & FLOOR	40 PER
WALL COVER & FLOOR	40 PER
WALL COVER & FLOOR	40 PER
WALL COVER & FLOOR	40 PER
WALL COVER & FLOOR	40 PER
WALL COVER & FLOOR	40 PER

DATE	30-314
BY	2/7
CHKD	
APP'D	

DESIGNS

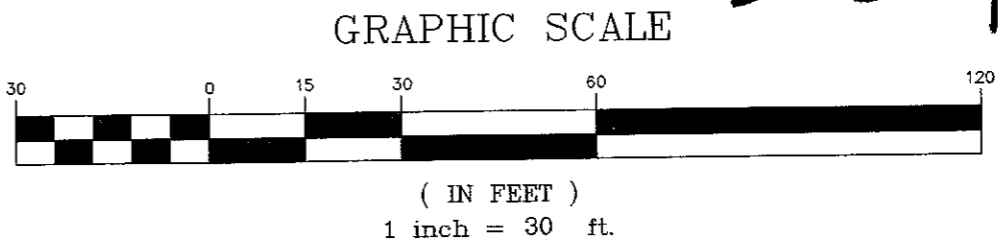
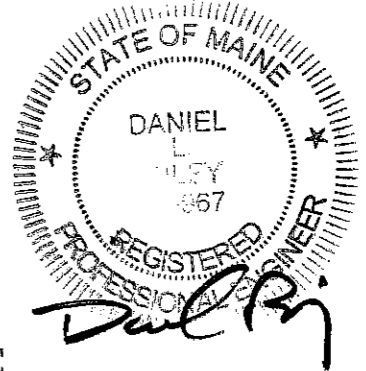
EMORY

EMORY



LEGEND:
SEE SHEET 5

GENERAL NOTES:
SEE SHEET 5



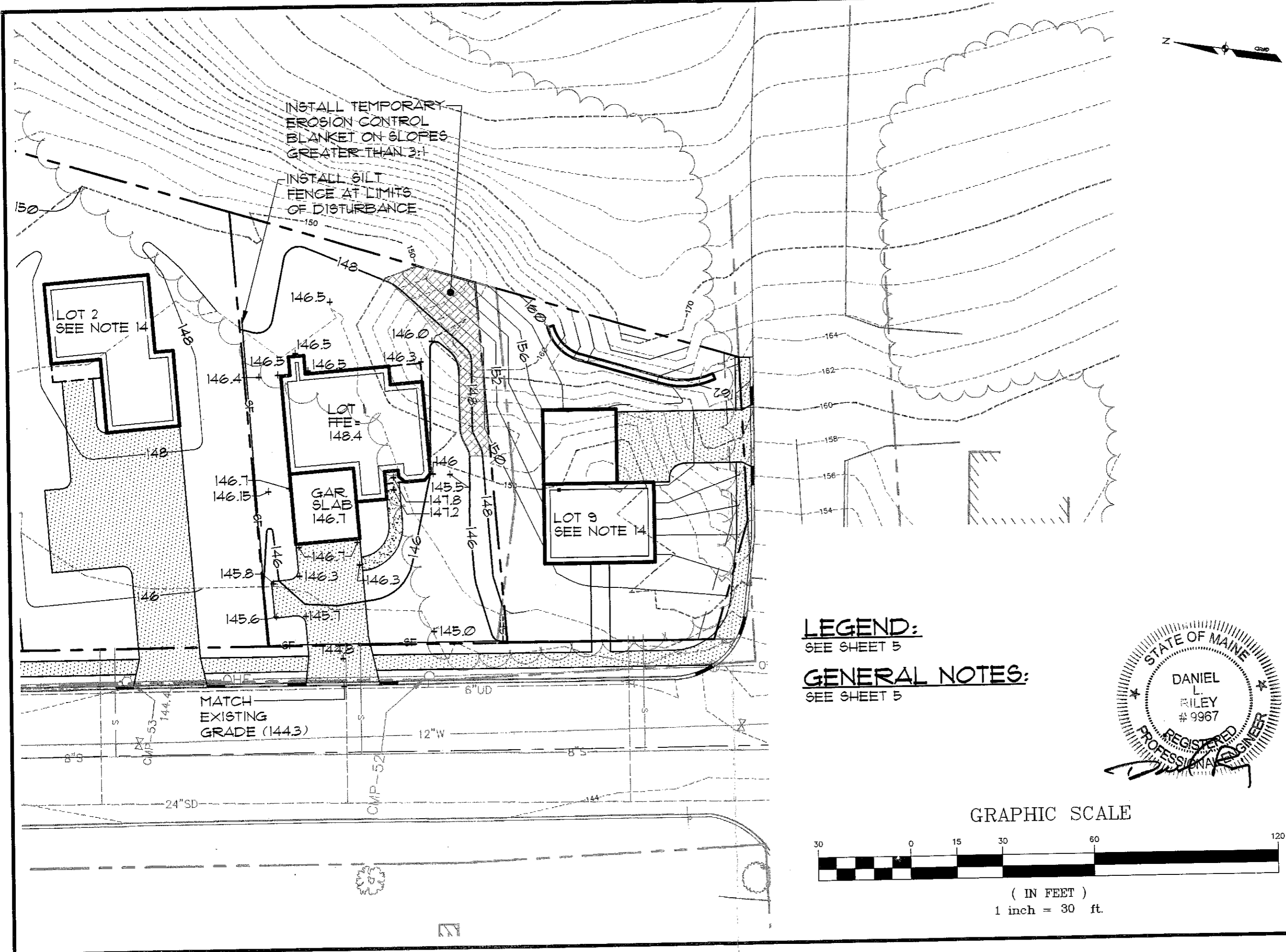
Sebago Technics
Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

SITE PLAN
OF:
LOT 1 AUBURN ESTATES
LONGVIEW DRIVE
PORTLAND, MAINE
FOR:
BRUSH AND HAMMER INC.
110 LESTER DRIVE
PORTLAND, MAINE 04103

DESIGN BY: MTW
DRAWN BY: MTW
CHECKED BY: DLR
DATE: 5-10-06
SCALE: 1"=30'
FIELD BK: 778
PROJ. NO: 06169
DRAWING: 16169C
SHEET 1 OF 5

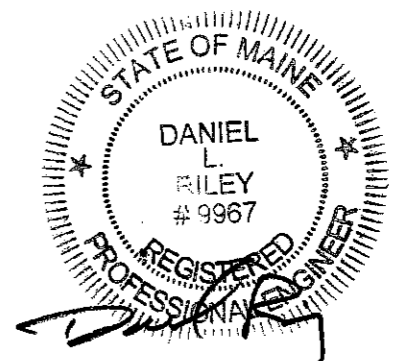


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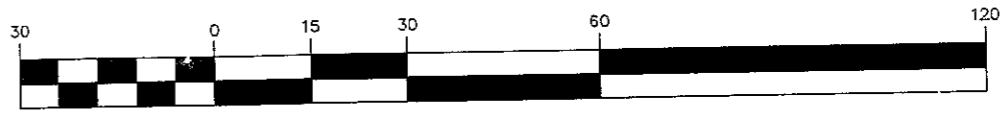


LEGEND:
SEE SHEET 5

GENERAL NOTES:
SEE SHEET 5



GRAPHIC SCALE



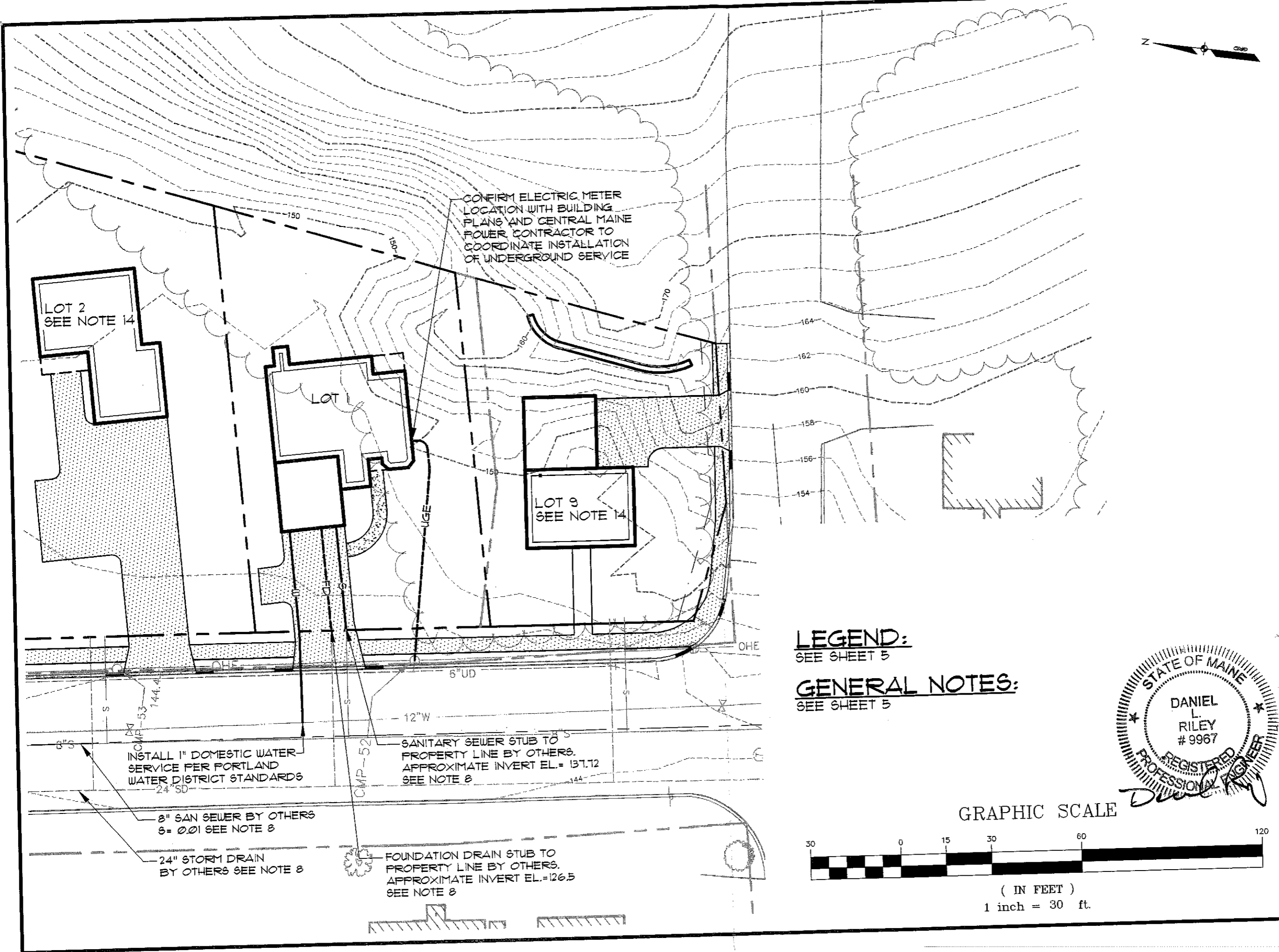
(IN FEET)
1 inch = 30 ft.

GRADING PLAN
OF:
LOT 1 AUBURN ESTATES
LONGVIEW DRIVE
PORTLAND, MAINE
FOR:
BRUSH AND HAMMER INC.
110 LESTER DRIVE
PORTLAND, MAINE 04103

DESIGN BY:	MTV
DRAWN BY:	MTV
CHECKED BY:	DL
DATE:	5-10-06
SCALE:	1"=30'
FIELD BK:	77
PROJ. NO:	0616
DRAWING:	06169

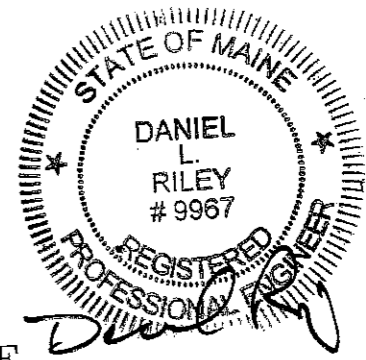


Sebago Technics
Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

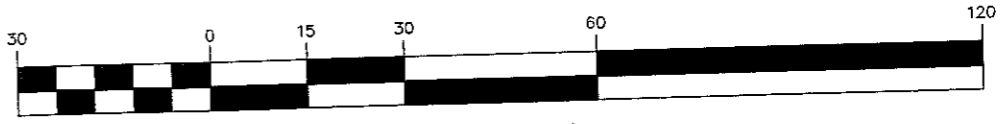


LEGEND:
SEE SHEET 5

GENERAL NOTES:
SEE SHEET 5



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

UTILITY PLAN
OF:

LOT 1 AUBURN ESTATES
LONGVIEW DRIVE
PORTLAND, MAINE

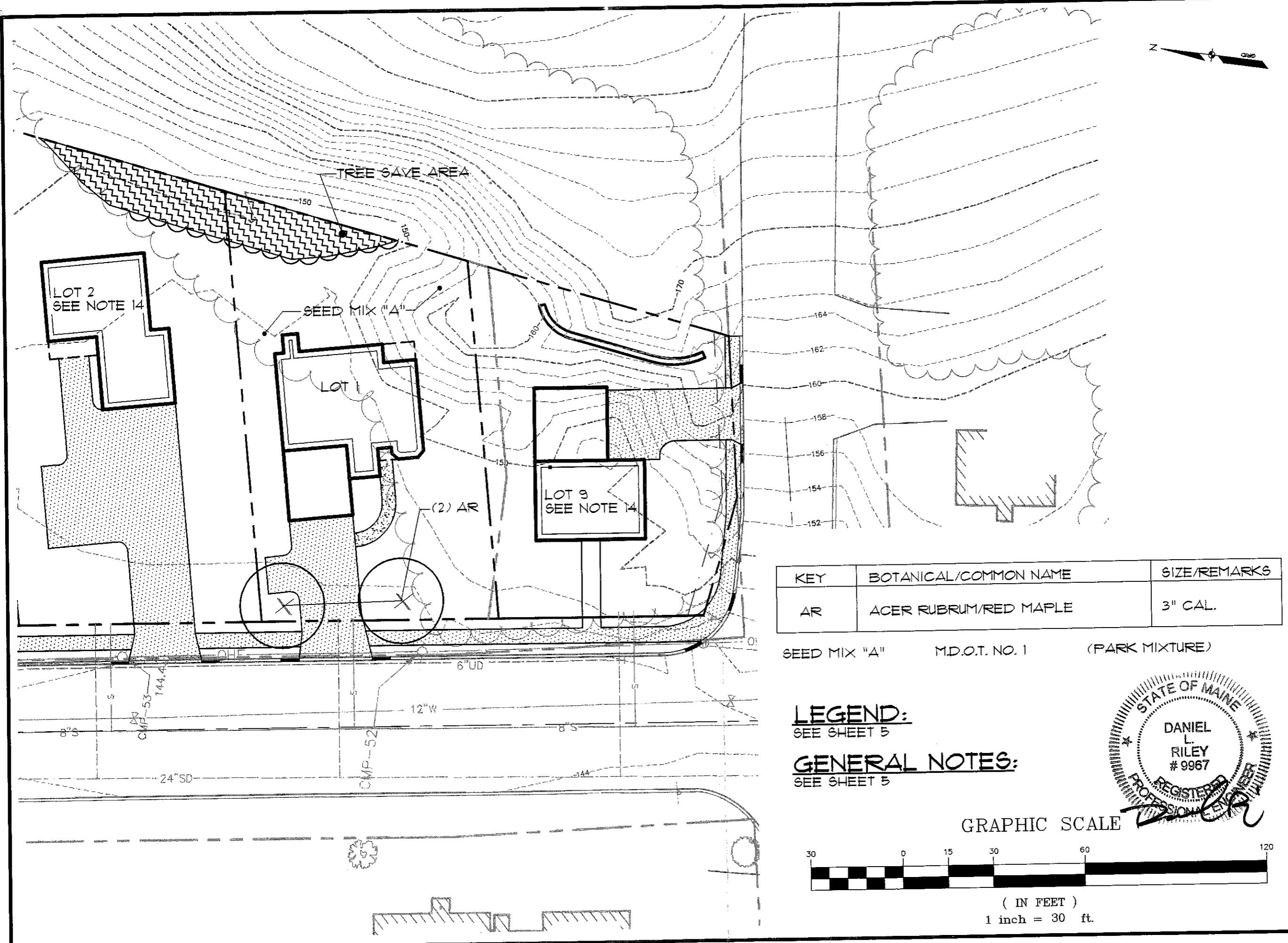
FOR:
BRUSH AND HAMMER INC.
110 LESTER DRIVE

DESIGN BY:	M
DRAWN BY:	M
CHECKED BY:	D
DATE:	5-10-
SCALE:	1" =
FIELD BK:	7
PROJ. NO:	061
DRAWING:	0616

SHEET 3 OF



Sebago Technics
 Engineering Expertise You Can Build On
 One Chabot Street
 Westbrook, Me. 04098-1339
 Tel (207) 856-0277

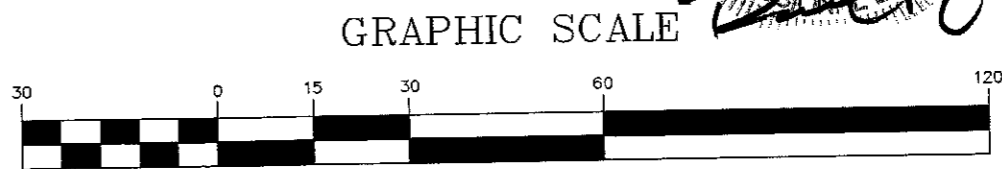
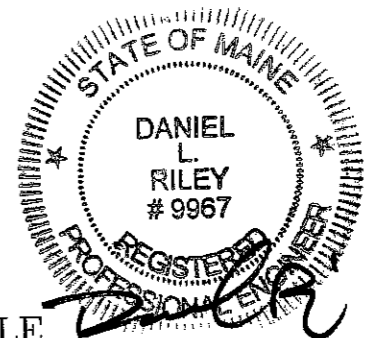


KEY	BOTANICAL/COMMON NAME	SIZE/REMARKS
AR	ACER RUBRUM/RED MAPLE	3" CAL.

SEED MIX "A" M.D.O.T. NO. 1 (PARK MIXTURE)

LEGEND:
 SEE SHEET 5

GENERAL NOTES:
 SEE SHEET 5



(IN FEET)
 1 inch = 30 ft.

LANDSCAPE PLAN
 OF:
LOT 1 AUBURN ESTATES
 LONGVIEW DRIVE
 PORTLAND, MAINE
 FOR:
BRUSH AND HAMMER INC.
 110 LESTER DRIVE
 PORTLAND, MAINE 04103

DESIGN BY: MTW
 DRAWN BY: MTW
 CHECKED BY: DLR
 DATE: 5-10-06
 SCALE: 1"=30'
 FIELD BK: 77
 PROJ. NO: 0616
 DRAWING: 06169

GENERAL NOTES

1. APPLICANT: BRUSH AND HAMMER INC.
110 LESTER DRIVE
PORTLAND, ME 04103
2. THE PROPERTY IS SHOWN AS LOT 1 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
3. TOTAL AREA OF PARCEL: 10,148 SQUARE FEET (0.23 ACRES).
4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929). VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.
6. PLAN REFERENCES:
A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.
7. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 AND R-3 ZONES. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

	R-2 ZONE	R-3 ZONE
MIN. LOT SIZE	10,000 SF.	6,500 SF.
MIN. AREA PER DWELLING UNIT	10,000 SF.	6,500 SF.
MIN. STREET FRONTAGE	50 FT.	50 FT.
MIN. FRONT YARD SETBACK	25 FT.	25 FT.
MIN. REAR YARD SETBACK	25 FT.	25 FT.
MIN. SIDE YARD SETBACK		
1 STORY	12 FT.	8 FT.
1 1/2 STORY	12 FT.	8 FT.
2 STORY	14 FT.	14 FT.
2 1/2 STORY	16 FT.	16 FT.
MIN. SIDE YARD SETBACK ON SIDE STREET	20 FT.	20 FT.
MAX. LOT COVERAGE (BLDG. FOOTPRINT)	20%	25%
MIN. LOT WIDTH	80 FT.	75 FT.
MAX. BLDG. HEIGHT (PRINCIPAL)	35 FT.	35 FT.
MAX. BLDG. HEIGHT (DETACHED ACCESSORY)	18 FT.	18 FT.

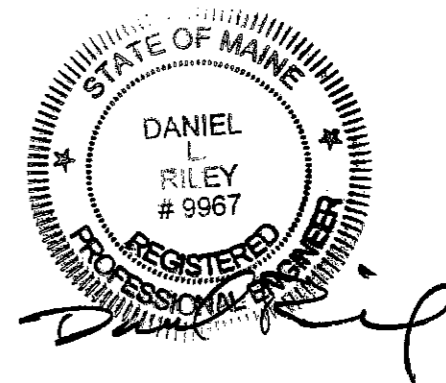
NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET.

8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE AND AUBURN STREET ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.
12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HEREON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.
13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
14. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 2 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 2 AUBURN ESTATES" FOR SHARON PELLETIER BY SEBAGO TECHNICS, INC. DATED APRIL 7, 2005. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 9 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 9 AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC. DATED APRIL 28, 2005.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
	BUILDING	
—	SIGN	—
—	EDGE PAVEMENT	—
---	GRAVEL ROAD	---
---	CURBLINE	---
~~~~~	TREELINE	~~~~~
---124---	CONTOURS	---124---
---W---	WATER	---W---
---S---	SEWER	---S---
---SD---	STORM DRAIN	---SD---
---	FOOTING DRAIN	---FD---
---UD---	UNDERDRAIN	---
---UGE---	UNDERGROUND ELEC. & TEL.	---UGE & T---
⊗	GATE VALVE	
⊙	LIGHT POLE	
⊙	HYDRANT	
⊙	MANHOLE	
⊙	SPOT GRADE	× 30.20
⊙	DECIDUOUS TREE	⊙
⊙	CONIFEROUS TREE	⊙
---	ZONE LINE	---



### NOTES

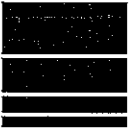
OF: **LOT 1 AUBURN ESTATES**  
AUBURN STREET/LONGVIEW DRIVE  
PORTLAND, MAINE  
FOR: **BRUSH AND HAMMER INC.**  
110 LESTER DRIVE  
PORTLAND, MAINE 04103

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	5-10-06
SCALE:	
FIELD BK:	778
PROJ. NO:	06169
DRAWING:	06169G
<b>SHEET 5 OF 5</b>	

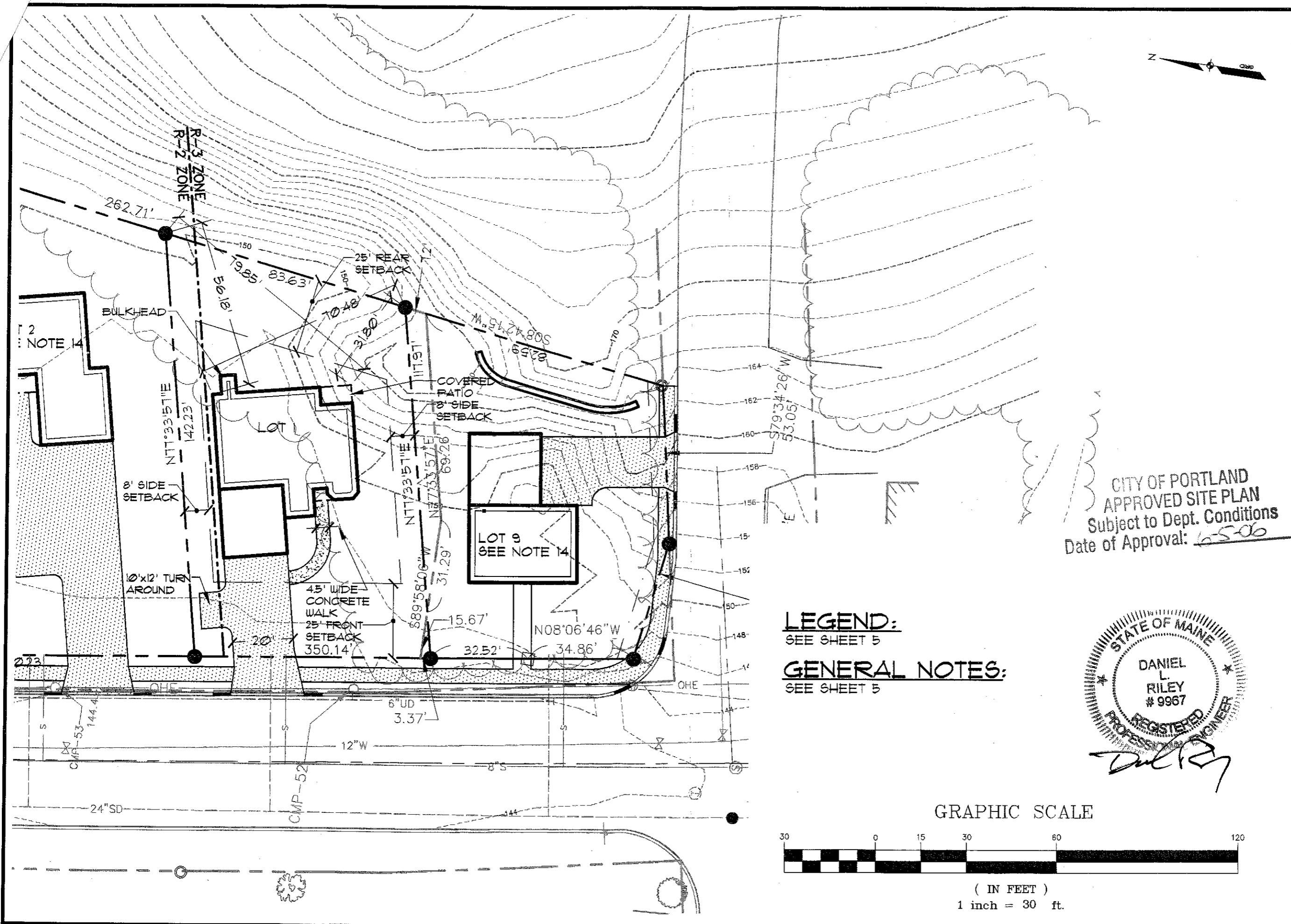


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Tel (207) 856-0277





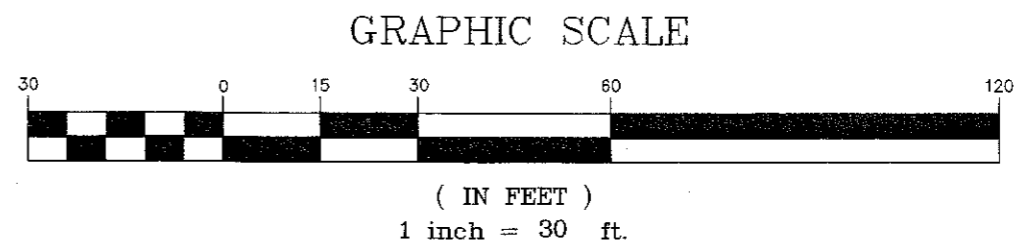
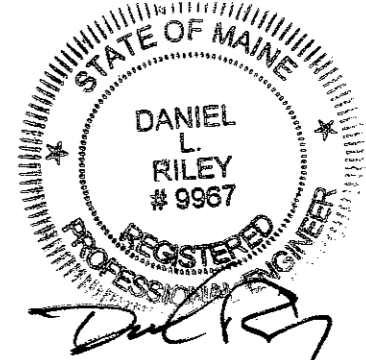
**Sebago Technics**  
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Westbrook, Me 04098-1339



CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 6-5-06

**LEGEND:**  
SEE SHEET 5

**GENERAL NOTES:**  
SEE SHEET 5

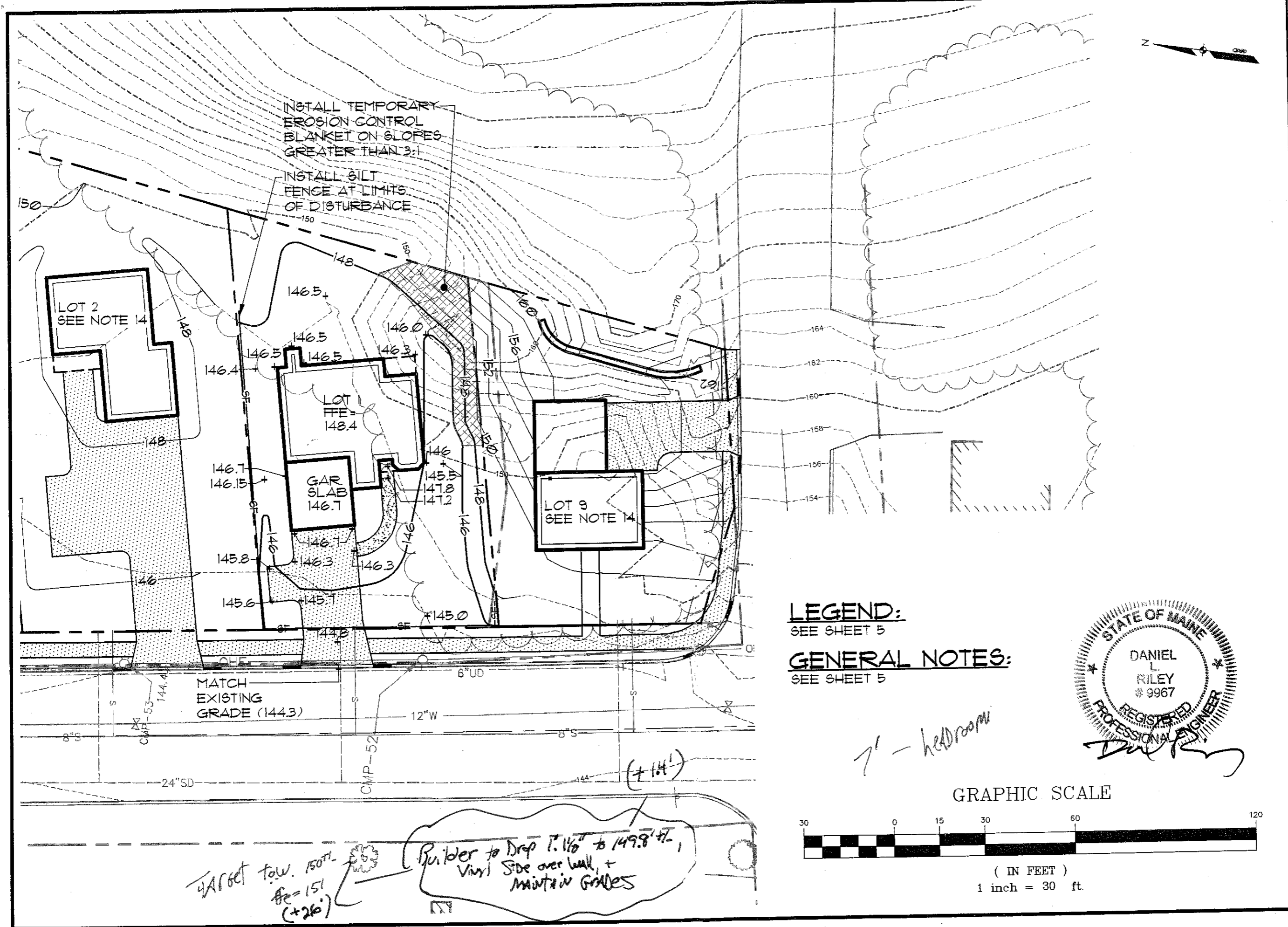


**SITE PLAN**  
OF:  
**LOT 1 AUBURN ESTATES**  
LONGVIEW DRIVE  
PORTLAND, MAINE  
FOR:  
**BRUSH AND HAMMER INC.**  
110 LESTER DRIVE

DESIGN BY:	M
DRAWN BY:	M
CHECKED BY:	I
DATE:	5-10-
SCALE:	1" =
FIELD BK:	
PROJ. NO:	06
DRAWING:	1616

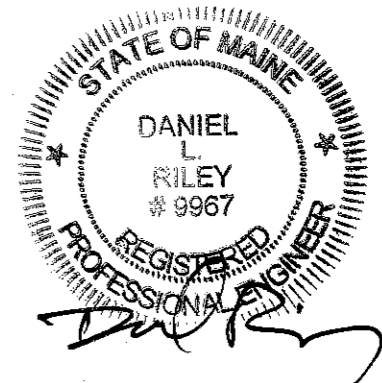


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Westbrook, Me 04098-1339  
Tel: (603) 795-0277  
Fax: (603) 795-0278



**LEGEND:**  
SEE SHEET 5

**GENERAL NOTES:**  
SEE SHEET 5



*7' - headroom*

GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.

*Garbet tow. 150' H_e = 15' (+26')*

*Builder to Drop 1' 1/2" to 149.8' H_e,  
Vinyl Side over wall, +  
Maintain Grades*

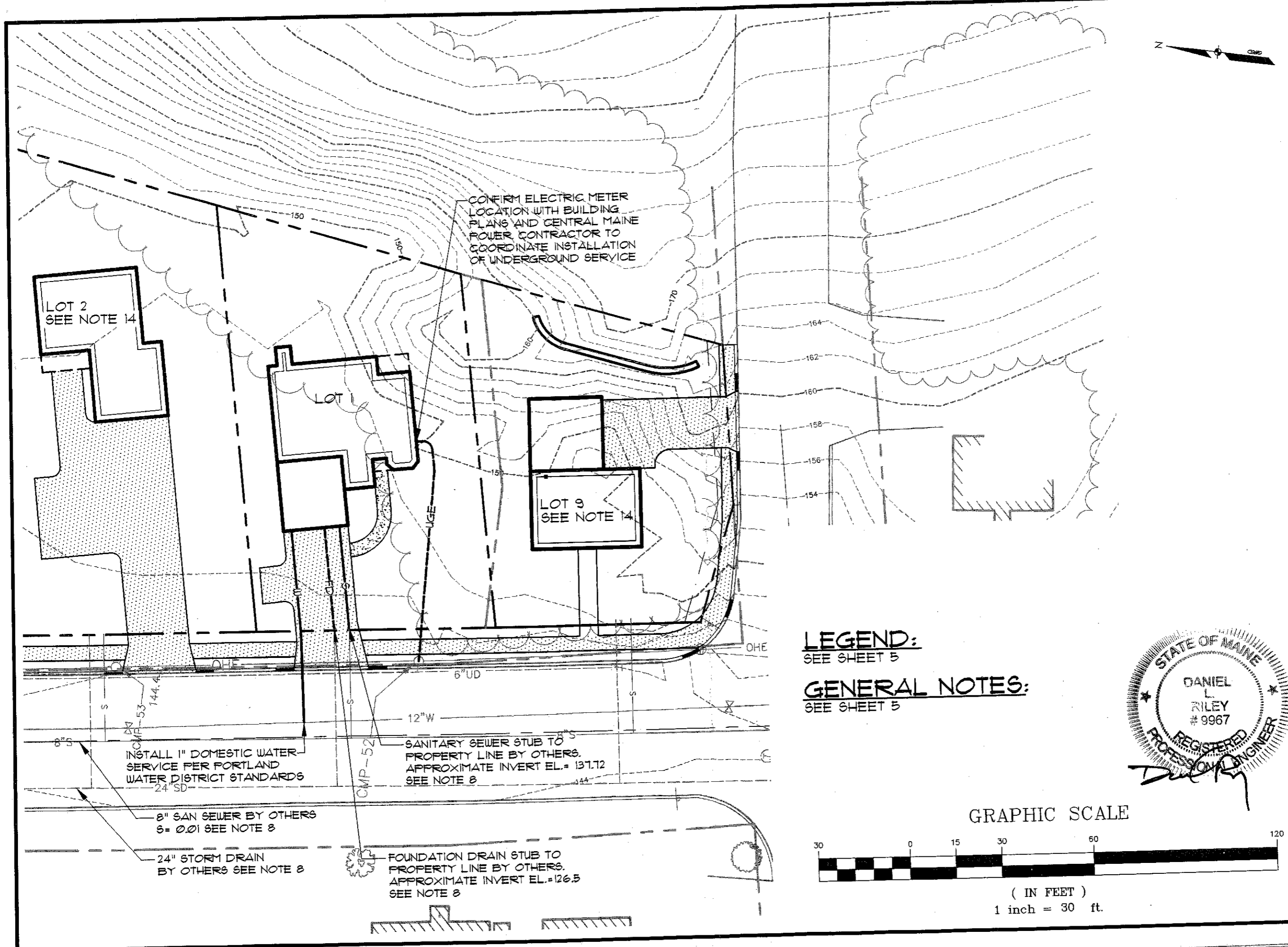
**GRADING PLAN**  
OF:  
**LOT 1 AUBURN ESTATES**  
LONGVIEW DRIVE  
PORTLAND, MAINE  
FOR:  
**BRUSH AND HAMMER INC.**

DESIGN BY:  
DRAWN BY:  
CHECKED BY:  
DATE: 5-1  
SCALE: 1"  
FIELD BK:  
PROJ. NO: C  
DRAWING: 06  
**SHEET 2 OF**



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Tel (707) 856-0277



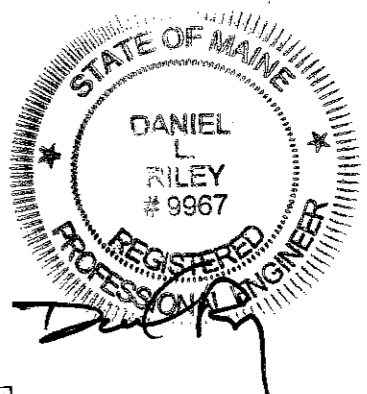
CONFIRM ELECTRIC METER LOCATION WITH BUILDING PLANS AND CENTRAL MAINE POWER CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND SERVICE

LOT 2  
SEE NOTE 14

LOT 3  
SEE NOTE 14

**LEGEND:**  
SEE SHEET 5

**GENERAL NOTES:**  
SEE SHEET 5



INSTALL 1" DOMESTIC WATER SERVICE PER PORTLAND WATER DISTRICT STANDARDS

SANITARY SEWER STUB TO PROPERTY LINE BY OTHERS. APPROXIMATE INVERT EL. = 137.72 SEE NOTE 8

8" SAN SEWER BY OTHERS S = ØØ1 SEE NOTE 8

24" STORM DRAIN BY OTHERS SEE NOTE 8

FOUNDATION DRAIN STUB TO PROPERTY LINE BY OTHERS. APPROXIMATE INVERT EL. = 126.5 SEE NOTE 8

UTILITY PLAN

OF: **LOT 1 AUBURN ESTATES**  
LONGVIEW DRIVE  
PORTLAND, MAINE  
FOR: **BRUSH AND HAMMER INC.**

DESIGN BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	5-1
SCALE:	1
FIELD BK:	
PROJ. NO:	
DRAWING:	0

**SHEET 3 OF**

# GENERAL NOTES

1. APPLICANT: BRUSH AND HAMMER INC.  
110 LESTER DRIVE  
PORTLAND, ME 04103
2. THE PROPERTY IS SHOWN AS LOT 1 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
3. TOTAL AREA OF PARCEL: ..... 10,148 SQUARE FEET (0.23 ACRES).
4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929). VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.
6. PLAN REFERENCES:  
A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.

7. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 AND R-3 ZONES. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

	R-2 ZONE	R-3 ZONE
MIN. LOT SIZE	10,000 SF.	6,500 SF.
MIN. AREA PER DWELLING UNIT	10,000 SF.	6,500 SF.
MIN. STREET FRONTAGE	50 FT.	50 FT.
MIN. FRONT YARD SETBACK	25 FT.	25 FT.
MIN. REAR YARD SETBACK	25 FT.	25 FT.
MIN. SIDE YARD SETBACK		
1 STORY	12 FT.	8 FT.
1 1/2 STORY	12 FT.	8 FT.
2 STORY	14 FT.	14 FT.
2 1/2 STORY	16 FT.	16 FT.
MIN. SIDE YARD SETBACK ON SIDE STREET	20 FT.	20 FT.
MAX. LOT COVERAGE (BLDG. FOOTPRINT)	20%	25%
MIN. LOT WIDTH	80 FT.	75 FT.
MAX. BLDG. HEIGHT (PRINCIPAL)	35 FT.	35 FT.
MAX. BLDG. HEIGHT (DETACHED ACCESSORY)	18 FT.	18 FT.

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET.

8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE AND AUBURN STREET ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.

10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.

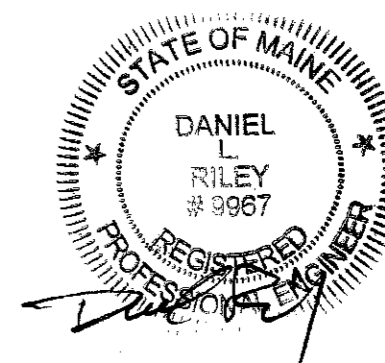
12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HERON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.

13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.

14. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 2 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 2 AUBURN ESTATES" FOR SHARON PELLETIER BY SEBAGO TECHNICS, INC. DATED APRIL 7, 2005. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 3 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 3 AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC. DATED APRIL 28, 2005.

## LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
////	BUILDING	---
+	SIGN	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
~~~~~	TREELINE	~~~~~
---124---	CONTOURS	---124---
---W---	WATER	---W---
---S---	SEWER	---S---
---SD---	STORM DRAIN	---SD---
---	FOOTING DRAIN	---FD---
---UD---	UNDERDRAIN	---
---UGE---	UNDERGROUND ELEC. & TEL.	---UGE#T---
⊗	GATE VALVE	
⊙	LIGHT POLE	
⊕	HYDRANT	
⊙	MANHOLE	
30.20	SPOT GRADE	x 30.20
⊙	DECIDUOUS TREE	⊙
⊙	CONIFEROUS TREE	⊙
====	ZONE LINE	

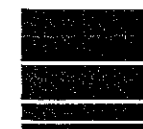


NOTES

OF: **LOT 1 AUBURN ESTATES**
AUBURN STREET/LONGVIEW DRIVE
PORTLAND, MAINE

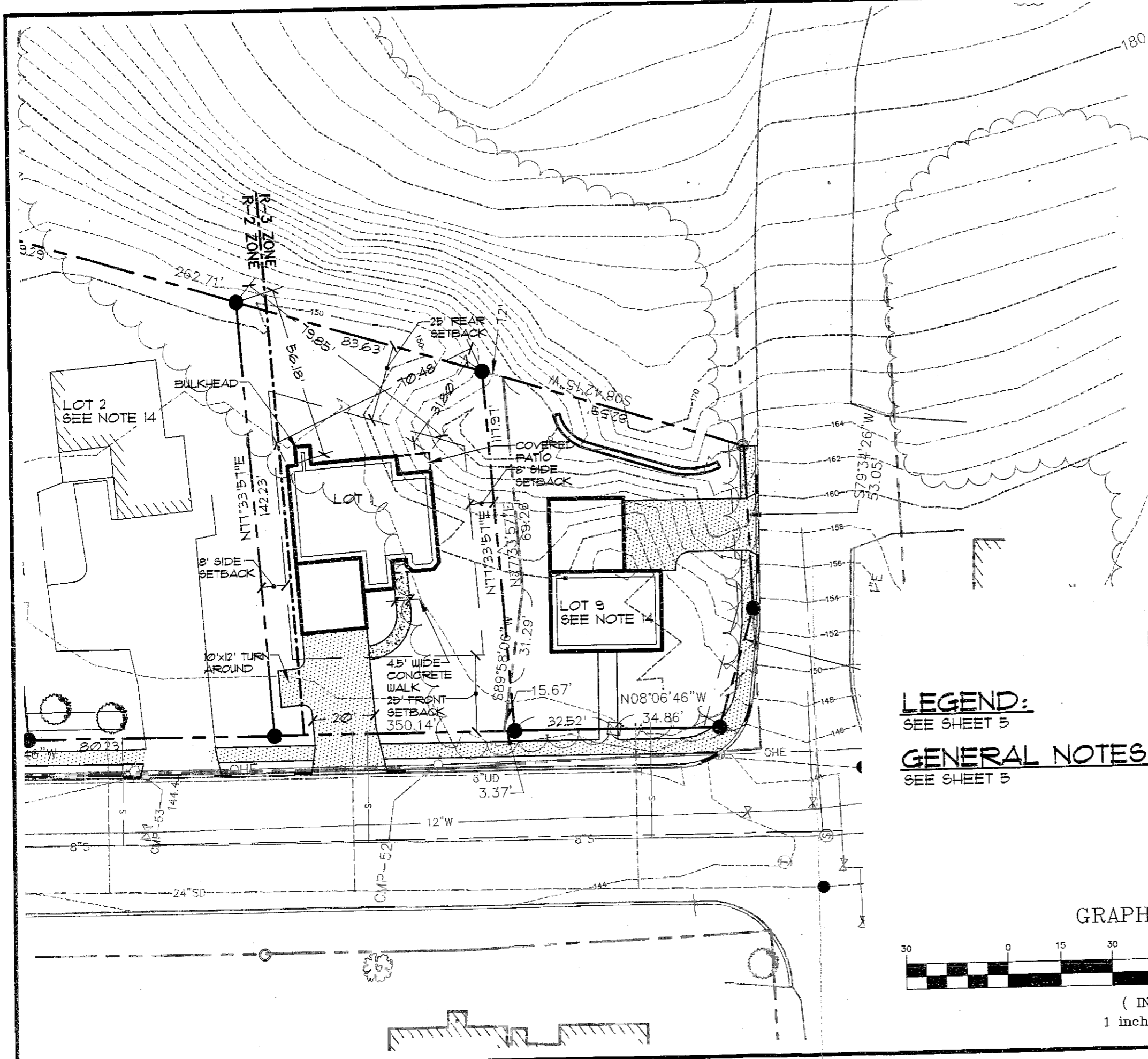
FOR: **BRUSH AND HAMMER INC.**
110 LESTER DRIVE

DESIGN BY:	MT
DRAWN BY:	MT
CHECKED BY:	DI
DATE:	5-10-06
SCALE:	
FIELD BK:	77
PROJ. NO:	0616
DRAWING:	0616S



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Tel: (207) 856-0277

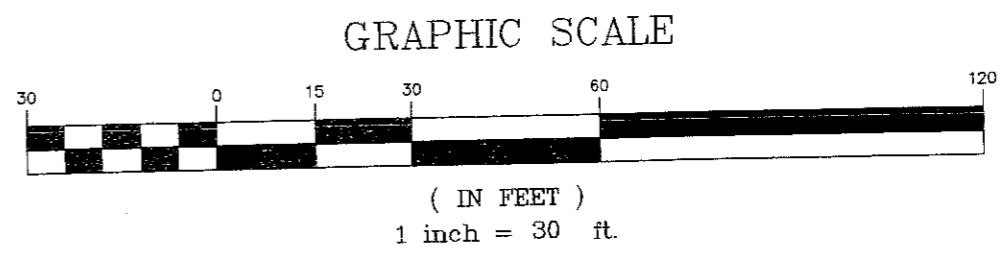


*Phil Requiere
539 Auburn St
807-2586*

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 8-21-06

LEGEND:
SEE SHEET 5

GENERAL NOTES:
SEE SHEET 5



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Tel (207) 856-0277

*Phil Requiere
539 Auburn St
807-2586*

DANIEL L. RILEY
19967
REGISTERED PROFESSIONAL ENGINEER
STATE OF MAINE

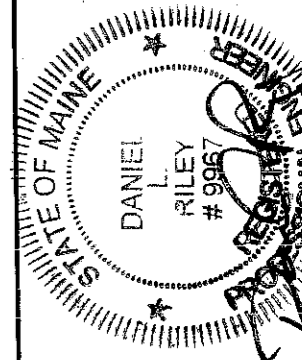
SITE PLAN
OF: **LOT 1 AUBURN ESTATES**
LONGVIEW DRIVE
PORTLAND, MAINE
FOR: **BRUSH AND HAMMER INC.**
110 LESTER DRIVE
PORTLAND, MAINE 04103

DESIGN BY:	MT
DRAWN BY:	MT
CHECKED BY:	DL
DATE:	8-17-06
SCALE:	1"=30'
FIELD BK:	77
PROJ. NO:	0616
DRAWING:	16169

SHEET 1 OF 5



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GRADING PLAN
OF:
LOT 1 AUBURN ESTATES
LONGVIEW DRIVE
PORTLAND, MAINE
FOR:
BRUSH AND HAMMER INC.
110 LESTER DRIVE
PORTLAND, MAINE 04103

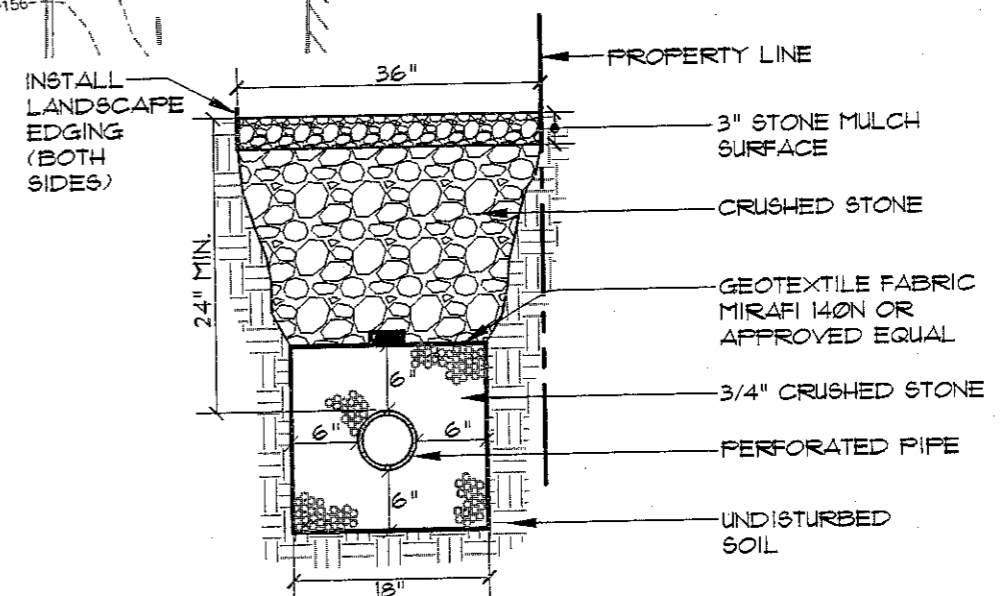
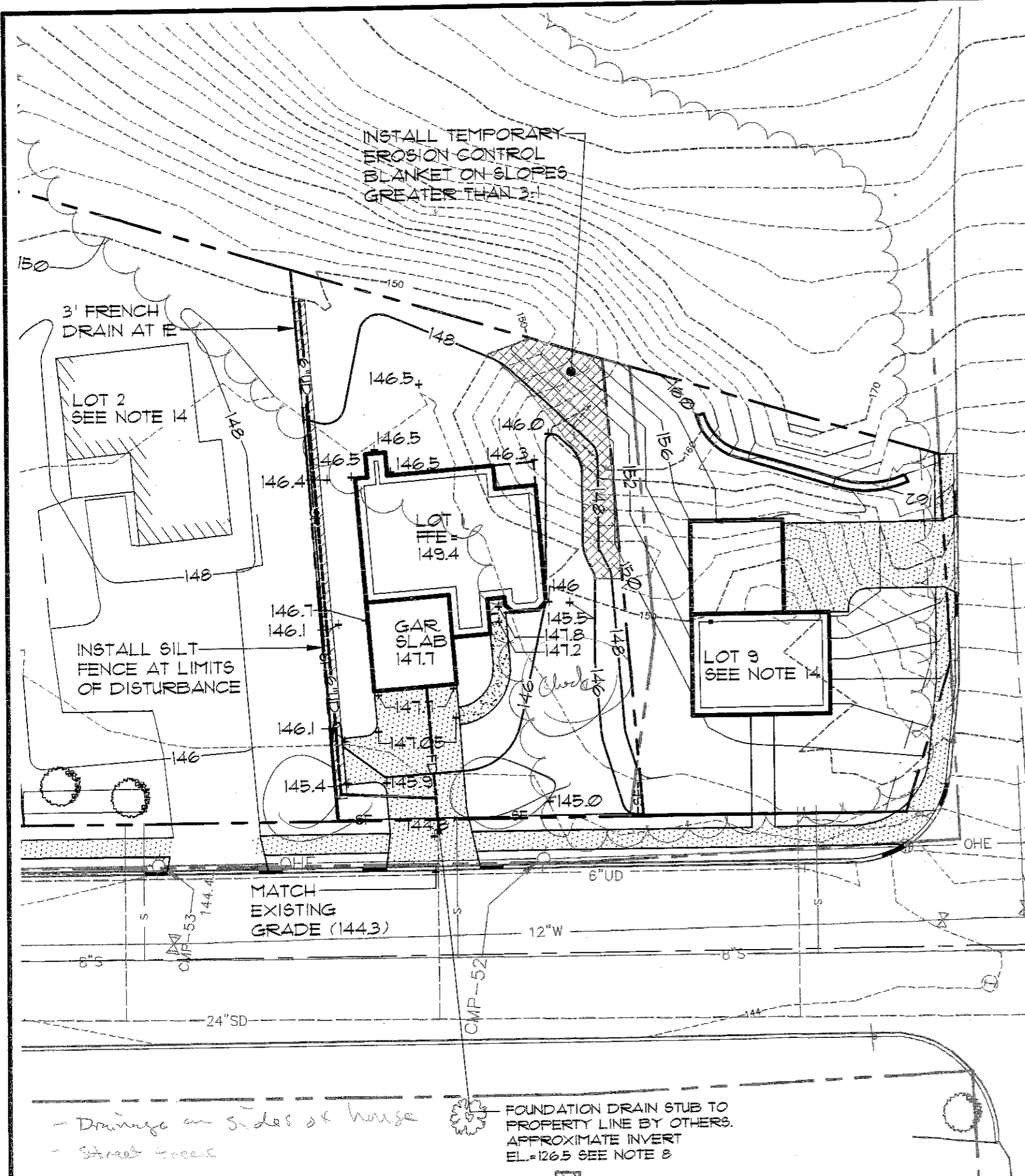
DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLF
DATE:	8-17-06
SCALE:	1"=30'
FIELD BK:	778
PROJ. NO:	06169
DRAWING:	06169

LEGEND:
SEE SHEET 5

GENERAL NOTES:
SEE SHEET 5

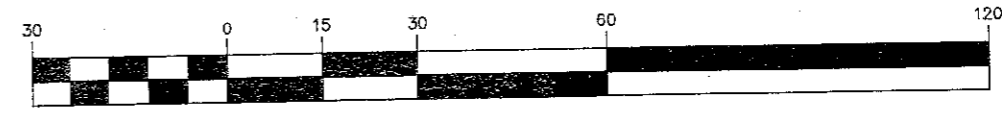
Revision

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 8-21-06



FRENCH DRAIN SECTION
NOT TO SCALE

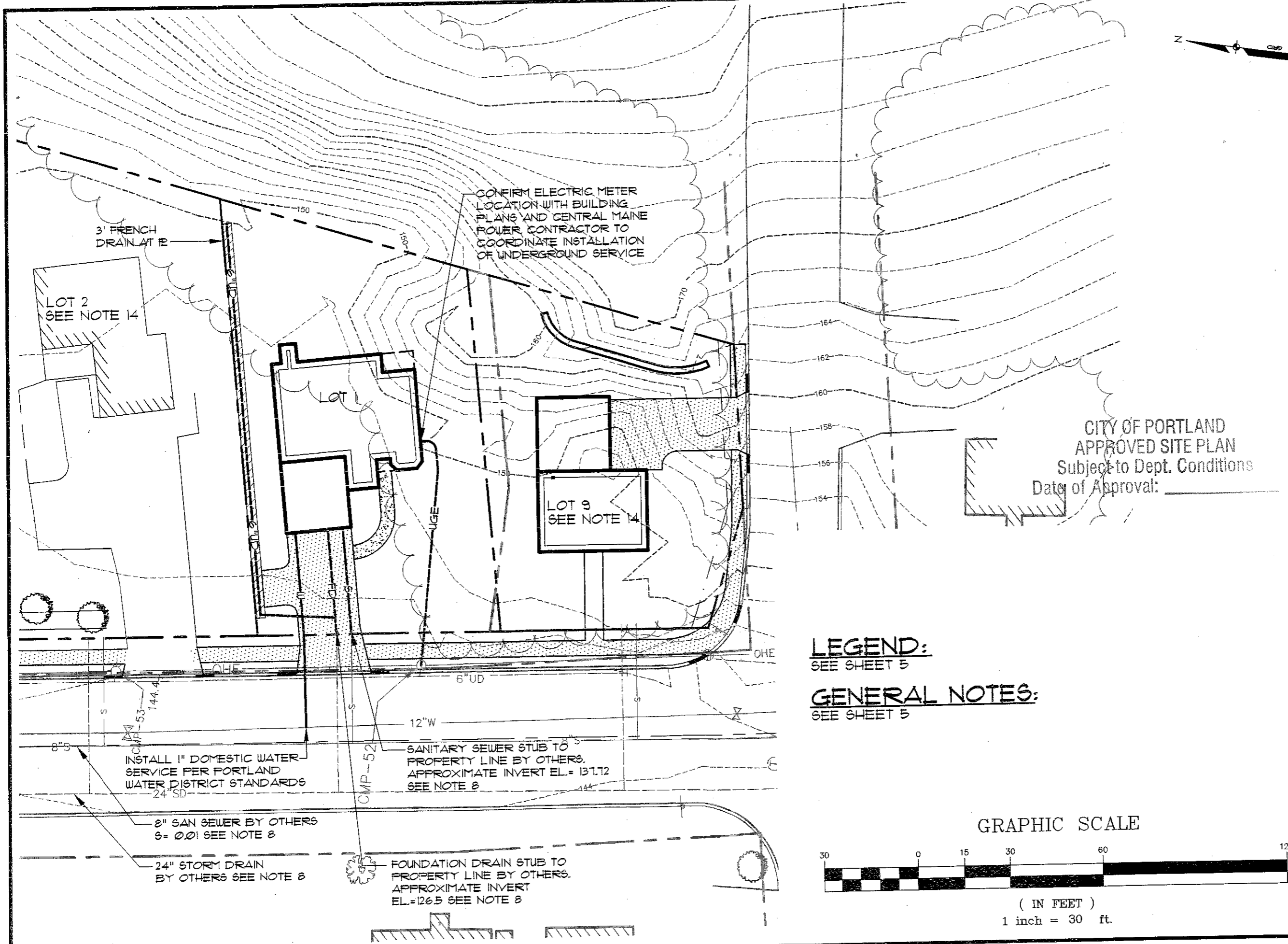
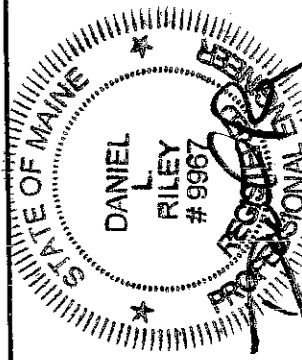
GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



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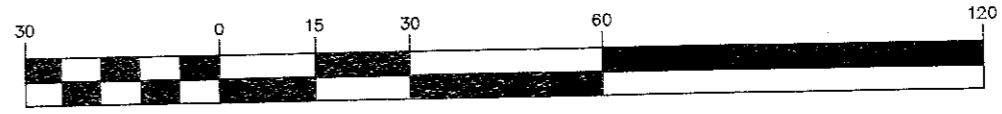
CONFIRM ELECTRIC METER LOCATION WITH BUILDING PLANS AND CENTRAL MAINE POWER CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND SERVICE

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: _____

LEGEND:
SEE SHEET 5

GENERAL NOTES:
SEE SHEET 5

GRAPHIC SCALE



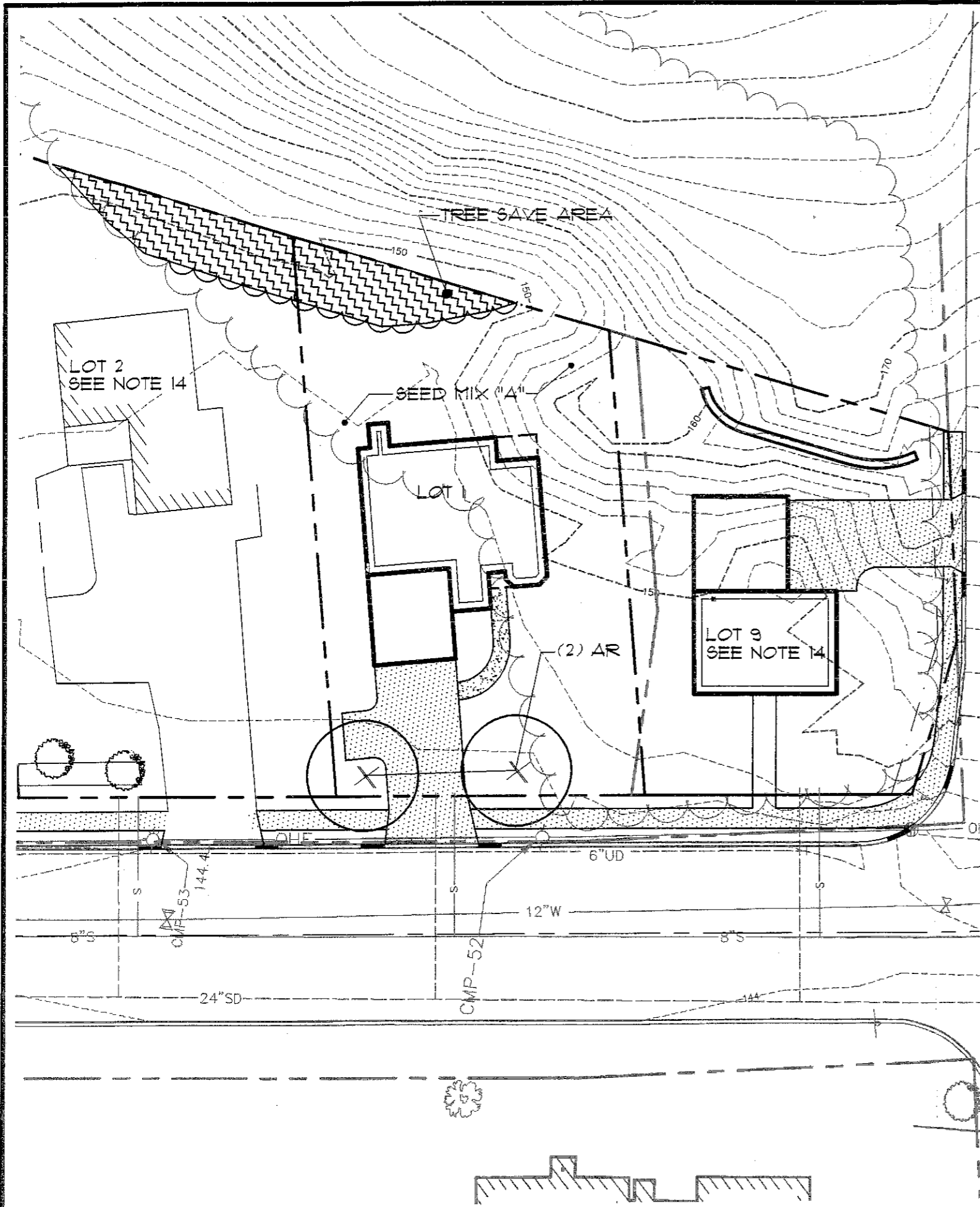
(IN FEET)
1 inch = 30 ft.

UTILITY PLAN
OF:

LOT 1 AUBURN ESTATES
LONGVIEW DRIVE
PORTLAND, MAINE
FOR:
BRUSH AND HAMMER INC.
110 LESTER DRIVE
PORTLAND, MAINE 04103

DESIGN BY:	MTV
DRAWN BY:	MTV
CHECKED BY:	DLI
DATE:	8-17-06
SCALE:	1" = 30'
FIELD BK:	77
PROJ. NO:	0616
DRAWING:	06169

SHEET 3 OF 5



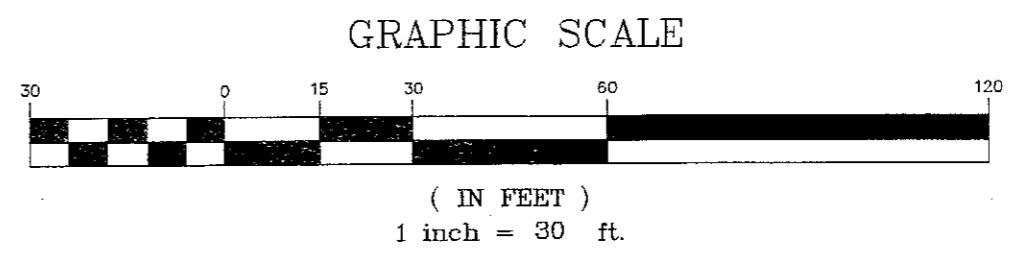
CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: _____

KEY	BOTANICAL/COMMON NAME	SIZE/REMARKS
AR	ACER RUBRUM/RED MAPLE	3" CAL.

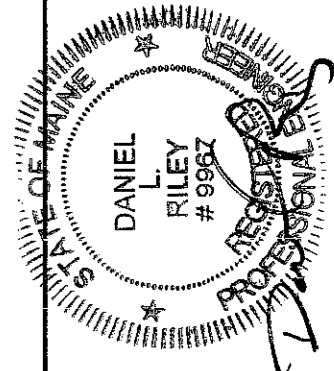
SEED MIX "A" M.D.O.T. NO. 1 (PARK MIXTURE)

LEGEND:
 SEE SHEET 5

GENERAL NOTES:
 SEE SHEET 5



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LANDSCAPE PLAN
 OF:
LOT 1 AUBURN ESTATES
 LONGVIEW DRIVE
 PORTLAND, MAINE
 FOR:
BRUSH AND HAMMER INC.
 110 LESTER DRIVE
 PORTLAND, MAINE 04103

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	8-17-06
SCALE:	1"=30'
FIELD BK:	778
PROJ. NO:	06169
DRAWING:	06169G

GENERAL NOTES

1. APPLICANT: BRUSH AND HAMMER INC.
110 LESTER DRIVE
PORTLAND, ME 04103
2. THE PROPERTY IS SHOWN AS LOT 1 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
3. TOTAL AREA OF PARCEL: 10,148 SQUARE FEET (0.23 ACRES).
4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929). VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.
6. PLAN REFERENCES:
A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.

7. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 AND R-3 ZONES. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

	R-2 ZONE	R-3 ZONE
MIN. LOT SIZE	10,000 SF.	6,500 SF.
MIN. AREA PER DWELLING UNIT	10,000 SF.	6,500 SF.
MIN. STREET FRONTAGE	50 FT.	50 FT.
MIN. FRONT YARD SETBACK	25 FT.	25 FT.
MIN. REAR YARD SETBACK	25 FT.	25 FT.
MIN. SIDE YARD SETBACK		
1 STORY	12 FT.	8 FT.
1½ STORY	12 FT.	8 FT.
2 STORY	14 FT.	14 FT.
2½ STORY	16 FT.	16 FT.
MIN. SIDE YARD SETBACK ON SIDE STREET	20 FT.	20 FT.
MAX. LOT COVERAGE (BLDG. FOOTPRINT)	20%	25%
MIN. LOT WIDTH	80 FT.	75 FT.
MAX. BLDG. HEIGHT (PRINCIPAL)	35 FT.	35 FT.
MAX. BLDG. HEIGHT (DETACHED ACCESSORY)	18 FT.	18 FT.

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN TWELVE (12) FEET.

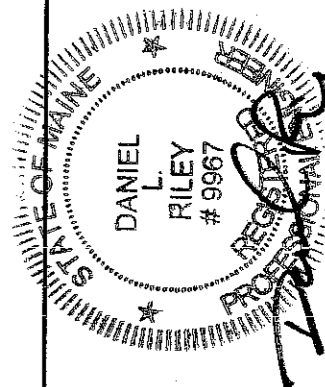
8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE AND AUBURN STREET ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.
12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HERON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.
13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
14. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 2 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 2 AUBURN ESTATES" FOR SHARON PELLETIER BY SEBAGO TECHNICS, INC. DATED APRIL 7, 2005. PROPOSED SITE AND GRADING INFORMATION SHOWN ON LOT 9 TAKEN FROM "SINGLE FAMILY RESIDENTIAL LOT PLAN OF LOT 9 AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC. DATED APRIL 28, 2005.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
	BUILDING	
—	SIGN	—
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
~~~~~	TREELINE	~~~~~
---124---	CONTOURS	---124---
—W—	WATER	—W—
—S—	SEWER	—S—
—SD—	STORM DRAIN	—SD—
---	FOOTING DRAIN	---FD---
---	UNDERDRAIN	---
---	UNDERGROUND ELEC. & TEL.	---UGE#T---
⊗	GATE VALVE	
⊙	LIGHT POLE	
⊙	HYDRANT	
⊙	MANHOLE	
⊙	SPOT GRADE	⊙ × 30.20
⊙	DECIDUOUS TREE	⊙
⊙	CONIFEROUS TREE	⊙
---	ZONE LINE	---

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: _____



**NOTES**

OF: **LOT 1 AUBURN ESTATES**  
AUBURN STREET/LONGVIEW DRIVE  
PORTLAND, MAINE

FOR: **BRUSH AND HAMMER INC.**  
110 LESTER DRIVE  
PORTLAND, MAINE 04103

DESIGN BY:	MTW
DRAWN BY:	MTW
CHECKED BY:	DLR
DATE:	8-17-06
SCALE:	NONE
FIELD BK:	778
PROJ. NO:	06169
DRAWING:	06169G

**SHEET 5 OF 5**

**Sebago Technics**  
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Westbrook, Me 04098-1339  
Tel (207) 856-0277