

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

Permit Number: 030991

This is to certify that Morin Eugene D &/M. R. Br...
has permission to remodel entire fist floor living space
AT 564 Auburn St 382A C002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must given and when permit is procured before this building or part thereof is occupied or closed-in. HOUR NOTICE IS REQUIRED.

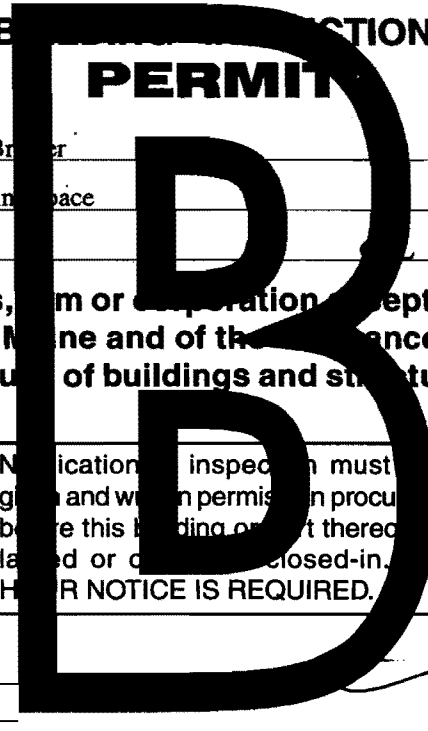
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
Director Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0991 Issue Date: CBL: 382A C002001

Location of Construction: 564 Auburn St		Owner Name: Morin Eugene D &		Owner Address: 564 Auburn St		Phone: 207-797-4545	
Business Name:		Contractor Name: M. R. Brewer		Contractor Address: 91 Bell Street Portland		Phone: 2077977534	
Lessee/Buyer's Name:		Phone:		Permit Type: Alterations - Dwellings			Zone: R-2
Past Use: single family		Proposed Use: single family w/interior renovations		Permit Fee: \$606.00	Cost of Work: \$65,000.00	CEO District: 2	30,000 SF
Proposed Project Description: remodel entire first floor living space				FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied		INSPECTION: Use Group: R-3 Type: SB BOCA 99	
				Signature:		Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)							
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied							
Signature: Date:							

Permit Taken By: tmm		Date Applied For: 08/19/2003		Zoning Approval			
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>		Special Zone or Reviews		Zoning Appeal		Historic Preservation	
		<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 8/19/03		<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:		<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 8/19/03	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

9/17/02 - checked Framing / plumbing / electric
no problems except forod. ok to close in.
Tom M

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0991	Date Applied For: 08/19/2003	CBL: 382A C002001
-----------------------	---------------------------------	----------------------

Location of Construction: 564 Auburn St	Owner Name: Morin Eugene D &	Owner Address: 564 Auburn St	Phone: 207-797-4545
Business Name:	Contractor Name: M. R. Brewer	Contractor Address: 91 Bell Street Portland	Phone: (207) 797-7534
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	
Proposed Use: single family w/interior renovations		Proposed Project Description: remodel entire first floor living space	
Dept: Zoning	Status: Approved	Reviewer: Tammy Munson	Approval Date: 08/19/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved	Reviewer: Tammy Munson	Approval Date: 08/19/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>564 Auburn St. Portland Maine</u>		
Total Square Footage of Proposed Structure <u>1388</u>	Square Footage of Lot <u>200x150 = 30,000</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>382A</u> Block# <u>C</u> Lot# <u>002</u>	Owner: <u>Eugene D + Jane B Morin JTS</u>	Telephone: <u>797-4545</u> *
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Eugene D. Morin 564 Auburn St. Portland 797-4545</u>	Cost Of Budget Work: \$ <u>65,000.00</u> Fee: \$ <u>600.00</u>
Current use: <u>Residence</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>Remodel first floor of residence Interior Reno's</u>		
Project description: <u>New kitchen, master bath, dining room and add closet and storage space (lanted)</u>		
Contractor's name, address & telephone: <u>M. R. Brewer 91 Bell St Portland, Me 797-7534</u>		
Who should we contact when the permit is ready: <u>Michael Locke (Project manager)</u>		
Mailing address: <u>91 Bell St. Portland, Maine 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-7534</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Eugene D. Morin</u>	Date: <u>8-12-03</u>
--	----------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

576

SINGLE FAMILY ADDITIONS AND ALTERATIONS

Your submissions must include the following to be accepted as a complete application:

- ✓ 1 copy of the deed if you have owned the property less than 365 days
- N/A ✓ 1 copy of a legible site/plot plan (*Interior renovation only*)
- ✓ 1 copy of the building/construction plan *Included*
- ✓ If your plans are larger than 11" x 17" we will need one copy on paper no larger than 11" x 17" of all submissions. We cannot accept applications without the reduced submission. Electronic plans may be submitted in place of the 11" x 17" copies.

N/A If you are doing an exact replacement of a deck, stairs or shed it will still require a plot plan, showing all setbacks from property lines to finished construction.

PLOT PLAN INCLUDES THE FOLLOWING:

- A neat legible scaled plot plan must be submitted. This plan must show all setbacks from all property lines from finished construction. This will include all existing buildings with dimensions. The plan must show all proposed additions/alterations/accessory structures with dimensions. If the property has any easements, please scale them into your plot plan, along with parking areas and driveways with dimensions.
- The proposed construction measurements must be staked out for a site plan visit to confirm measurements on the plot plan. This includes all property pins in relation to proposed construction.

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details - *See Enclosed architectural floor plan*
- Floor Plans & Elevations - " " " "
- Window and door schedules - " " " "
- N/A • Foundation plans with required drainage and damp proofing *no changes*
- Stair and handrail details (interior & exterior) *See Enclosed*
- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) Installation must comply with the 1993 BOCA Mechanical Code.

The cost of construction is as follows:

Basic permit fee: \$30.00

The first \$1,000.00 worth of construction is covered in the \$30.00 base fee

Every additional \$1,000.00 will cost ~~\$7.00~~ **\$9.00**

If a Certificate of Occupancy is needed, it must be issued and paid for before the structure may be occupied. The fee is \$75.00

**ALL Purpose Building
Permit Application**

for

Eugene D. & Jane B. Morin
564 Auburn Street
Portland, Maine 04103
797-4545

Presented to:

Tammy Munson
Residential Plan Reviewer
Portland City Hall
4th Floor
Portland, Maine 04101

August 14, 2003

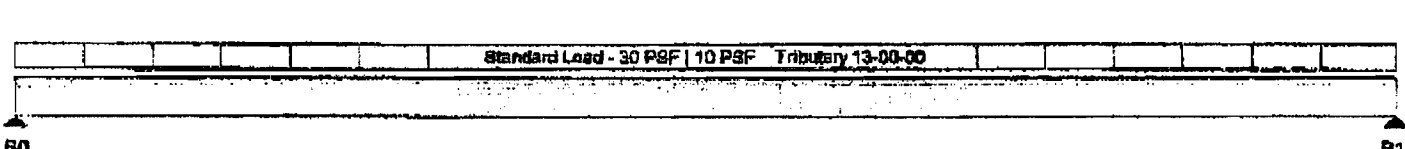


BC CALC® 2002 DESIGN REPORT - US

Single 3 1/2" x 9 1/2" VERSA-LAM® 3080 DF
 Job Name -
 Address -
 City, State, Zip - **01/2-LVL**
 Customer -
 Code reports - ICSO 5663, NER 442

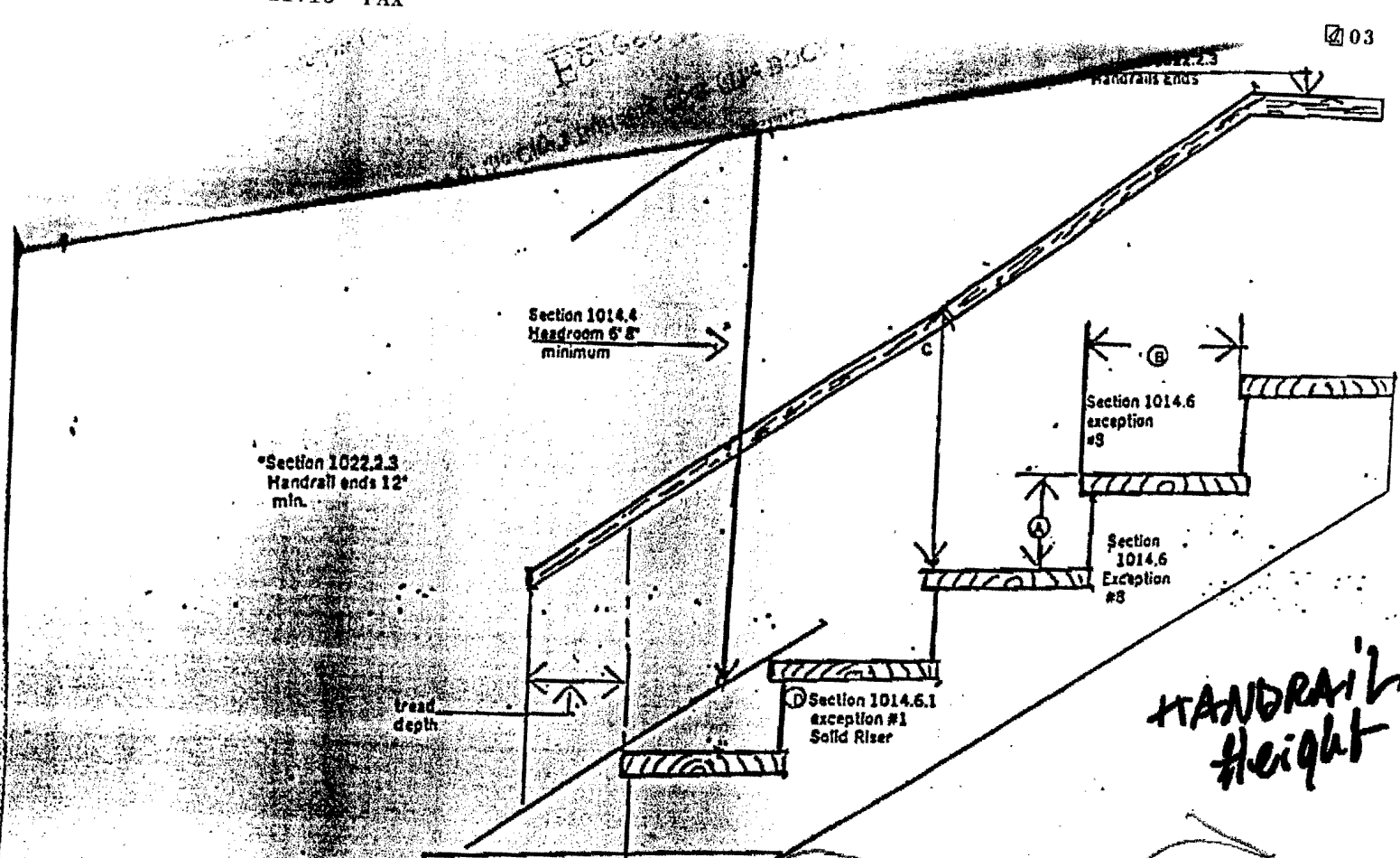
File Name - BC CALC Project: FB01
 Description -
 Specifier -
 Designer - MB
 Company - Hancock Lumber
 Misc -

*** BEAM REQUIRED**



B0 2340 lbs LL, 831 lbs DL
 B1 2340 lbs LL, 831 lbs DL
 Total Horizontal Length - 12-00-00

General Data		Load Summary									
Version:	US Imperial	ID	Description	Load Type	Ref.	Start	End	Live	Dead	Trib.	Dur.
Member Type:	Floor Beam	S	Standard	Unf. Area Load	Left	00-00-00	12-00-00	30 PSF	10 PSF	13-00-00	100
Number of Spans:	1	Controls Summary									
Left Cantilever:	No	Control Type	Value	% Allowable	Duration	Loadcase	Span Location				
Right Cantilever:	No	Moments	9514 ft-lbs	68.6%	@ 100%	2	1 - Internal				
Slope:	0/12	End Shear	2753 lbs	43.8%	@ 100%	2	1 - Left				
Tributary:	13-00-00	Total Deflection	L/252 (0.483")	82.2%		2	1				
Repetitive:	n/a	Live Deflection	L/395 (0.364")	81.0%		2	1				
Construction Type:	n/a	Span/Depth	15.2				1				
Live Load:	30 PSF	NOTES:									
Dead Load:	10 PSF	Design meets Code minimum (L/240) Total load deflection criteria.									
Part Load:	0 PSF	Design meets Code minimum (L/360) Live load deflection criteria.									
Duration:	100	Minimum bearing length for B0 is 1-1/2".									
		Minimum bearing length for B1 is 1-1/2".									
		Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing									
Disclosures		The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.									
		Over head beam required between kitchen and dining room. See architectural floor plan enclosed.									
		BC CALC®, BC FRAMER®, BCi®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLI@ST® and AJS™ are registered trademarks of Boise Cascade Corporation.									

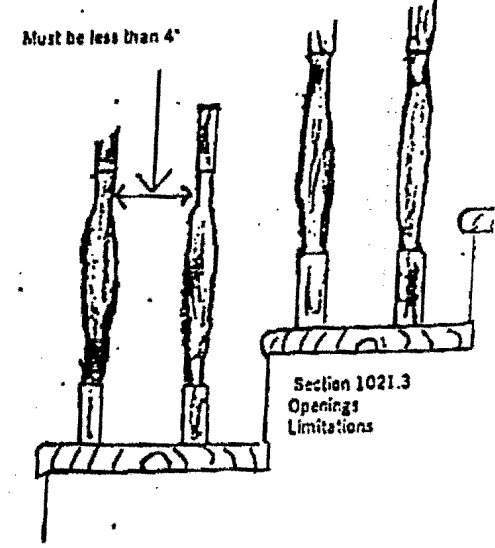
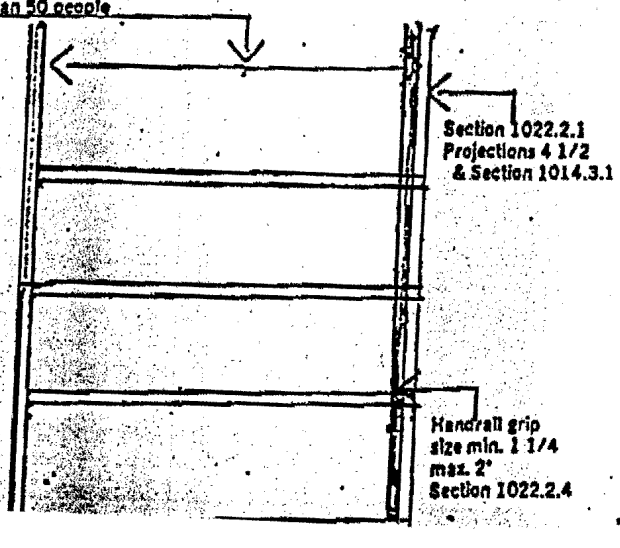


HANDRAIL Height

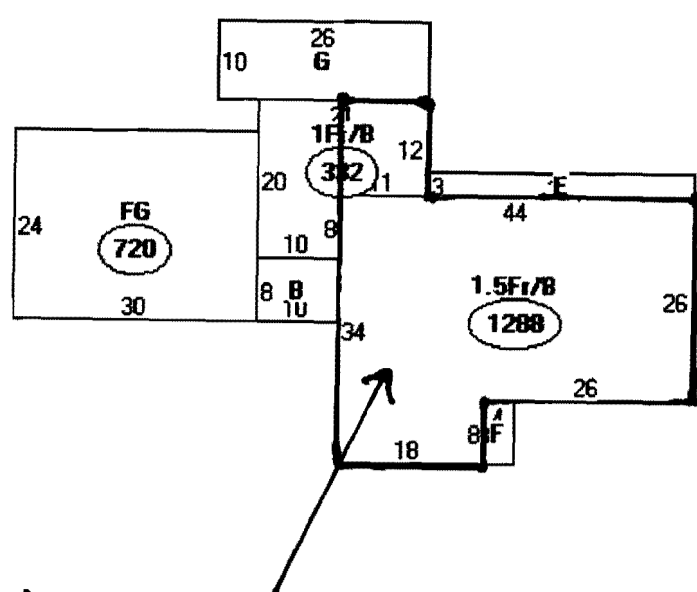
	Section 1014.6 Exception #8	Section 1014.6 Exception #8	Section 1022.2.2	Section 1014.6.1	Section 1021
	A Maximum Riser Height	B Minimum Tread Depth	C Handrail Height Not part of Guardrail	D Solid Riser	E Guards Height
1 & 2 Family Dwellings	7 7/8"	10"	34" to 38"	4" Maximum Opening Different	36" 36" 42"
All Other Use Groups	7"	11" <i>No Notice</i>	34" to 38"		

*Guards along open-sided floor areas and along stairs located less than 36 inches (914mm) above the floor or grade below shall not be less than 36 inches (914mm) in height.
 *Guards shall be located along open-sided walking surfaces, mezzanines, stairways, ramps and landings which are located more than 15 1/2 inches (394mm) above the floor or grade below. The guards shall be constructed in accordance with Section 1021.8.
 *Handrail extensions are not required for stairways within a dwelling unit Section 1022.2.3.
 *There must not be a variation exceeding 3/16 of an inch in the depth of adjacent treads or in the height of adjacent risers. Section 1014.6.2.
 *The difference between the largest and the smallest tread or between the largest and the smallest riser cannot exceed 3/8 of an inch. Section 1014.6.3.

W=36" for 1&2 family homes and occupancies with less than 50 people
 Section 1014.3
 Exception #3



564 Auburn St.



Descriptor/Area
A: 1.5F/B 1288 sqft
B: EP 80 sqft
C: 1F/B 332 sqft
D: FG 720 sqft
E: 1F 99 sqft
F: CNPY 32 sqft
G: WD 260 sqft

Area of renovation
1388 sq. Feet

(Portion of 1st Floor)

$$\begin{array}{r}
 1288 \\
 \times 1.75 \\
 \hline
 2254 \\
 332 \\
 \hline
 2586
 \end{array}$$

Electrical Contractor :
 Greg Gould Electric Inc
 13 Parl Place Portland, Me
 (207) 797-2773 04103

Plumbing + Heating Contractor :
 Darling Plumbing + Heating
 27 Vannah Ave.
 Portland, Me. 04103
 (207) 773-9525

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	382A C002001
Location	564 AUBURN ST
Land Use	SINGLE FAMILY
Owner Address	MORIN EUGENE D & JANE B JTS 564 AUBURN ST PORTLAND ME 04103
Book/Page	
Legal	382A-C-2 386-C-9 AUBURN ST 558-572
	30000 SF

Valuation Information

Land	Building	Total
\$34,130	\$121,800	\$155,930

Property Information

Year Built 1955	Style Cape	Story Height 1.5	Sq. Ft. 2685	Total Acres 0.689
Bedrooms 3	Full Baths 1	Half Baths 1	Total Rooms 7	Attic None
				Basement Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
POOL-PREFAB	1	1980	22X40	C	A
PLASTIC LINER	1	1980	10X20	C	A
SHED-FRAME	1	1970	6X6	D	A
SHED-FRAME					

Sales Information

Date	Type	Price	Book/Page
-------------	-------------	--------------	------------------

Picture and Sketch

[Picture](#) [Sketch](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.



DUE SEPT 5, 2003	DUE MARCH 5, 2004	AMOUNT PAID	INTEREST DUE	PAY THIS AMOUNT
\$2,034.52	\$2,034.52	\$0.00	\$0.00	\$2,034.52

FIRST BILLING
382A- C-002-001

ACCOUNT NUMBER 39546

382A- C-002-001

Assessed Property Description
382A-C-2 386-C-9
AUBURN ST 558-572
30000 SF

RE 39546
MORIN EUGENE D &
JANE B JTS
564 AUBURN ST
PORTLAND ME 04103

BRING COMPLETE TAX BILL WHEN
PAYING IN PERSON.

Please Make Your Check Payable to:
City of Portland

PARTIAL PAYMENTS MAY BE MADE
AT ANY TIME.

Change of Address

Name:

RETURN THIS TOP PORTION WITH PAYMENT

Credit cards are not accepted for property tax payments.

KEEP THIS PORTION

ACCOUNT NUMBER
39546

REAL ESTATE PROPERTY TAX STATEMENT
City of Portland

2004

Fiscal Year
July 1, 2003 - June 30, 2004
Owner or Record as of April 1, 2003

MORIN EUGENE D &
JANE B JTS
564 AUBURN ST
PORTLAND ME 04103

CBL
382A- C-002-001

Assessed Property Description
382A-C-2 386-C-9
AUBURN ST 558-572
30000 SF

CURRENT BILLING DISTRIBUTION		CURRENT BILLING INFORMATION	
School	\$2,042.65	Land Value	\$34,130.00
Public Works	\$207.52	Building Value	\$121,800.00
Parks & Recreation	\$101.73	Total Value	\$155,930.00
Fire	\$313.32	Exemptions	\$0.00
Police	\$305.18	Homestead	\$4,100.00
Debt Repayments	\$349.94	Taxable Value	\$151,830.00
General Government	\$329.59	Tax Rate	\$26.80
County	\$142.42	TOTAL TAX	\$4,069.04
Health & Human Services	\$20.35	AMOUNT PAID	\$0.00
Library	\$122.07		
Metro Transit District	\$77.31		
Enterprise Funds	-\$8.14		
Regional Waste Systems	\$65.10		

Remittance Instructions

To avoid standing in line, it is recommended that taxes be paid by mail. Please make check or money order payable to: **CITY OF PORTLAND. Credit cards are not accepted for property tax payments.**

Use enclosed envelope to mail in your payment.

Use top right margin for change of address.

Remit To: CITY OF PORTLAND MAINE
FINANCE DEPARTMENT
TREASURY AND COLLECTION DIVISION
P O BOX 544
PORTLAND ME 04112-0544

Date: 8/15/03

TO: Tammy Munson

From: Gene Morin

Subject: Building (renovation) permit
564 Auburn St.

Tammy:

Enclosed please find the information you requested from me yesterday. Per your suggestion, I would like also to secure electrical and plumbing + heating building permits from your office. The information you need is as follows:

Electrician: Greg Gould Electric Inc
Master's License No. 15533

Plumbing + Heating: Darling plumbing + heating
Tim Darling Master License # 07160

Thank you for your assistance in handling my building permit process.

Gene Morin



CITY OF PORTLAND, MAINE
Department of Building Inspections

August 14 20 03

Received from E. D. Merrill Associates

Location of Work 561 Auburn St.

Cost of Construction \$ _____

Permit Fee \$ 606.⁰⁰

Building (11) Plumbing (15) _____ Electrical (12) _____ Site Plan (U2) _____

Other _____

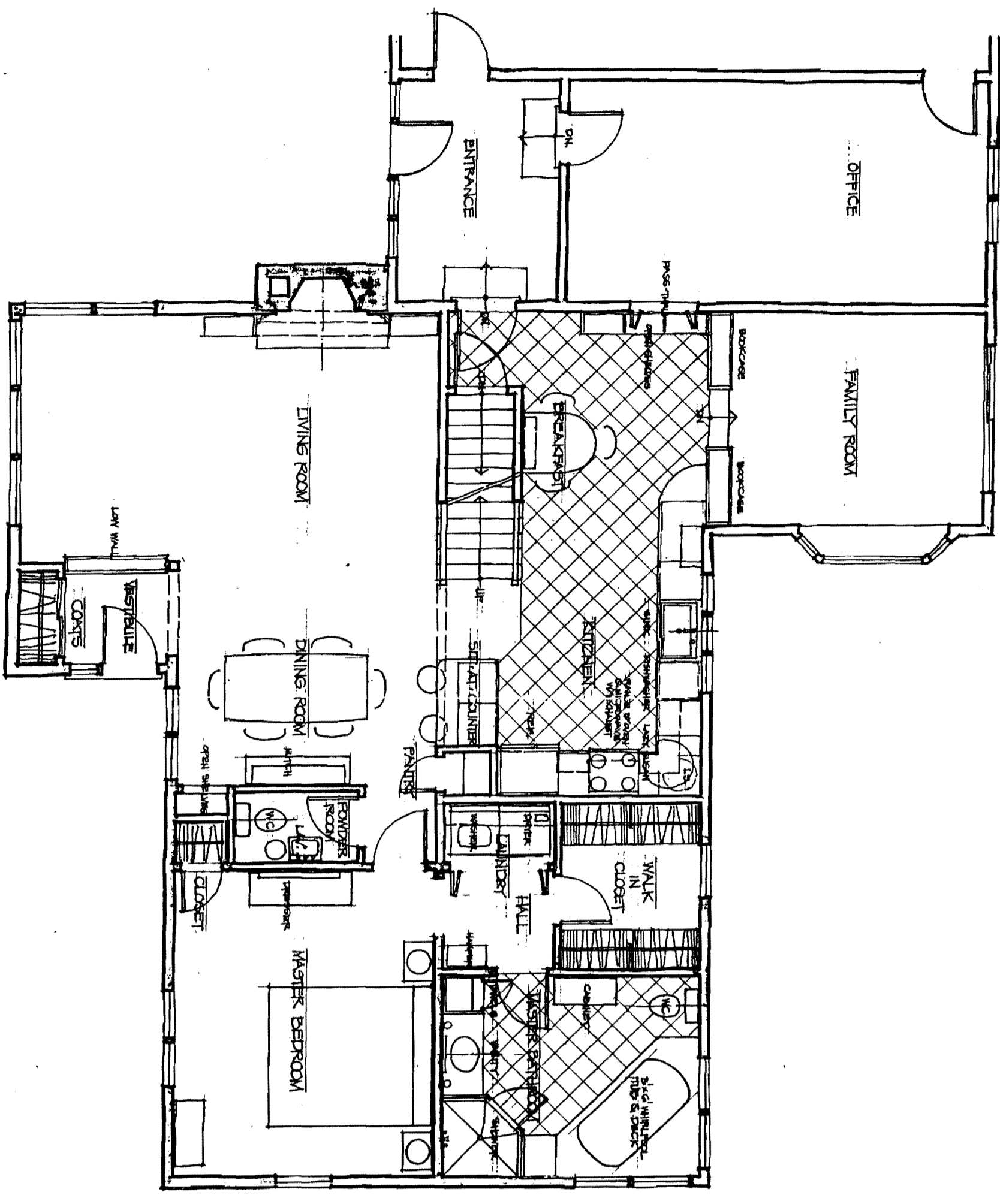
CBL: 382A-C-002

Check #: 2046 Total Collected \$ 606.⁰⁰

THIS IS NOT A PERMIT

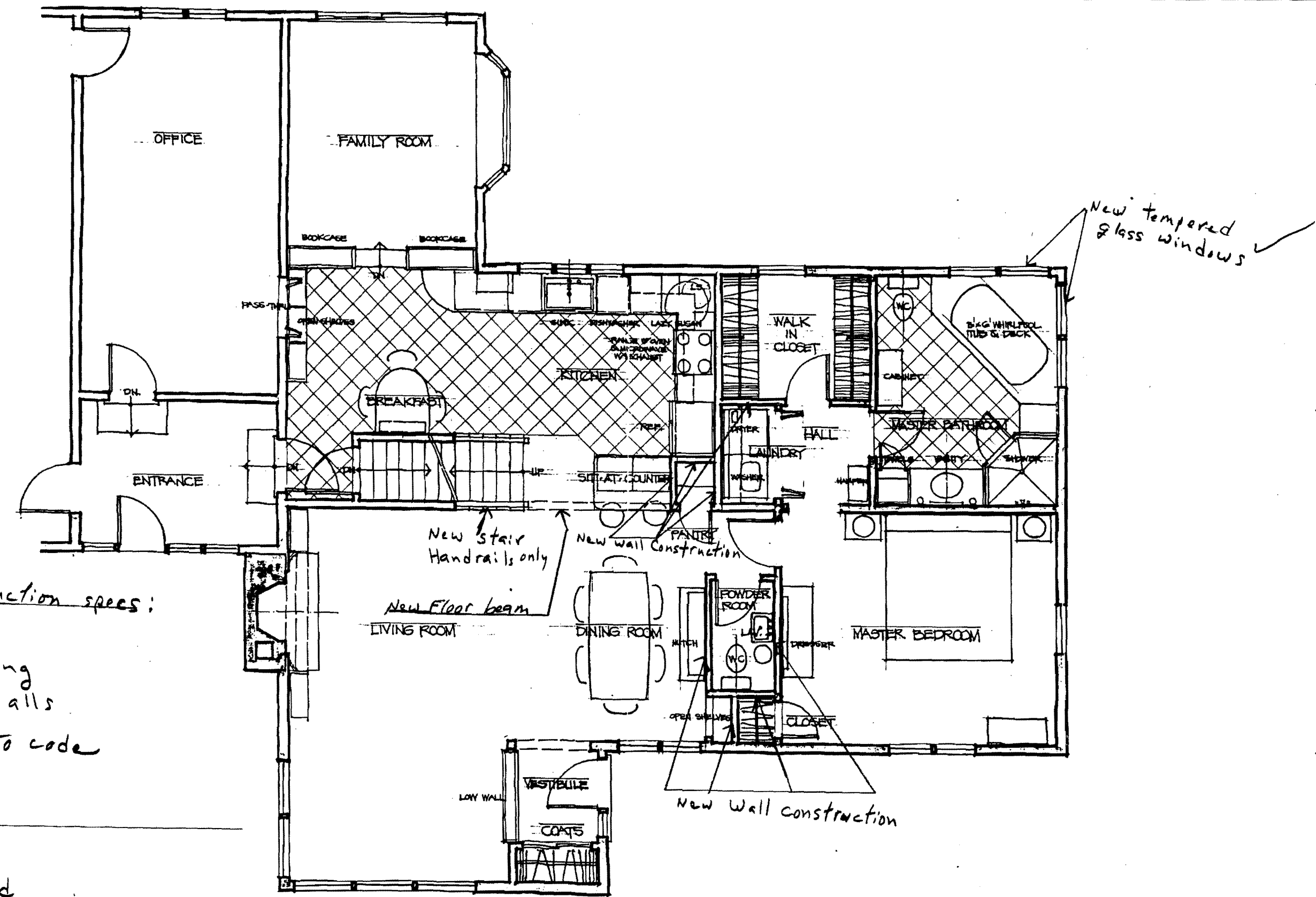
No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



PLAN: SCHEME: III D^{III} FIRST FLOOR RENOVATION
 MORIN RESIDENCE
 SCALE: 1/4" = 1'-0"

564 AUBURN STREET, FORTLAND, MAINE 04108 (207) 337-4545
 MAR 15, 2003
 MERRYN C. KELLER, ARCHITECT, 294 PINE STREET, SO. FORTLAND, MAINE 04106 (207) 767-8060



New interior wall construction specs:

- 2x4 Framing
- 16" on center spacing
- 5/8" sheetrock walls
- Electric outlets to code
- GFI circuits
- Painted walls

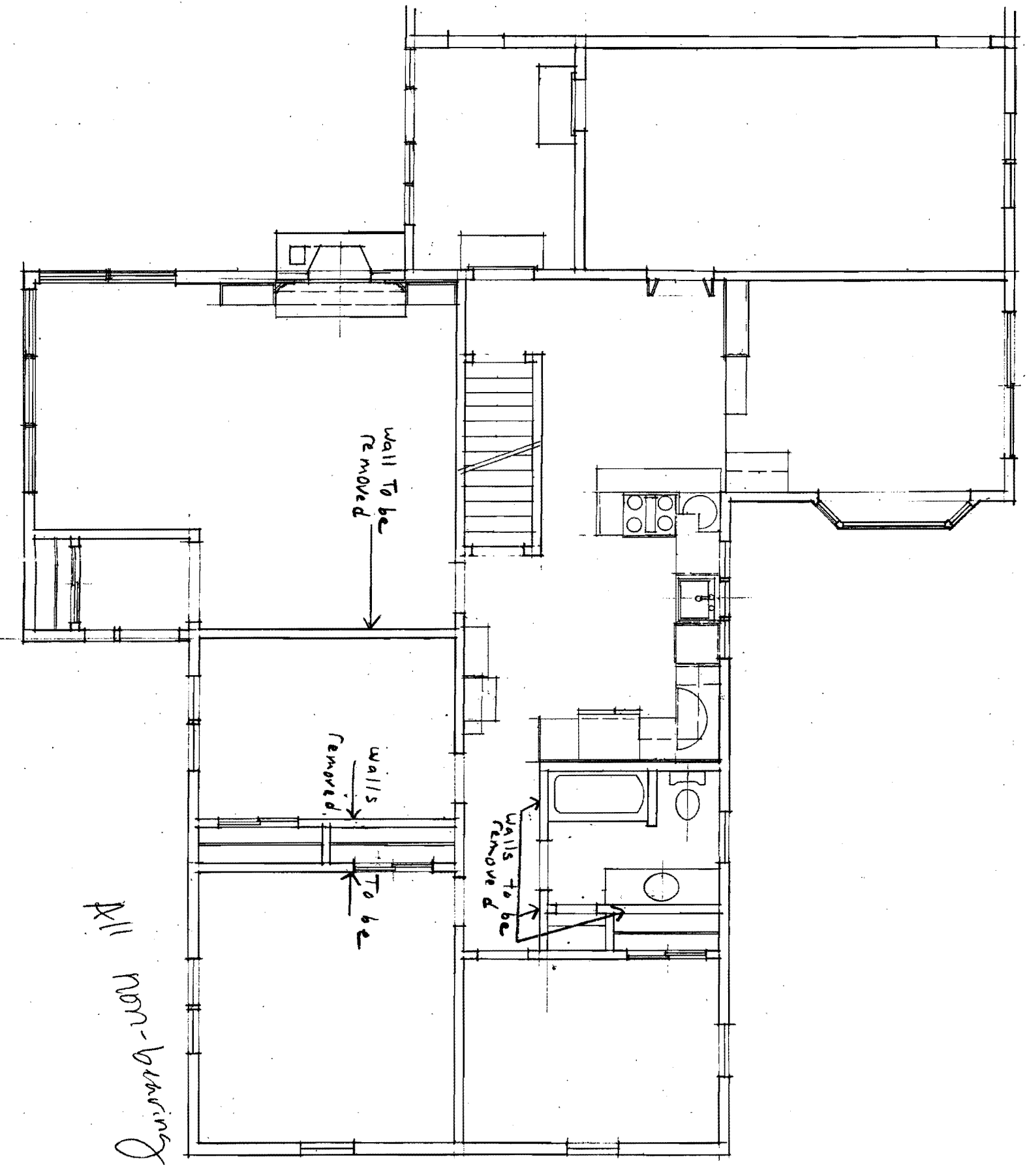
Interior Doors:

- 6 panel solid wood
- Bi-Fold Laundry room
- No exterior replacement

Ceilings:

- Painted sheetrock

PLAN • SCHEME • D • FIRST FLOOR RENOVATION • SCALE: 1/4" = 1'-0"
 MORIN RESIDENCE
 564 AUBURN STREET, PORTLAND, MAINE 04108 • (207) 797-4545 • MAY 15, 2003
 MERRYL C. KELLER, ARCHITECT • 294 PINE STREET, SO. PORTLAND, MAINE 04106 • (207) 767-6060



XII non-bearing

PLAN - EXISTING FIRST FLOOR - GENE & JANE MORIN RESIDENCE - SCALE: 1/8"=1'-0"
504 AIRBORN STREET - PORTLAND, OREGON 97103 - (503) 717-4545