

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-07-1759-ALTR	Date Applied: 7/20/2011	CBL: 380 - A - D - 014 - 001 - - - - -	
Location of Construction: 11 SUMMIT PARK AVE	Owner Name: LEON A & VALERIE MCKENZIE	Owner Address: 11 SUMMIT PARK AVE PORTLAND, ME 04103	Phone: 207-797-2159
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: <b>Building</b>	Zone: <b>R-3</b>
Past Use: Single family	Proposed Use: Same - Single family - build 1½ story 16' x 31.5 addition on the rear	Cost of Work: 50000.000000	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R3 Type: SB (MURBEC) Signature:
Proposed Project Description: Addition for Kitchen, bath & Bedroom		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: Ok w/ conditions 7/29/11 ASU	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ASU

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

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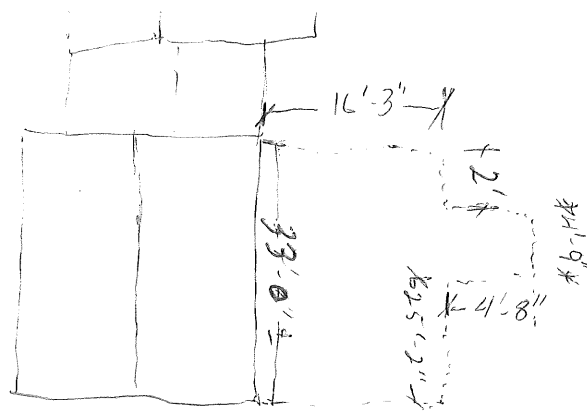
SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHON
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7-20-12 GF

OK



7-30-12 GF

OK to backfill OK - WP  
 - Filter  
 - Drain tile

10-18-12 DWM Leon 797-2159

Framing. Provide truss calc., Provide floor truss repair.

Provide revised floor plan. OK to close walls

12-11-12 DWM/BKL Leon Plumbing OK. Add outlet next to fridge

5-6-14 GF/BKL FOLLOW UP REQ'D

+ TR OUTLETS

+ NO HOT TUB ACCESS PNL.

• CONCEALED WIREING

• CONCEALED PLUMBING

5/6/14

GF/BKL

FINAL

PASS/CLOSE

# ELECTRICAL PERMIT

City of Portland, Maine

To the Electrical Inspector, Portland Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland's Electrical Ordinances, National Electrical Code and the following specifications:



Date: 9-24-12  
 Permit #: 2012 09 5025  
 CBL#: 380A D 014

ADDRESS: 11 Summit Park Ave METER MAKE/MODEL #: \_\_\_\_\_  
 CMP Work Order #: \_\_\_\_\_ OWNER: Leon McKenzie  
 TENANT: \_\_\_\_\_ PHONE #: 797-2159

**PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!** TOTAL EACH FEE

OUTLETS:	18	Receptacles	14	Switches	2	Smoke Detector	0.20
FIXTURES:	10	Incandescent	1	Flourescent		Strips	0.20
SERVICES:	1	Overhead		Underground		TTL Amps <800	15.00
						TTL Amps >800	25.00
TEMPORARY SERVICE:		Overhead		Underground		TTL Amps	25.00
METERS:		(Number of)					1.00
MOTORS:		(Number of)					2.00
RESID/COMMER:		Electric Units					1.00
HEATING:		Oil/Gas Units		Interior		Exterior	5.00
APPLIANCES:	✓	Ranges		Cook Tops		Wall Ovens	2.00
		Insta-hot		Water Heaters		Fans	2.00
		Dryers	✓	Disposals	✓	Dishwasher	2.00
		Compactors		Spa		Washing Machine	2.00
		Others (denote)					2.00
MISC. (# of):		Air Cond (Window)					3.00
		Air Cond (Central)				Pools	10.00
		HVAC		EMS		Thermostat	5.00
		Signs					10.00
		Alarms/Resident					5.00
		Alarms/Commer					15.00
		Heavy Duty (CRKT)					2.00
		Alterations					5.00
		Fire Repairs					15.00
		Emergency Lights					1.00
		Emer Generators					20.00
		Circus/Carnival					25.00
PANELS:		Service	✓	Remote	✓	Main	4.00
TRANSFORMER:		0-25 Kva					5.00
		25-200 Kva					8.00
		Over 200 Kva					10.00

CBL: 380A D 014

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 Dept. of Building Inspections  
 City of Portland Maine

**MINIMUM COMMERCIAL FEE: \$55.00** **MINIMUM RESIDENTIAL FEE: \$45.00** **TOTAL DUE:**

Brief Description of work: \_\_\_\_\_

**PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!**

**CONTRACTOR INFORMATION:**  
 Contractor Name: Mark Toothman Master License #: M560019781  
 Address: 3 Abby Lane Biddeford 04005 Limited License #: \_\_\_\_\_  
 Telephone: 207 286-7050

**Contractor Signature:** \_\_\_\_\_

**PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!**

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that LEON A & MCKENZIE

Located At 11 SUMMIT

Job ID: 2011-07-1759-ALTR

CBL: 380A- D-014-001

has permission to build a 16 by 31.5 foot addition (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

06/19/2012

**Fire Prevention Officer**

**Code Enforcement Officer / Plan Reviewer**

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

SCANNED

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
  1. Footings/Setbacks prior to pouring concrete
  2. Foundation wall prior to backfill
  3. Close In Elec/Plmb/Frame prior to insulate or gypsum
  4. Insulation prior to close-in
  5. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2011-07-1759-ALTR

Located At: 11 SUMMIT

CBL: 380A-D-014-001

## Conditions of Approval:

### **Fire**

1. All construction shall comply with City Code Chapter 10.
2. A sprinkler system is recommended but not required based on the following:
  - a. Plans indicate the addition will not exceed 50% of the total completed structure.
3. All smoke detectors and smoke alarms shall be photoelectric.
4. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.

### **Building**

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
3. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
4. There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level.
5. Submit specifications for Engineered Beams, and floor Trusses prior to construction.
6. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
7. A code compliant emergency escape shall be provided in each bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.
8. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
9. Ventilation of this space is required per ASRAE 62.2 , 2007 edition; Contractor agreed that the "building envelope" insulation will comply with the IECC, 2009 (Maine State Energy Codes).Note: Mechanical or natural ventilation is required in the bathroom.

Job ID: 2011-07-1759-ALTR Located At: 11 SUMMIT CBL: 380A- D-014-001

10. See attached documentation for bathroom fixtures clearance and headroom requirements, and safety glazing requirements.
11. Note: Contractor stated that the proposed addition will be for light storage only "not habitable space" accessed via a 22 by 30 inch opening. The roof system is Engineered Trusses.

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.



# 11967

# LUMBING PERMIT APPLICATION

**PROPERTY ADDRESS**  
 Street: 11 Summit Park ave  
 CBL: 380A D 014

**PROPERTY OWNER(S) NAME**  
 NAME: Leon + Valerie McKenzie  
 Applicant Name:  
 Mailing Address of Owner/Applicant (if Different) 11 Summit Park ave Portland ME 04103

**Owner/Applicant Statement**  
 I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector(s) to deny a permit.

LMcKenzie Date 8-21-2012  
 Signature of Owner/Applicant

Town/City PORTLAND Permit # 201247341  
 Date Permit Issued 8/21/12 Fee: \$ 110.00 Double Fee Charged [ ]  
 Local Plumbing Inspector Signature \_\_\_\_\_ L.P.I. # 360

The Internal Plumbing Fixtures and Piping shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the plumbing system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

**Caution: Inspection Required**

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules Application.

\_\_\_\_\_ Date Approved (Rough-in)  
 LPI Signature \_\_\_\_\_ Date Approved (Final)

## PERMIT INFORMATION

**This Application is for**  
 1.  NEW PLUMBING  
 2.  RELOCATED PLUMBING

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**AUG 21 2012**  
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 City of Portland Maine

**Type of Structure to be Served**  
 1.  SINGLE FAMILY RESIDENCE  
 2.  MODULAR OR MOBILE HOME  
 3.  MULTIPLE FAMILY DWELLING  
 4.  OTHER-SPECIFY \_\_\_\_\_

**SCANNED**

**Please call 874-8703 with your permit # to schedule inspections!**

**Plumbing to be Installed by:**  
 NAME: self

1.  MASTER PLUMBER  
 2.  OIL BURNERMAN  
 3.  MFG'D HOUSING DEALER / MECHANIC  
 4.  PUBLIC UTILITY EMPLOYEE  
 5.  PROPERTY OWNER

LICENSE # \_\_\_\_\_

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
<input checked="" type="checkbox"/> HOOK-UP: to public sewer by those cases where the connection is not regulated and inspected by the local sanitary district.	<input type="checkbox"/>	Hosebib / Sillcock	<input type="checkbox"/>	Bathtub (and Shower)
<input type="checkbox"/> HOOK-UP: to an existing subsurface wastewater disposal system	<input type="checkbox"/>	Floor Drain	<input type="checkbox"/>	Shower (separate)
	<input type="checkbox"/>	Urinal	<input type="checkbox"/>	Sink
<input type="checkbox"/> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.	<input type="checkbox"/>	Drinking Fountain	<input type="checkbox"/>	Wash Basin
	<input type="checkbox"/>	Indirect Waste	<input type="checkbox"/>	Water Closet (Toilet)
OR	<input type="checkbox"/>	Water Treatment Softener, Filter, Etc.	<input type="checkbox"/>	Clothes Washer
	<input type="checkbox"/>	Grease / Oil Separator	<input type="checkbox"/>	Dish Washer
<input type="checkbox"/> TRANSFER FEE \$10.00	<input type="checkbox"/>	Roof Drain	<input type="checkbox"/>	Garbage Disposal
	<input type="checkbox"/>	Bidet	<input type="checkbox"/>	Laundry Tub
	<input type="checkbox"/>	Other: _____	<input type="checkbox"/>	Water Heater
	<input type="checkbox"/>	<b>Fixtures (Subtotal) Column 2</b>	<input type="checkbox"/>	<b>Fixtures (Subtotal) Column 1</b>
			<input checked="" type="checkbox"/>	<b>TOTAL FIXTURES</b>
		Fees by fixture: First 4 fixtures = \$40 Over 4 = \$10/fixture + \$10 Surcharge	<input type="checkbox"/>	Fixture Fee
			<input type="checkbox"/>	Transfer Fee
			<input type="checkbox"/>	Hook-Up & Relocation Fee

**Please call 874-8703 with your permit # to schedule inspections!** 110.00 PERMIT FEE (TOTAL)





R-3

# General Building Permit Application

2011-07-1759

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>11 Summit Park Ave Portland ME 04103</u>		
Total Square Footage of Proposed Structure <u>16 x 32 = 512.0</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>380</u> Block# <u>AD</u> Lot# <u>14</u>	Owner: <u>Leon + Valerie mckenzie</u>	Telephone: <u>797-2159</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Leon + Valerie mckenzie</u> <u>11 Summit Park Ave</u> <u>Portland ME 04103</u>	Cost Of Work: \$ <u>50,000.00</u> Fee: \$ _____ C of O Fee: \$ <u>520</u>
Current Specific use: <u>Home we are living there</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: _____		
Project description: <u>Kitchen Bathroom and bed room extention on existing house. 16'x31.5'</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Leon + Valerie mckenzie</u>		
Mailing address: <u>11 Summit Park Ave</u> <u>Portland ME 04103</u>		Phone: <u>797-2159</u>

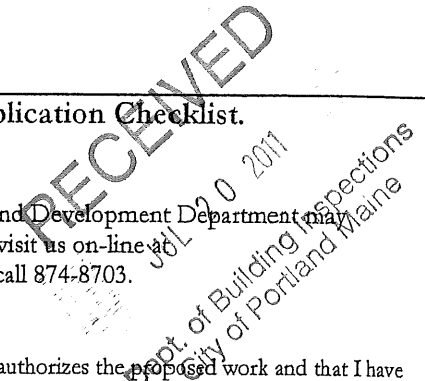
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

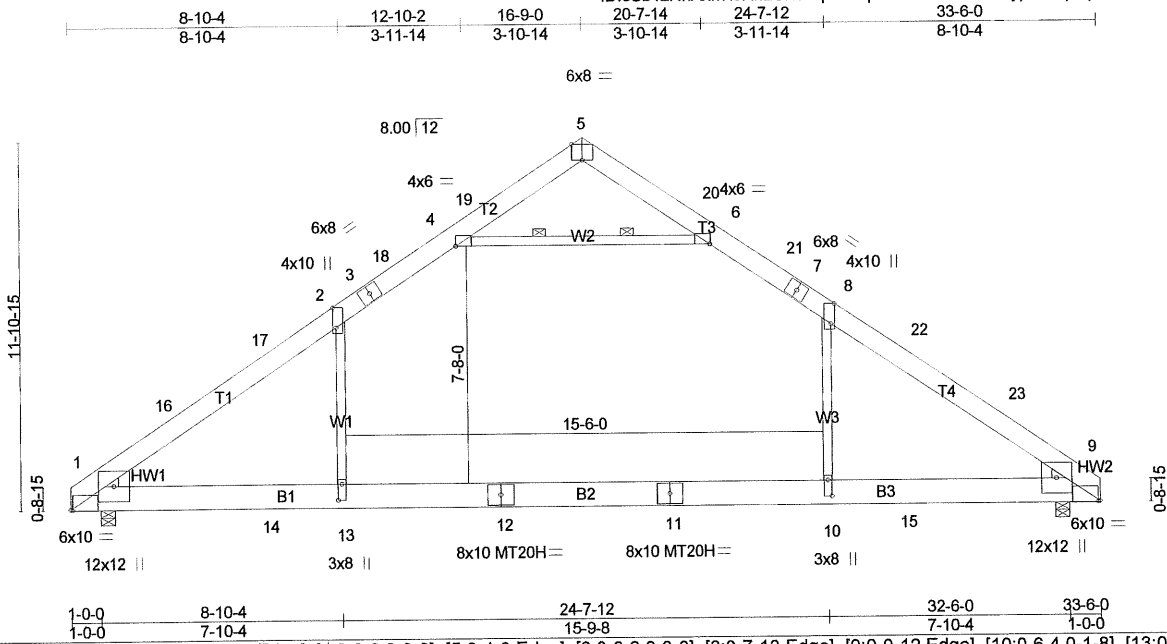
Signature of applicant: <u>Valerie McKenzie</u>	Date: <u>8-2-2010</u>
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**This is not a permit; you may not commence ANY work until the permit is issued.**



Job 639023	Truss 001	Truss Type ATTIC	Qty 1	Ply 1	Job Reference (optional)
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Boise Structural Solutions, Biddeford, ME 04005  
 7.340 s Feb 24 2012 MiTek Industries, Inc. Mon Jun 18 12:00:26 2012 Page 1  
 ID:sSb1zNhAxh7IsKhLOxY6qfz71Tp-9o07ddNzHa199ypF2Sq2upM06s1ZEyEOU7n9Hrz53nZ



Scale = 1:72.2

Plate Offsets (X, Y): [1:0-0-12,Edge], [2:0-7-13,Edge], [4:0-0-2,0-0-0], [5:0-4-0,Edge], [6:0-0-2,0-0-0], [8:0-7-13,Edge], [9:0-0-12,Edge], [10:0-6-4,0-1-8], [13:0-6-4,0-1-8]

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 60.0 (Roof Snow=60.0)	2-0-0 Plates Increase 1.15 Lumber Increase 1.15	TC 0.70 BC 0.50 WB 0.71 (Matrix)	in (loc) l/defl L/d Vert(LL) -0.71 10-13 >561 240 Vert(TL) -1.18 10-13 >335 180 Horz(TL) 0.06 9 n/a n/a Attic -0.36 10-13 524 360	MT20 MT20H	169/123 187/143
TCDL 10.0	Rep Stress Incr YES				
BCLL 0.0 *	Code IBC2009/TPI2007				
BCDL 10.0					
				Weight: 279 lb	FT = 0%

**LUMBER**  
 TOP CHORD 2x8 SYP M 23  
 BOT CHORD 2x10 SYP M 23  
 WEBS 2x4 SPF-S No.2 \*Except\*  
 W2: 2x4 SPF 2100F 1.8E

**BRACING**  
 TOP CHORD Structural wood sheathing directly applied or 3-7-2 oc purlins.  
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.  
 WEBS 2 Rows at 1/3 pts 4-6

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

**WEDGE**  
 Left: 2x4 SPF-S No.2, Right: 2x4 SPF-S No.2

**REACTIONS (lb/size)** 1=2913/0-5-8 (min. 0-2-7), 9=2913/0-5-8 (min. 0-2-7)  
 Max Horz 1=-668(LC 7)  
 Max Uplift 1=-498(LC 9), 9=-498(LC 10)

**FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.**  
**TOP CHORD** 1-16=-4407/598, 16-17=-4005/610, 2-17=-3926/628, 2-3=-3204/764, 3-18=-3139/779, 4-18=-2987/797, 4-19=-71776, 5-19=-0/835, 5-20=-1/835, 6-20=-8/776, 6-21=-2987/797, 7-21=-3139/779, 7-8=-3204/764, 8-22=-3926/628, 22-23=-4005/610, 9-23=-4407/598  
**BOT CHORD** 1-14=-257/3213, 13-14=-257/3213, 12-13=-256/3218, 11-12=-256/3218, 10-11=-256/3218, 10-15=-257/3213, 9-15=-257/3213  
**WEBS** 4-6=-4216/898, 2-13=-65/1454, 8-10=-65/1454

- NOTES (15)**
- 1) Wind: ASCE 7-05; 120mph; TCDL=6.0psf; BCDL=6.0psf; h=35ft; Cat. II; Exp C; enclosed; MWFRS (low-rise) gable end zone and C-C Exterior(2) 0-2-12 to 3-6-15, Interior(1) 3-6-15 to 13-4-13, Exterior(2) 13-4-13 to 16-9-0, Interior(1) 20-1-3 to 29-11-1 zone; cantilever left and right exposed ;C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
  - 2) TCLL: ASCE 7-05; Pf=60.0 psf (flat roof snow); Category II; Exp C; Partially Exp.; Ct=1.1
  - 3) Unbalanced snow loads have been considered for this design.
  - 4) This truss has been designed for basic load combinations, which include cases with reductions for multiple concurrent live loads.
  - 5) All plates are MT20 plates unless otherwise indicated.
  - 6) The solid section of the plate is required to be placed over the splice line at joint(s) 12, 11.
  - 7) Plate(s) at joint(s) 12 and 11 checked for a plus or minus 2 degree rotation about its center.
  - 8) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
  - 9) \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members, with BCDL = 10.0psf.
  - 10) Ceiling dead load (5.0 psf) on member(s). 2-4, 6-8, 4-6; Wall dead load (5.0psf) on member(s).2-13, 8-10
  - 11) Bottom chord live load (40.0 psf) and additional bottom chord dead load (5.0 psf) applied only to room. 10-13
  - 12) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (jt=lb) 1=498, 9=498.
  - 13) This truss is designed in accordance with the 2009 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
  - 14) Attic room checked for L/360 deflection.
  - 15) Drawing prepared exclusively for manufacturing by Boise Structural Solutions

Continued on page 2

RECEIVED  
 JUN 19 2012  
 Dept. of Building Inspections  
 City of Portland Maine

Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
639023	001	ATTIC	1	1	

Boise Structural Solutions, Biddeford, ME 04005

7.340 s Feb 24 2012 MITek Industries, Inc. Mon Jun 18 12:00:27 2012 Page 2  
ID:sSb1zNhAxh7lsKhLOxY6qz71Tp-d\_aNrZoc2u90n6ORc9LHR1vBsFMoyPUXjnWjpHz53nY

**LOAD CASE(S)** Standard

**Jonathan Rioux - Re: Fwd: Dave Johnson - Attic Truss**

---

**From:** "davjul17las@aol.com" <davjul17las@aol.com>  
**To:** "Jonathan Rioux" <JRIOUX@portlandmaine.gov>  
**Date:** 6/19/2012 3:10 PM  
**Subject:** Re: Fwd: Dave Johnson - Attic Truss

That's a yes on everything

Dave johnson *Sent from my Verizon Wireless Droid*

-----Original message-----

**From:** Jonathan Rioux <JRIOUX@portlandmaine.gov>  
**To:** Dave Johnson <davjul17las@aol.com>  
**Sent:** Tue, Jun 19, 2012 19:08:38 GMT+00:00  
**Subject:** Re: Fwd: Dave Johnson - Attic Truss

Dave,

Are the overall height & dimensions staying the same with the truss design? Is the sheathing 5/8 inch with Asphalt? JGR.

Jonathan Rioux  
Code Enforcement Officer/ Plan Reviewer

City of Portland  
Planning and Urban Development Department  
Inspection Services Division  
389 Congress St. Rm 315  
Portland, ME 04101  
Office: 207.874.8702  
Support Staff: 207.874.8703  
[jrioux@portlandmaine.gov](mailto:jrioux@portlandmaine.gov)

>>> Dave Johnson <davjul17las@aol.com> 6/18/2012 5:14 PM >>>



Dave Johnson  
Dave Johnson Building / Remodeling Inc.  
17 [Laskey Rd.](#)  
[Windham, Me 04062](#)  
207-892-0497  
[djohnsonbuilder.com](http://djohnsonbuilder.com)

-----Original Message-----

From: Mark Whitney <[mwhitney@eldredgelumber.com](mailto:mwhitney@eldredgelumber.com)>  
To: Dave Johnson <[davjul17las@aol.com](mailto:davjul17las@aol.com)>  
Sent: Mon, Jun 18, 2012 3:18 [pm](#)  
Subject: Fwd: Dave Johnson - Attic Truss

Mark Whitney  
Eldredge Lumber  
[mwhitney@eldredgelumber.com](mailto:mwhitney@eldredgelumber.com)  
Cell 207-337-2000

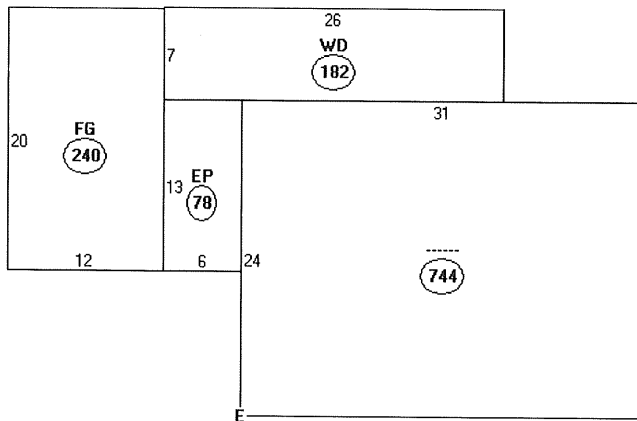
Begin forwarded message:

**From:** <[ChipperRoberts@BoiseBuilding.com](mailto:ChipperRoberts@BoiseBuilding.com)>  
**Date:** June 18, 2012 12:02:16 PM EDT  
**To:** <[mwhitney@eldredgelumber.com](mailto:mwhitney@eldredgelumber.com)>  
**Cc:** <[bpelchat@eldredgelumber.com](mailto:bpelchat@eldredgelumber.com)>  
**Subject:** Dave Johnson - Attic Truss

Good afternoon! Here is that truss design. When you know quantities let me know and I will price. I assumed cantilever to get the height over the wall. Please advise.

Thanks!

Chipper Roberts  
Boise Structural Solutions  
1-877-291-5276  
Extension 2751  
Fax – 877-782-0999



Descriptor/Area

- A: -----  
744 sqft
- B: EP  
78 sqft
- C: FG  
240 sqft
- D: WD  
182 sqft
- E: RS1  
112 sqft



**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

**Original Receipt**

\_\_\_\_\_ 20 11

Received from \_\_\_\_\_

Location of Work \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 500

Building (IL) \_\_\_\_\_ Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 395H 211

Check #: 3756 Total Collected \$ 500

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: \_\_\_\_\_

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	8 <sup>12</sup> / <sub>12</sub> 2x10" @ 16" O.C 2x6" @ 16" O.C. - Collar Ties	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	Roof: 5/8" / Wall: 7/16" / Floor: 3/4"	6key
Fastener Schedule (Table R602.3(1) & (2))		
<b>Private Garage</b> (Section R309) Living Space? (Above or beside)	→	Maintain Fire Separation
Fire separation (Section R309.2)		
Opening Protection (Section R309.1)	Existing	
Emergency Escape and Rescue Openings (Section R310)	"Egress" window in Bedroom	
Roof Covering (Chapter 9)	> 5 yr Asphalt	
Safety Glazing (Section R308)		
Attic Access (Section R807)	Stairs to attic	
Chimney Clearances/Fire Blocking (Chap. 10)	Existing chimney	
Header Schedule (Section 502.5(1) & (2))	(3) 2x10" w/ 1/2 OSB	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Wall: R-19 Ceiling: "10 inch"	

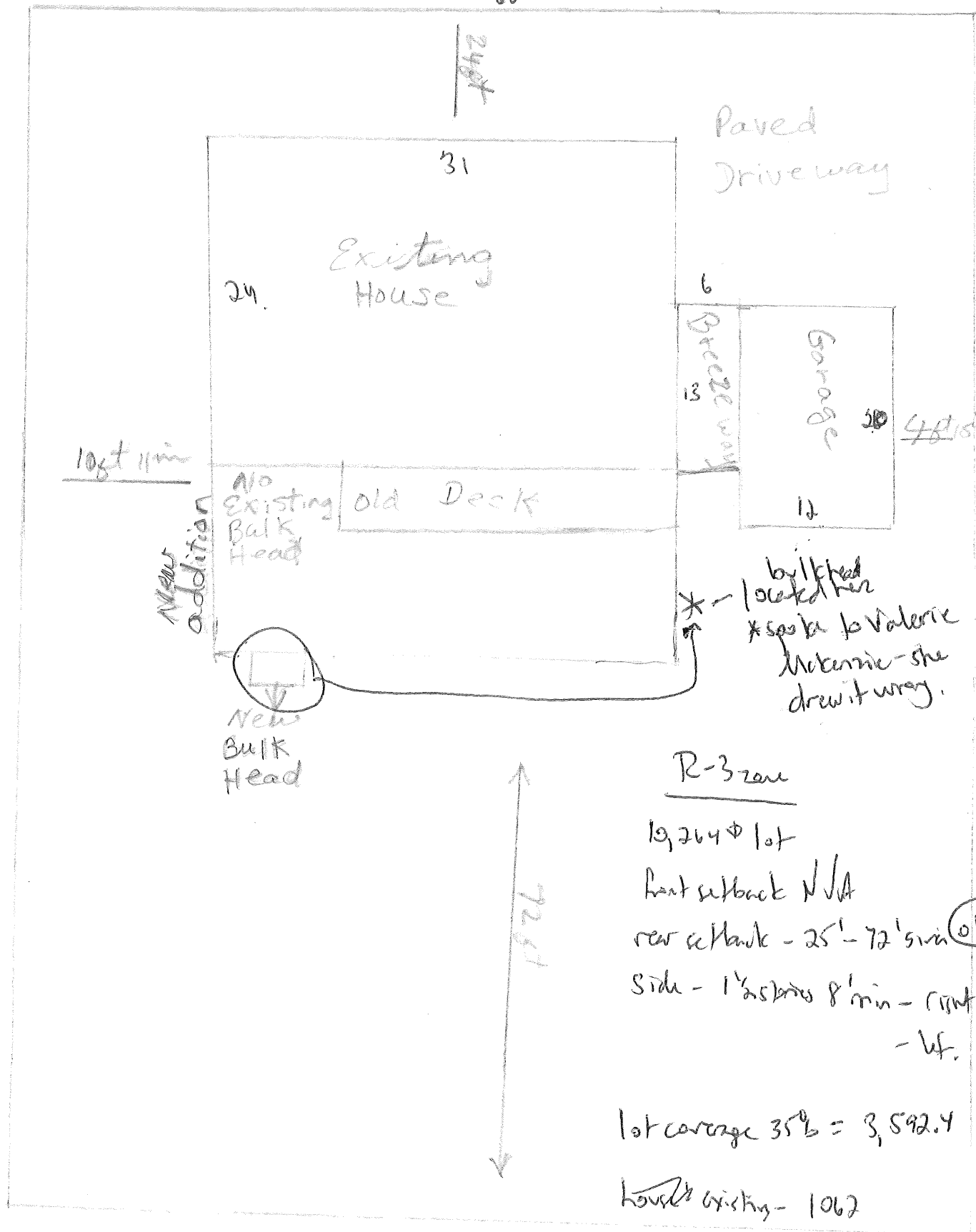


Type of Heating System		
<b>Means of Egress</b> (Sec R311 & R312) Basement Number of Stairways Interior Exterior Treads and Risers (Section R311.5.3) Width (Section R311.5.1) Headroom (Section R311.5.2) Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)	Bulkhead          Existing	okay
Smoke Detectors (Section R313) Location and type/Interconnected		
Dwelling Unit Separation (Section R317) and IBC – 2009 (Section 1207)	N/A	
Deck Construction (Section R502.2.1)	N/A	

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings/Revisions/Dates
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	8" x 1'-4" Footing (key way) w/ 8" Wall / pinned to 4" slab existing	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	6mil Poly / 4" Perm. Pipe	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY		
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" Bolts 12"	
Lally Column Type (Section R407)	N/A	
Girder & Header Spans (Table R 502.5(2))		
Built-Up Wood Center Girder Dimension/Type		
Sill/Band Joist Type & Dimensions	2x6" P.T	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	10" Floor Truss @ 16" o.c. 2x10" Joist @ Perimeter	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	10" Floor Truss @ 16" o.c. w/ 2x10" Joist @ Perimeter	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x6 ceiling joist @ 16" o.c.	

Leon + Valeria McKenzie  
 11 Summit Park Ave Portland  
 ME 04103 phone 797-2159

Summit Park Ave (East)



R-3 zone

19,264 sq ft lot

front setback N/A

rear setback - 25' - 72' min (ok)

Side - 1 1/2' min 8' min - front 10' min (ok)  
 - lf. 22' (ok)

lot coverage 35% = 3,592.4

house existing - 1062

bulkhead - 8504 addition

156 + 010 (ok)

LEON & VALLERY McKENZIE RESIDENCE - ADDITION  
11 SUMMIT PK AVENUE  
PORTLAND, MAINE

**GENERAL NOTES :**

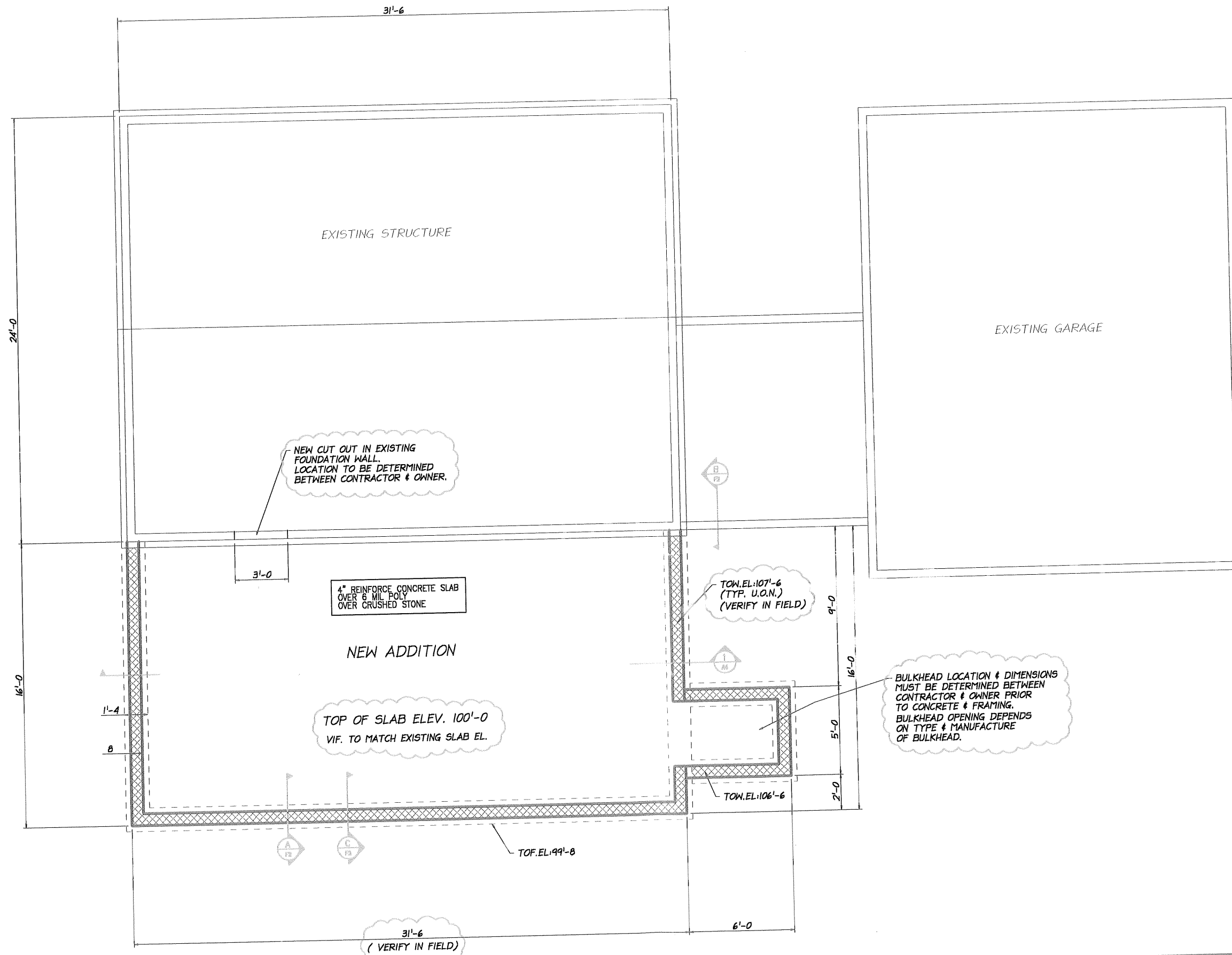
1. DRAWINGS ARE FOR REPRESENTATION ONLY.
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3. ALL DOOR DIMENSIONS, STYLES & MANUFACTURE ARE TO BE VERIFIED W/ OWNER.
4. ALL WINDOW STYLES & MANUFACTURE TO BE DETERMINED W/ OWNER.
5. ALL WINDOW DIMENSIONS GIVEN ON PLAN ARE APPROXIMATE AND ALLOW FOR PROPER EGRESS. WINDOW DIMENSIONS MAY VARY DEPENDING ON STYLE & MANUFACTURE.
6. ALL BATHROOM UTILITIES TO BE DETERMINED BY OWNER.
7. ALL KITCHEN UTILITIES & CABINET SPECS, DIMENSIONS & MANUFACTURE TO BE DETERMINED BY OWNER.

**DESIGN TECH. INC.**  
BUILDING & DESIGN

JIM BERNIER  
STRUCTURAL & ARCHITECTURAL DETAILER

31 SABATUS LANE, WINDHAM MAINE 04062  
PH# (207)892-0783 FAX# (207)892-0783

NOTE: NOT A LICENCED ENGINEER OR ARCHITECT



1 FOUNDATION PLAN  
SCALE: 3/8"=1'-0"

**GENERAL NOTES :**  
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F1

CONTRACTOR:

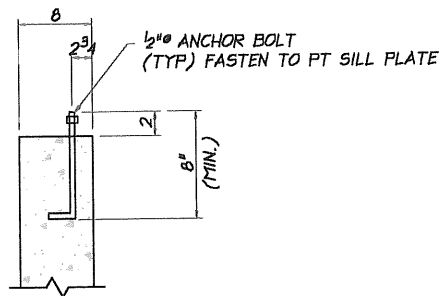
**DESIGN TECH. INC.**  
 BUILDING & DESIGN  
 JIM BERNIER  
 STRUCTURAL & ARCHITECTURAL DETAILER  
 31 SABATUS LANE, WINDHAM MAINE 04062  
 PH# (207)892-0783 FAX# (207)892-0783  
 NOTE: NOT A LICENSED ENGINEER OR ARCHITECT

PROJECT:  
 LEON & VALLERIE MCKENZIE RESIDENCE  
 FIRST FLOOR ADDITION

DATE: 10/10/06 SCALE: 3/8"=1'-0" (U.O.N.)  
 DRAWN BY: JMB  
 CHECKED BY: JMB  
 REVISIONS:

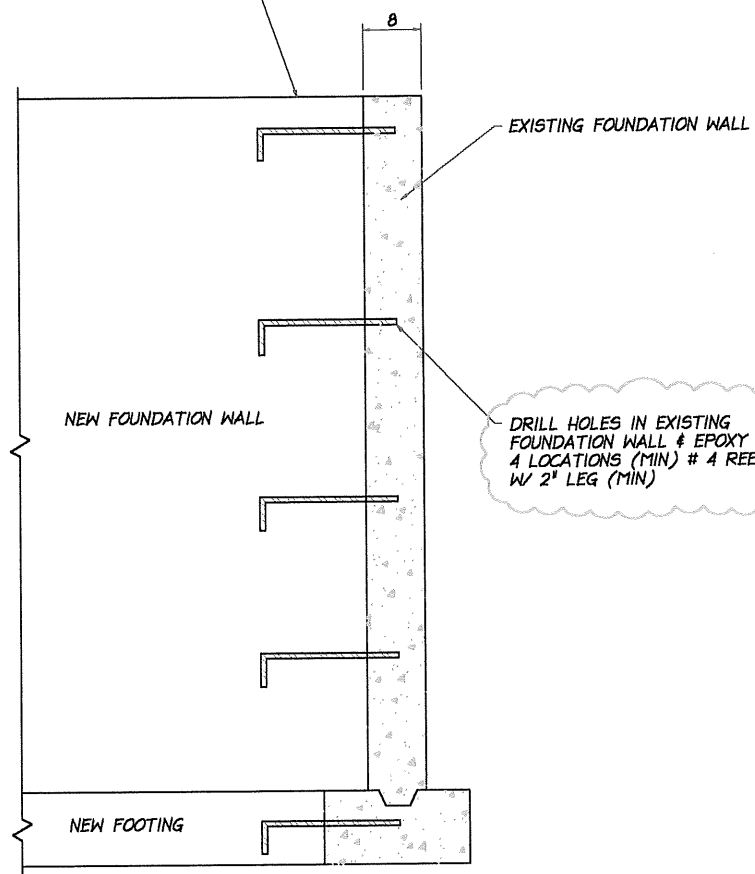
DESCRIPTION:  
 FOUNDATION PLAN

F1



SECTION A  
F1 F2  
(TYP)

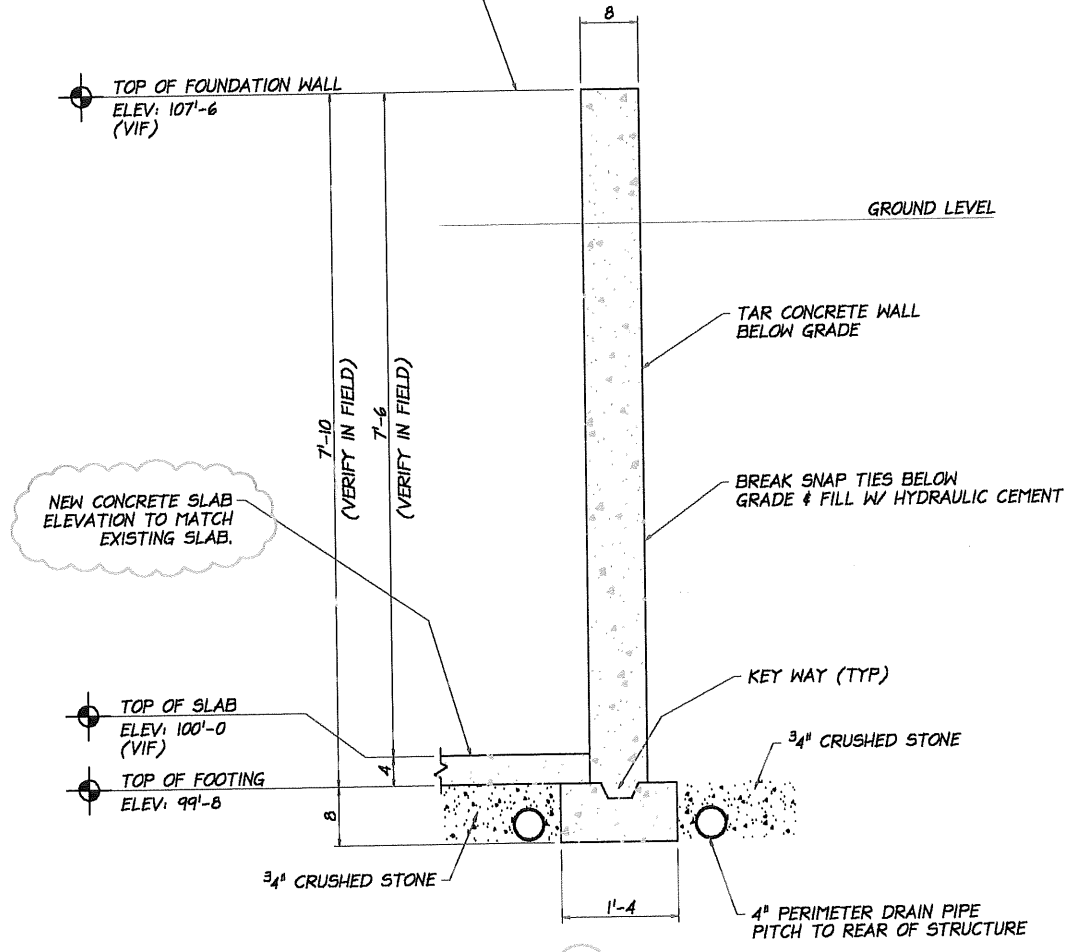
ELEVATION OF NEW FOUNDATION WALL TO BE DETERMINED BY EXISTING FLOOR FRAMING ELEVATION.



SECTION B  
F1 F2

DRILL HOLES IN EXISTING FOUNDATION WALL & EPOXY @ 4 LOCATIONS (MIN) # 4 REBAR W/ 2" LEG (MIN)

ELEVATION OF NEW FOUNDATION WALL TO BE DETERMINED BY EXISTING FLOOR FRAMING ELEVATION.



SECTION C  
F1 F2

1 FOUNDATION SECTIONS & DETAILS  
SCALE: 1"=1'-0"

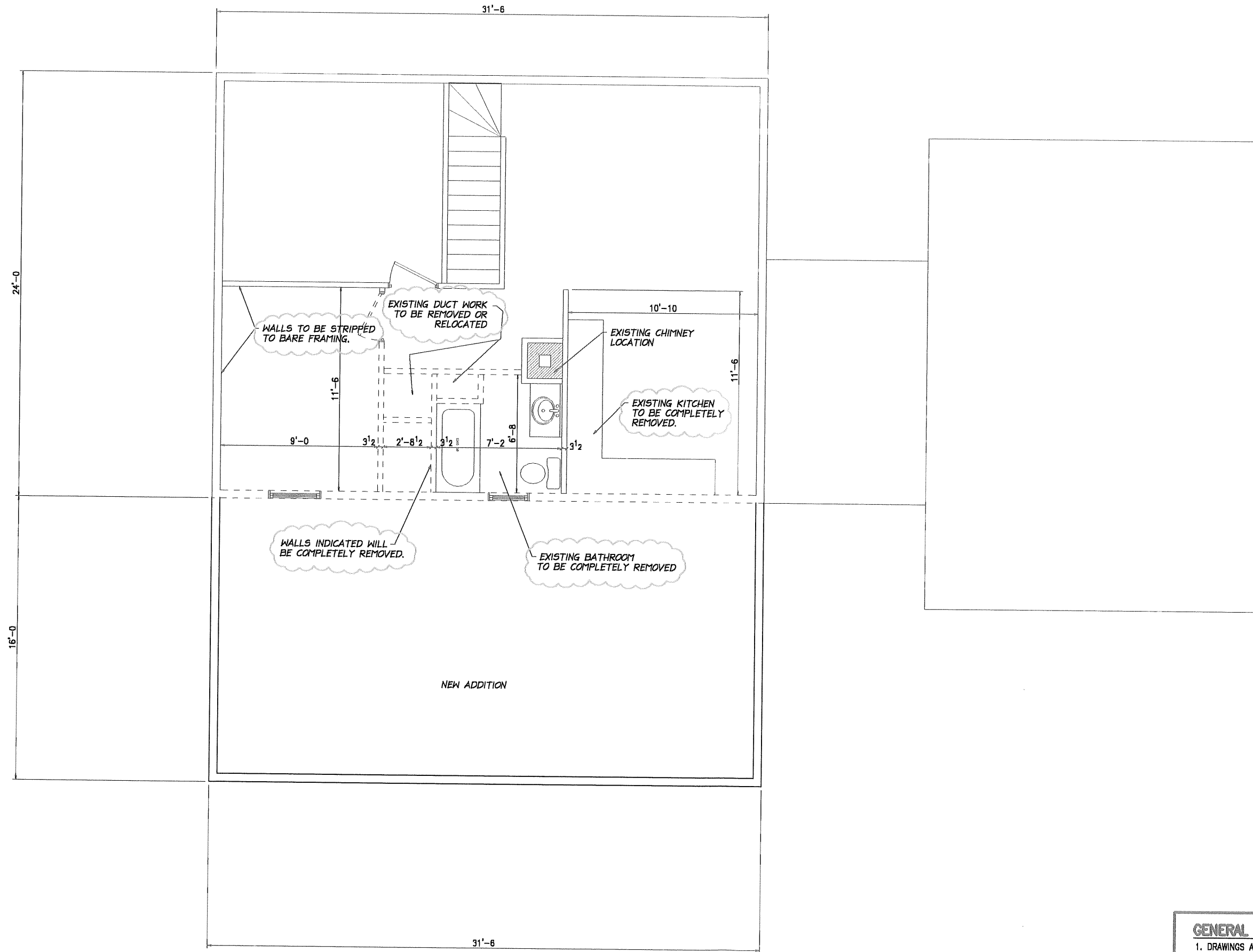
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BUILDING & DESIGN  
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STRUCTURAL & ARCHITECTURAL DETAILER  
31 SABATIUS LANE, WINDHAM MAINE 04062  
PH# (207)892-0783 FAX# (207)892-0783  
NOTE: NOT A LICENSED ENGINEER OR ARCHITECT

PROJECT:  
LEON & VALLIERE MCKENZIE RESIDENCE  
FIRST FLOOR ADDITION

DATE: 10/10/06 SCALE: 1"=1'-0 (U.O.N.)  
DRAWN BY: JMB  
CHECKED BY: JMB  
REVISIONS:

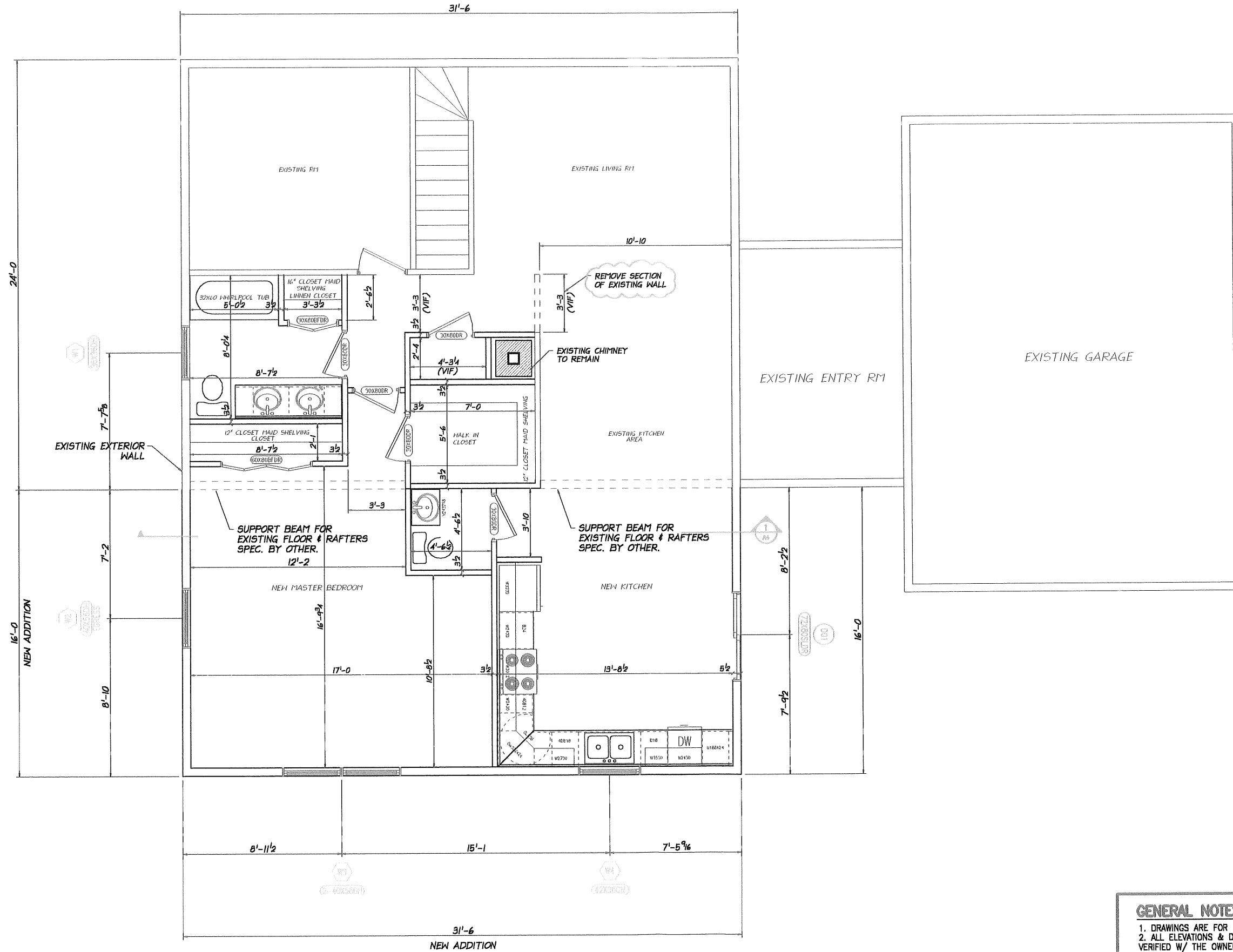
DESCRIPTION: FOUNDATION SECTIONS & DETAILS



1  
1A  
EXISTING FIRST FLOOR PLAN  
SCALE: 3/8" = 1'-0"

- GENERAL NOTES :**
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  2. ALL ELEVATIONS & DIMENSIONS ARE TO BE VERIFIED W/ THE OWNER & GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
  3. ALL REMOVAL OF WALLS & DEMOLITION MUST BE APPROVED BY OWNER PRIOR TO CONSTRUCTION.
  4. ALL REMOVAL OF BATHROOM UTILITIES MUST BE APPROVED BY OWNER.
  5. ALL REMOVAL OF KITCHEN APPLIANCES & CABINETS MUST BE APPROVED BY OWNER.

<p><b>1A</b></p>	
<p>CONTRACTOR:</p>	
<p><b>DESIGN TECH. INC.</b> BUILDING &amp; DESIGN</p>	
<p><b>JIM HERNIER</b> STRUCTURAL &amp; ARCHITECTURAL DETAILER 31 SABATIUS LANE, WINDHAM MAINE 04062 PH# (207)892-0783 FAX# (207)892-0783</p>	
<p>NOTE: NOT A LICENSED ENGINEER OR ARCHITECT</p>	
<p>PROJECT: LEON &amp; VALLERE MCKENZIE RESIDENCE FIRST FLOOR ADDITION</p>	
<p>DATE: 10/10/06 DRAWN BY: JMB</p>	<p>SCALE: 3/8" = 1'-0" (L.O.N.) CHECKED BY: JMB</p>
<p>REVISIONS:</p>	
<p>DESCRIPTION: EXISTING FIRST FLOOR PLAN</p>	
<p><b>1A</b></p>	



**1**  
**A1** **FIRST FLOOR PLAN**  
SCALE: 3/8"=1'-0"

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5. ALL WINDOW DIMENSIONS GIVEN ON PLAN ARE APPROXIMATE AND ALLOW FOR PROPER EGRESS. WINDOW DIMENSIONS MAY VARY DEPENDING ON

**A1**

CONTRACTOR:  
**DESIGN TECH. INC.**  
BUILDING & DESIGN  
JIM BERNIER  
STRUCTURAL & ARCHITECTURAL DETAILER  
31 SABATUS LANE, WINDHAM MAINE 04062  
PH# (207)892-0783 FAX# (207)892-0783  
NOTE: NOT A LICENSED ENGINEER OR ARCHITECT

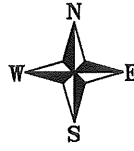
PROJECT:  
LEON & VALLERIE MCKENZIE RESIDENCE  
FIRST FLOOR ADDITION

DATE: 10/10/06	SCALE: 3/8"=1'-0" (U.O.N.)	CHECKED BY: JMB
DRAWN BY: JMB	REVISIONS:	

DISCRPTION:  
**FIRST FLOOR PLAN**

**A1**





1  
A2 **SECOND FLOOR PLAN**  
SCALE: 3/8" = 1'-0"

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5. ALL WINDOW DIMENSIONS GIVEN ON PLAN ARE APPROXIMATE AND ALLOW FOR PROPER EGRESS. WINDOW DIMENSIONS MAY VARY DEPENDING ON MANUFACTURE.

A2

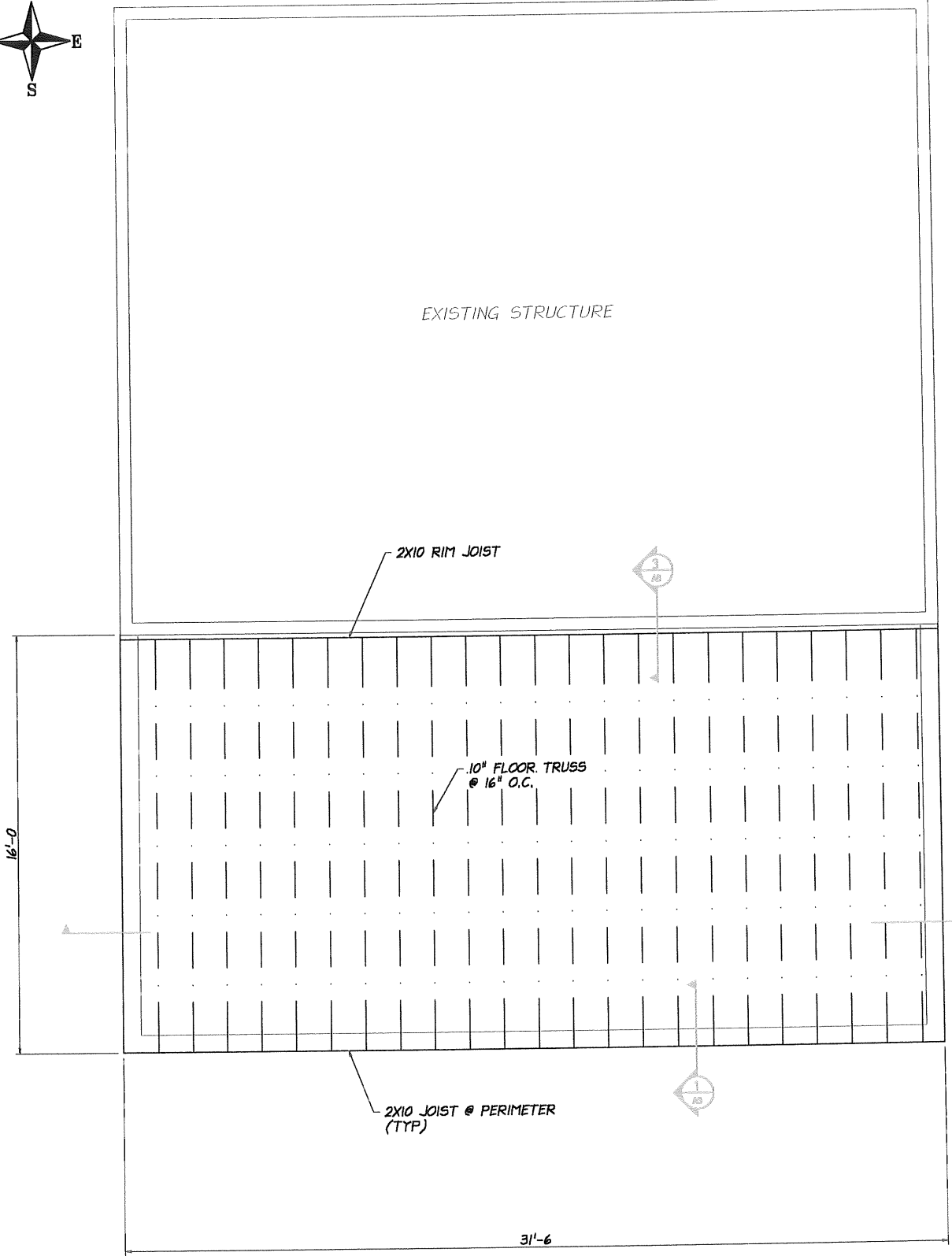
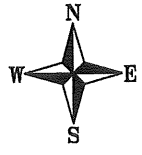
CONTRACTOR:  
**DESIGN TECH. INC.**  
BUILDING & DESIGN  
JIM BERNIER  
STRUCTURAL & ARCHITECTURAL DETAILER  
31 SABATUS LANE, WINDHAM MAINE 04062  
PH# (207)892-0783 FAX# (207)892-0783  
NOTE: NOT A LICENSED ENGINEER OR ARCHITECT

PROJECT:  
LEON & VALLERIE MCKENZIE RESIDENCE  
FIRST FLOOR ADDITION

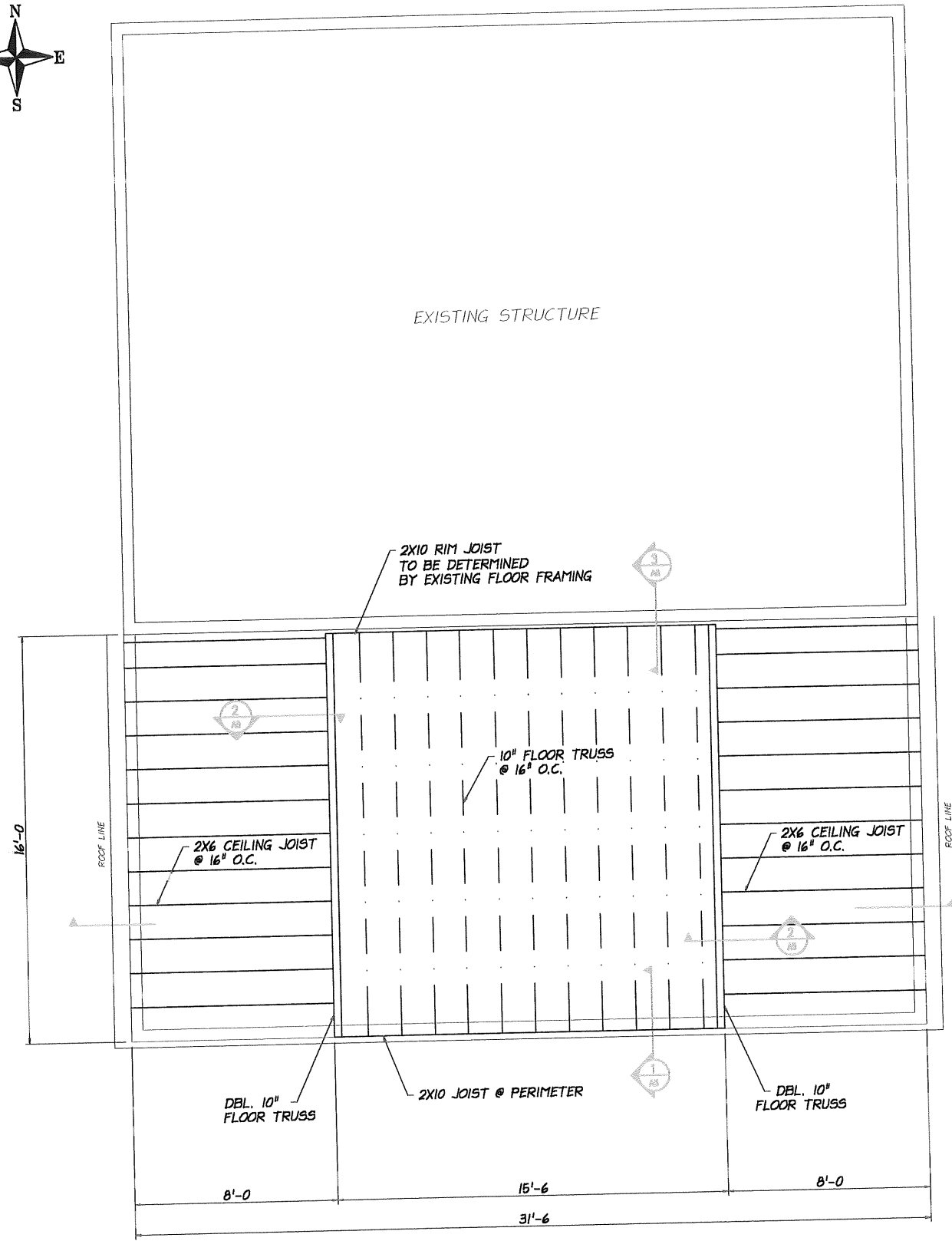
DATE: 10/10/06	SCALE: 3/8" = 1'-0" (U.O.M.)	CHECKED BY: JMB
DRAWN BY: JMB	REVISIONS:	

DISCRPTION:  
SECOND FLOOR PLAN

A2



**1**  
A3 **FIRST FLOOR JOIST PLAN**  
SCALE: 3/8"=1'-0"



**2**  
A3 **SECOND FLOOR JOIST PLAN**  
SCALE: 3/8"=1'-0"

**GENERAL NOTES :**  
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A3

CONTRACTOR:

**DESIGN TECH. INC.**  
 BUILDING & DESIGN

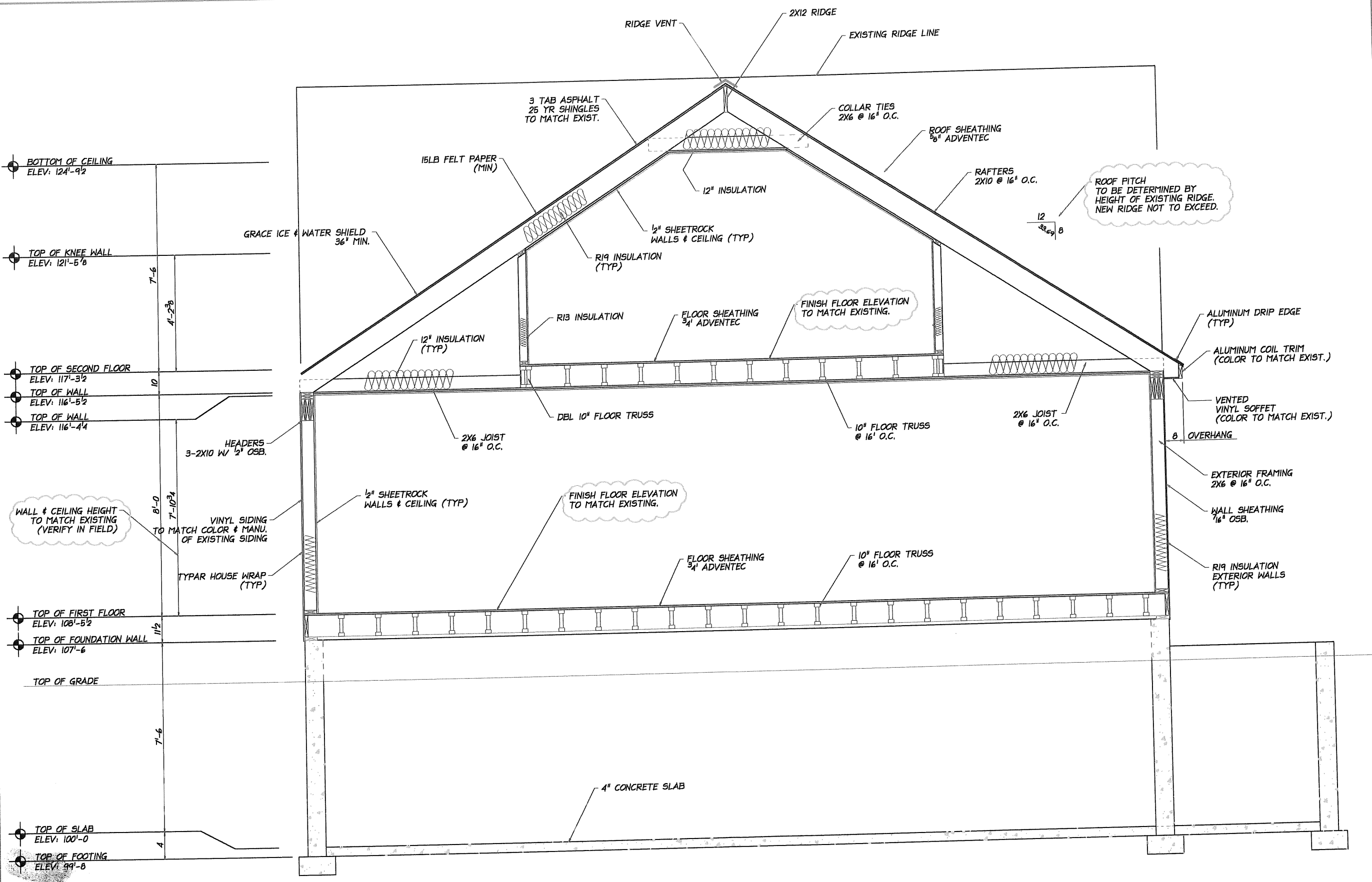
JIM BERNIER  
 STRUCTURAL & ARCHITECTURAL DETAILER  
 31 SABATUS LANE, WINDHAM MAINE 04062  
 PH# (207)892-0783 FAX# (207)892-0783  
 NOTE: NOT A LICENSED ENGINEER OR ARCHITECT

PROJECT:  
 LEON & VALERIE MCKENZIE RESIDENCE  
 FIRST FLOOR ADDITION

DATE: 10/10/06 SCALE: 3/8"=1'-0"  
 (U.O.N.)  
 DRAWN BY: JMB  
 CHECKED BY: JMB  
 REVISIONS:

DESCRIPTION:  
**FIRST & SECOND FLOOR JOIST PLAN**

A3



BOTTOM OF CEILING  
 ELEV: 124'-9 1/2  
 TOP OF KNEE WALL  
 ELEV: 121'-5 7/8  
 TOP OF SECOND FLOOR  
 ELEV: 117'-3 1/2  
 TOP OF WALL  
 ELEV: 116'-5 1/2  
 TOP OF WALL  
 ELEV: 116'-4 1/4  
 TOP OF FIRST FLOOR  
 ELEV: 108'-5 1/2  
 TOP OF FOUNDATION WALL  
 ELEV: 107'-6  
 TOP OF GRADE  
 TOP OF SLAB  
 ELEV: 100'-0  
 TOP OF FOOTING  
 ELEV: 99'-8

ROOF PITCH  
 TO BE DETERMINED BY  
 HEIGHT OF EXISTING RIDGE.  
 NEW RIDGE NOT TO EXCEED.

FINISH FLOOR ELEVATION  
 TO MATCH EXISTING.

FINISH FLOOR ELEVATION  
 TO MATCH EXISTING.

WALL & CEILING HEIGHT  
 TO MATCH EXISTING  
 (VERIFY IN FIELD)

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 PRIOR TO CONSTRUCTION.

1 SECTION VIEW  
 SCALE: 3/8"=1'-0"

CONTRACTOR:

**DESIGN TECH. INC.**  
 BUILDING & DESIGN  
 JIM BERNIER  
 STRUCTURAL & ARCHITECTURAL DETAILER

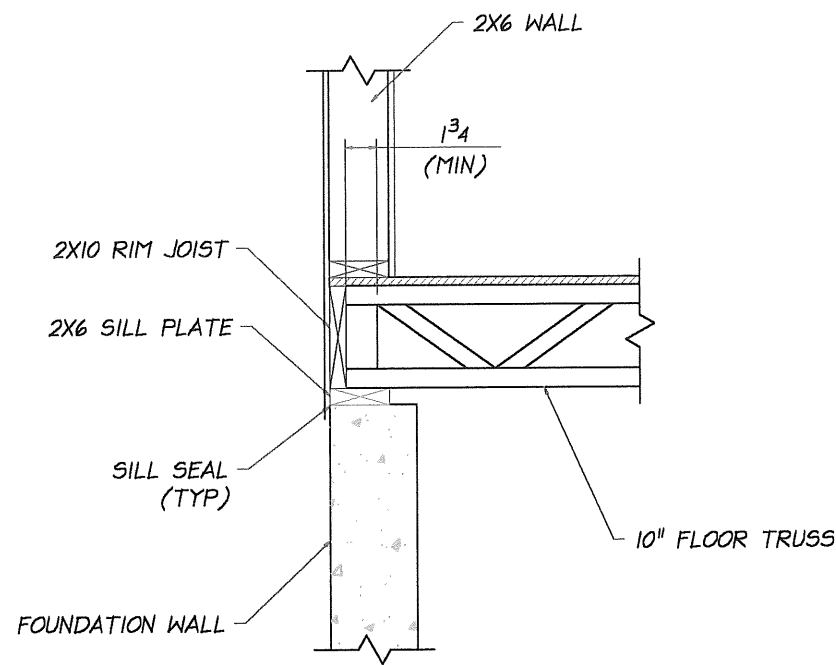
31 SABATUS LANE, WINDHAM MAINE 04662  
 PH# (207)882-0783 FAX# (207)882-0783  
 NOTE: NOT A LICENSED ENGINEER OR ARCHITECT

PROJECT:  
 LEON & VALERIE MCKENZIE RESIDENCE  
 & FIRST FLOOR ADDITION

DATE: 10/10/06 SCALE: 3/8"=1'-0" (U.O.N.)  
 DRAWN BY: JMB  
 CHECKED BY: JMB  
 REVISIONS:

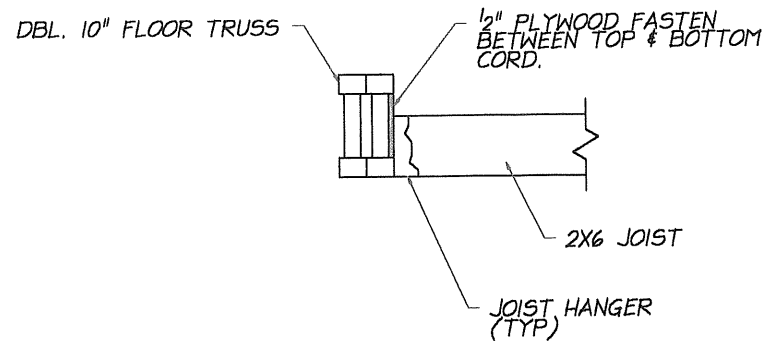
DISCUSSION:  
 SECTION VIEW

578-0353



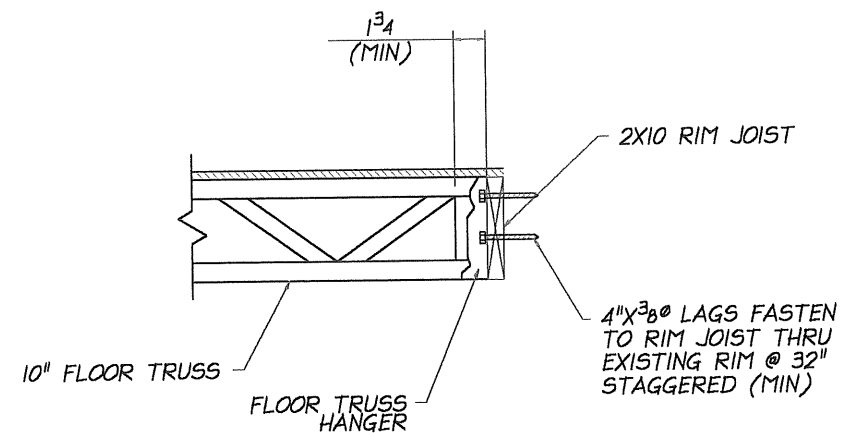
JOIST DETAIL

SECTION 1  
A1,A2,A3,A4 A5  
SCALE: 1/2"=1'-0"



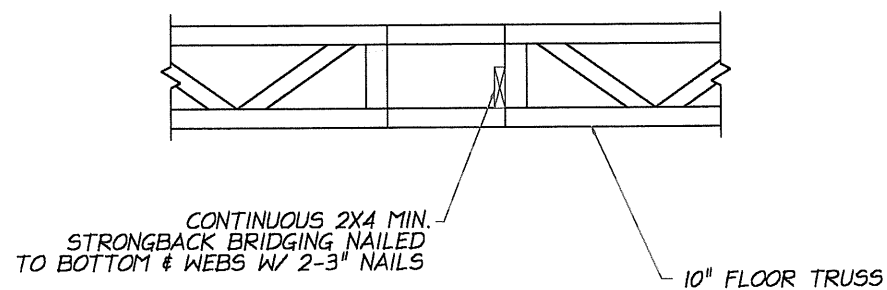
JOIST DETAIL

SECTION 2  
A1,A2,A3,A4 A5  
SCALE: 1/2"=1'-0"



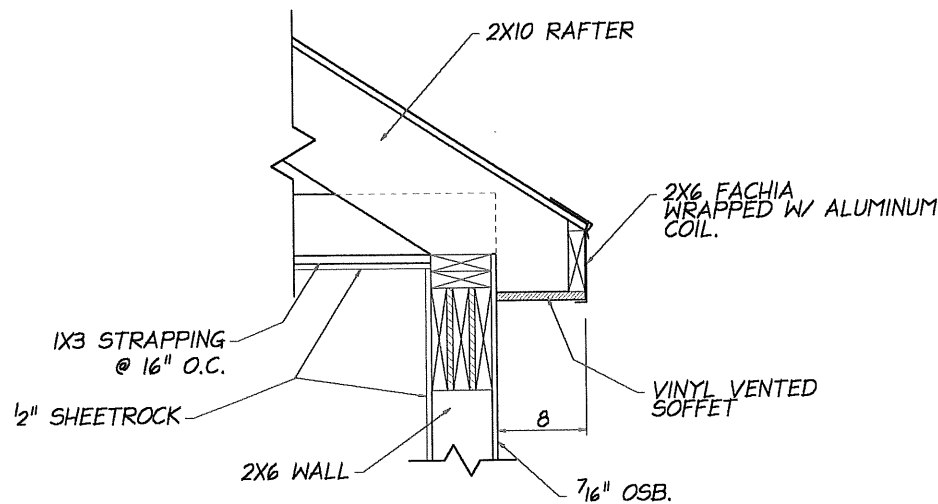
JOIST DETAIL

SECTION 3  
A1,A2,A3,A4 A5  
SCALE: 1/2"=1'-0"



JOIST DETAIL

DETAIL 4  
A1,A2,A3,A4 A5  
SCALE: 1/2"=1'-0"



SOFFET & FACHIA DETAIL

DETAIL 5  
A1,A2,A3,A4 A5  
SCALE: 1/2"=1'-0"

CONTRACTOR:

DESIGN TECH. INC.  
BUILDING & DESIGN

JIM BERNIER  
STRUCTURAL & ARCHITECTURAL DETAILER  
31 SABATUS LANE, WINDHAM MAINE 04062  
PH# (207)892-0783 FAX# (207)892-0783

NOTE: NOT A LICENSED ENGINEER OR ARCHITECT

PROJECT:  
LEON & VALLERIE MCKENZIE RESIDENCE  
FIRST FLOOR ADDITION

DATE: 10/10/06 SCALE: 1/2"=1'-0" (U.O.N.)

CHECKED BY:  
JMB

DRAWN BY:  
JMB

REVISIONS:

DISCRIPTION:  
SECTIONS & DETAILS

**GENERAL NOTES :**  
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1 SOUTH ELEVATION  
 A6 SCALE: 1/2"=1'-0"

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A6

CONTRACTOR:

**DESIGN TECH. INC.**  
 BUILDING & DESIGN

JIM BERNIER  
 STRUCTURAL & ARCHITECTURAL DETAILER  
 31 SAGATUS LANE, WINDHAM MAINE 04062  
 PH# (207)892-0783 FAX# (207)892-0783

NOTE: NOT A LICENSED ENGINEER OR ARCHITECT

PROJECT:  
 LEON & VALLERIE MCKENZIE RESIDENCE  
 FIRST FLOOR ADDITION

DATE: 10/10/06 SCALE: 1/2"=1'-0" (U.O.M.)

DRAWN BY: JMB

CHECKED BY: JMB

REVISIONS:

DISCRPTION:  
 SOUTH ELEVATION

A6



1 WEST ELEVATION  
A7 SCALE: 1/2" = 1'-0"

**GENERAL NOTES :**  
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A7

CONTRACTOR:

**DESIGN TECH. INC.**  
 BUILDING & DESIGN  
 JIM HERNIER  
 STRUCTURAL & ARCHITECTURAL DETAILER  
 31 SAGATUS LANE, WINDHAM MAINE 04062  
 PH# (207)892-0783 FAX# (207)892-0783  
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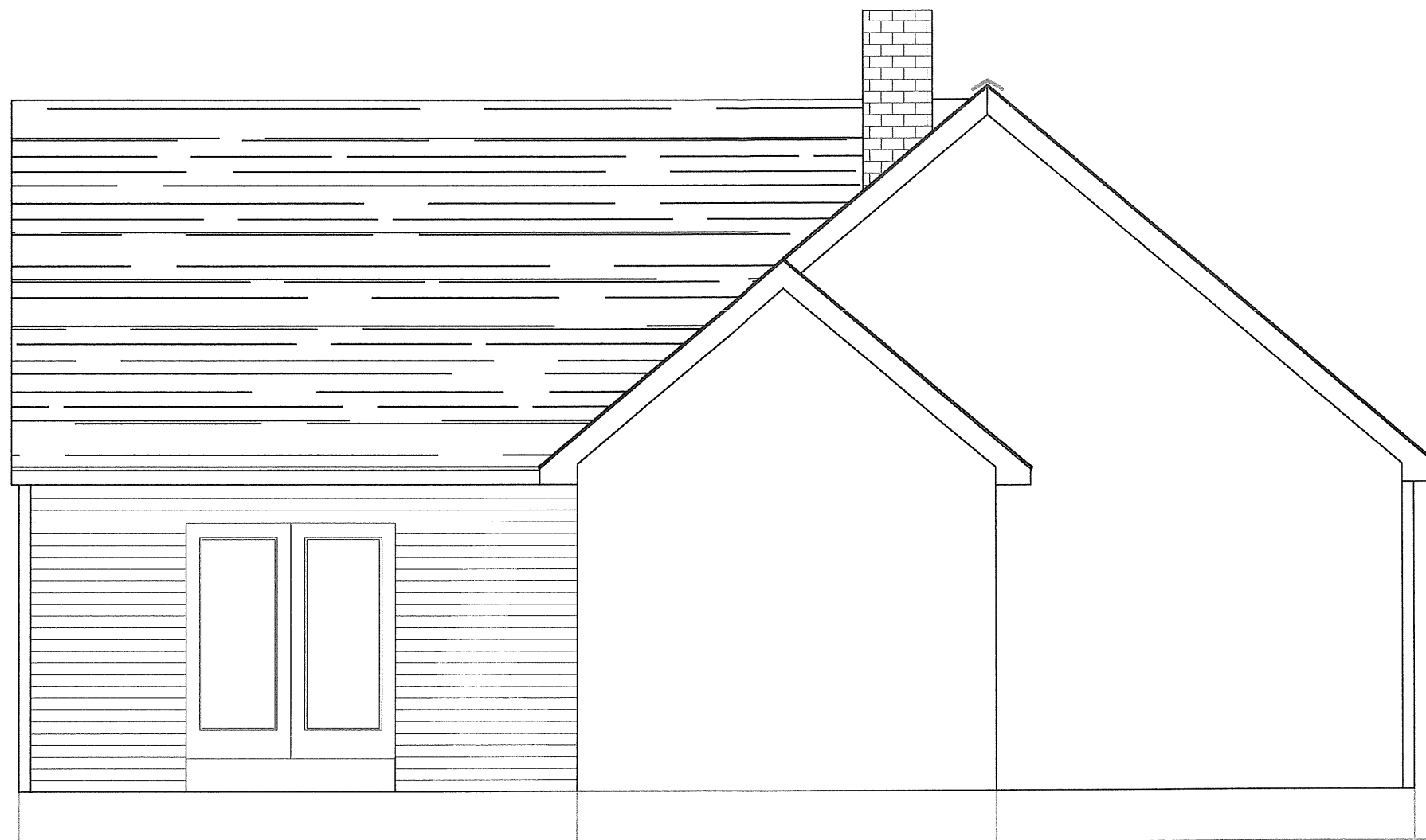
PROJECT:  
 LEON & VALLERIE MCKENZIE RESIDENCE  
 FIRST FLOOR ADDITION

DATE: 10/10/06 SCALE: 1/2" = 1'-0" (I.O.N.)  
 DRAWN BY: JMB  
 CHECKED BY: JMB  
 REVISIONS:

DESCRIPTION:  
 WEST ELEVATION

A7

A8



1 EAST ELEVATION  
 A8 SCALE: 1/2"=1'-0"

**GENERAL NOTES :**  
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CONTRACTOR:

**DESIGN TECH. INC.**  
 BUILDING & DESIGN

**JIM BERNIER**  
 STRUCTURAL & ARCHITECTURAL DETAILER  
 31 SABATUS LANE, WINDHAM MAINE 04062  
 PH# (207)892-0783 FAX# (207)892-0783

NOTE: NOT A LICENSED ENGINEER OR ARCHITECT

PROJECT:  
 LEON & VALLERIE MCKENZIE RESIDENCE  
 FIRST FLOOR ADDITION

DATE: 10/10/06 SCALE: 1/2"=1'-0" (L.O.N.)  
 DRAWN BY: JMB  
 CHECKED BY: JMB  
 REVISIONS:

DESCRIPTION: EAST ELEVATION

A8