

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT SECTION

Permit Number: 030579

This is to certify that Goodine Carlisle R & Maine Window & Siding
has permission to add 9' x 15' sunroom
AT 18 Autumn Ln 379 D032001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in progress must be reported before this building or part thereof is closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. PERMIT ISSUED
Health Dept. _____
Appeal Board _____
Other JUN 13 2003
Department Name

[Signature]
Director Building & Inspection Services

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0579	Issue Date: JUN 13 2003	CBL: 379 D032001
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Location of Construction: 18 Autumn Ln	Owner Name: Goodine Carlisle R &	Owner Address: 18 Autumn Ln CITY OF PORTLAND	Phone: 207-797-2862
Business Name:	Contractor Name: Maine Window & Sunroom	Contractor Address: 71 Portland Rd. Kennebunk	Phone: 2079852300
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-2
Past Use: single family	Proposed Use: single family - add 9' x 15' sunroom	Permit Fee: \$72.00	Cost of Work: \$7,000.00
Proposed Project Description: add 9' x 15' sunroom		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>MA</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>BOLA 99</i>
		Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature:	Date:

Permit Taken By: tmm	Date Applied For: 05/29/2003	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/29/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>5/29/03</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

6/23/03 - Pre Con in Office w/Bruce Moore
In Office - (K)

7/15/03 Sond tubes up + setbacks fine go/go

7/16/03 checked Berthing. OK. to cover gen

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

BDM **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

BDM **Footing/Building Location Inspection:** Prior to pouring concrete

N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete

N/A **Foundation Inspection:** Prior to placing ANY backfill

BDM **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

BDM **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

BDM **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

N/A **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Prince Morris
Signature of applicant/designee

6/23/03
Date

[Signature]
Signature of Inspections Official

6/23/03
Date

CBL: 319-D-032 Building Permit #: 030579

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	03-0579	Date Applied For:	05/29/2003	CBL:	379 D032001
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Location of Construction:	Owner Name:	Owner Address:	Phone:
18 Autumn Ln	Goodine Carlisle R &	18 Autumn Ln	207-797-2862
Business Name:	Contractor Name:	Contractor Address:	Phone:
	Maine Window & Sunroom	71 Portland Rd. Kennebunk	(207) 985-2300
Lessee/Buyer's Name	Phone:	Permit Type:	
		Alterations - Dwellings	

Proposed Use:	Proposed Project Description:
single family - add 9' x 15' sunroom	add 9' x 15' sunroom

Dept: Zoning Status: Approved Reviewer: Tammy Munson Approval Date: 05/29/2003
Note: Ok to Issue:

Dept: Building Status: Approved with Conditions Reviewer: Tammy Munson Approval Date: 05/29/2003
Note: Ok to Issue:

1) As discussed during application process, the carrying beam must be 2- 2"x10"s.

Portland

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>18 Autumn Lane</u>		
Total Square Footage of Proposed Structure <u>135 sq. ft.</u>	Square Footage of Lot <u>12,969 sq. ft.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>379</u> Block# <u>D</u> Lot# <u>032</u>	Owner: <u>CARL Goodine</u>	Telephone: <u>797-2862</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>MAINE WINDOW & SUNROOM</u> <u>71 PORTLAND RD.</u> <u>Kennebunk, Me. 04043</u>	Cost Of Work: \$ <u>7,000.00</u> Fee: \$ <u>72.00</u>
Current use: <u>Single Family</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>3 Season Patio Room</u>		
Project description: <u>to construct a 15'x9' pt deck then enclosing the deck with a 3 Season Patio Room</u>		
Contractor's name, address & telephone: <u>MAINE WINDOW & SUNROOM</u> <u>71 PORTLAND RD. KENNEBUNK, ME. 04043 985-2300 - x x call</u>		
Who should we contact when the permit is ready: <u>BRUCE MOORES</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

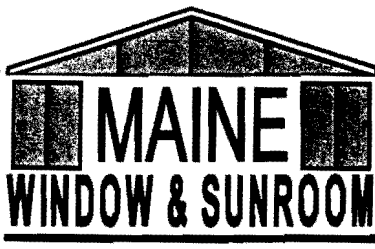
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>*See Attached Sheet</u>	Date: <u>5-19-03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

03-0579



"We Treat Your Home Like Our Own."

DATE: 4-29-03

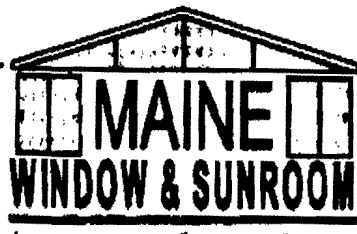
JOB NAME & ADDRESS:
CARL GOODINE
18 AUTUMN LANE
PORTLAND, ME 04103

I, CARL GOODINE, hereby authorize Maine Window & Sunroom to act as my agent to acquire a building permit for my home improvement project.

Carlisle P. Goodine
Signature

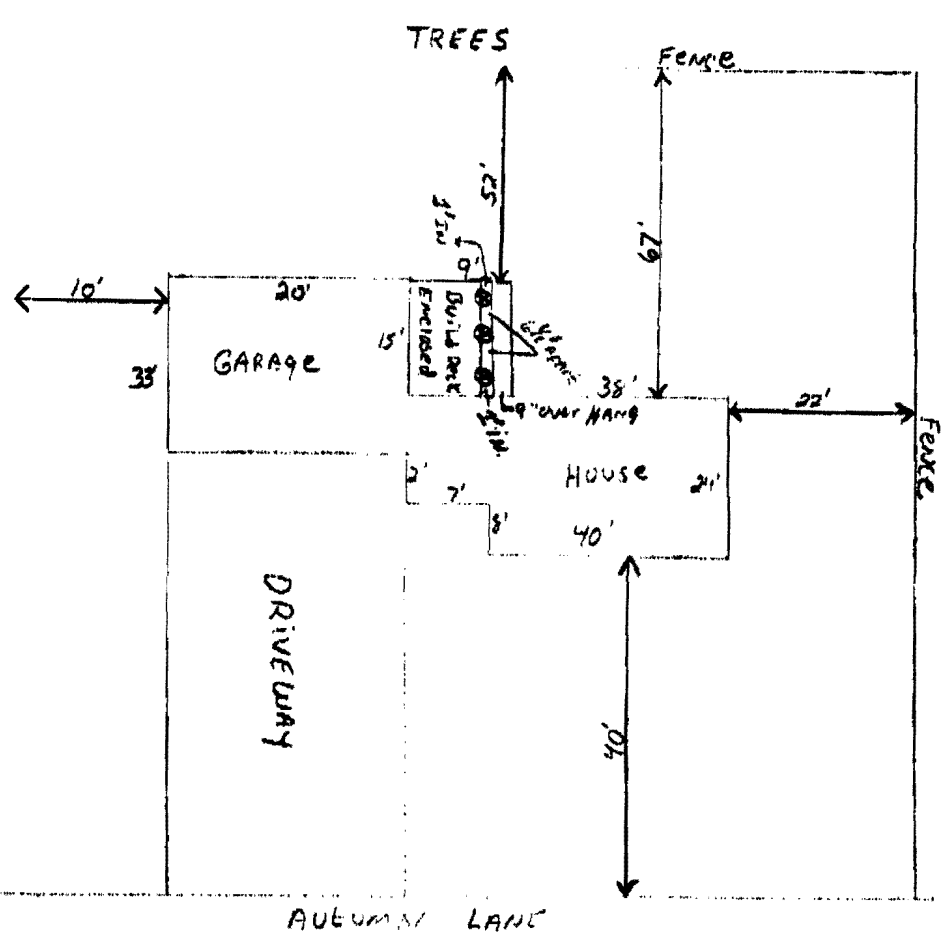
Established 1989

71 Portland Road • Kennebunk, ME 04043 • 207-985-2300 • 800-564-5858 • 207-985-1691 Fax
www.mainewindowsunroom.com



"We Treat Your Home Like Our Own."

CARL Goodine
18 AUTUMN LANE
Portland, ME. 04103

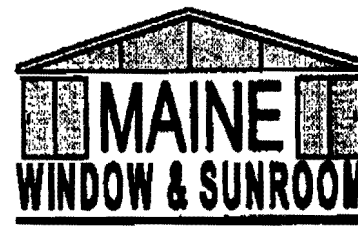


*R-2
Rear-25'
Sides-12'
OK
10x40' OK*

Established 1989

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71 Portland Road
Kennebunk, ME 04043
207-985-2300
207-985-1691 fax



"We Treat Your Home Like Our Own."

Fax

To: <u>Tammy Munsia</u>	From: <u>Bruce Madres</u>
Att:	Pages: <u>2</u> (Including Cover)
Fax: <u>874-8649</u>	Date: <u>5/23/03</u>
PO:	Job Name: <u>CAEL Goodline</u>

Hi Tammy,

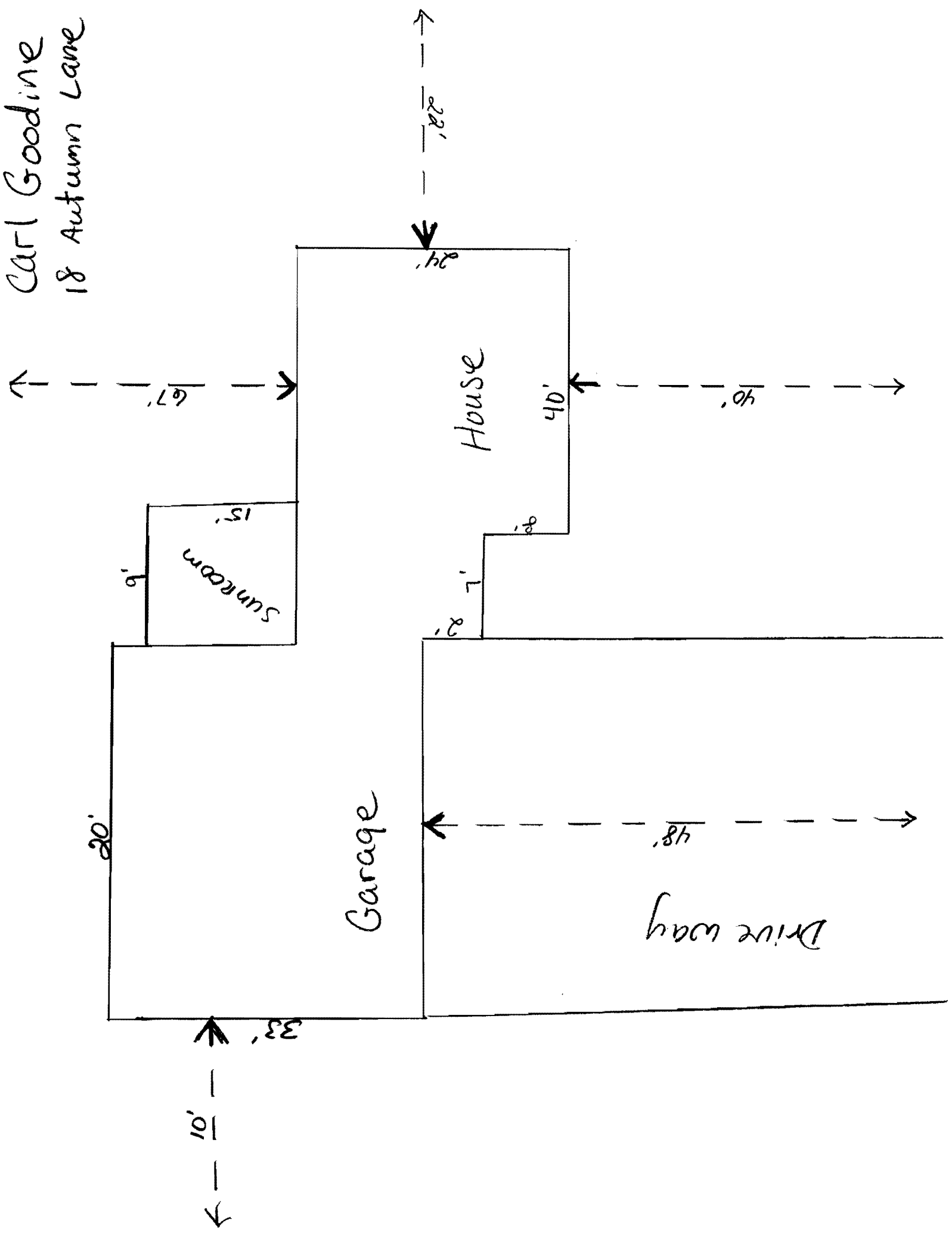
We are building a deck an enclosing it with a patio room. We drop off the building app. on 5/23/03. I put on the drawing of the ~~deck~~ deck. And where the solar tubes are.

Please call if any question.

Thank-you,
Bruce.

2-2X10
As discussed
when approved.
submitted. TM.

Carl Goodine
18 Autumn Lane



ROOF SPAN DESIGN TABLES (POLYSTYRENE PANELS)^(1,2,3)
FOR LESSOR OF ULTIMATE LOAD/2.5 OR LOAD AT SPAN/120

PANEL SPAN (R)	PANEL CONFIG.	ALLOWABLE LIVE ROOF LOADS FOR EXPANDED POLYSTYRENE (EPS) PANELS								
		20 (psf)	25 (psf)	30 (psf)	35 (psf)	40 (psf)	45 (psf)	50 (psf)	55 (psf)	60 (psf)
8	3" EPS	*	*	*	*	*	*	*	*	*
8	3" EPS + H	*	*	*	*	*	*	*	*	*
8	4.5" EPS	*	*	*	*	*	*	*	*	*
8	4.5" EPS + H	*	*	*	*	*	*	*	*	*
8	6" EPS	*	*	*	*	*	*	*	*	*
8	6" EPS + H	*	*	*	*	*	*	*	*	*
9	3" EPS	*	*	*	*	*	*	*	*	*
9	3" EPS + H	*	*	*	*	*	*	*	*	*
9	4.5" EPS	*	*	*	*	*	*	*	*	*
9	4.5" EPS + H	*	*	*	*	*	*	*	*	*
9	6" EPS	*	*	*	*	*	*	*	*	*
9	6" EPS + H	*	*	*	*	*	*	*	*	*
10	3" EPS	*	*	*	*	*	*	*	*	*
10	3" EPS + H + SKY	*	*	*	*	*	*	*	*	*
10	3" EPS + H	*	*	*	*	*	*	*	*	*
10	4.5" EPS	*	*	*	*	*	*	*	*	*
10	4.5" EPS + H	*	*	*	*	*	*	*	*	*
10	6" EPS	*	*	*	*	*	*	*	*	*
10	6" EPS + H	*	*	*	*	*	*	*	*	*
11	3" EPS	*	*	*	*	*	*	*	*	*
11	3" EPS + H + SKY	*	*	*	*	*	*	*	*	*
11	3" EPS + H	*	*	*	*	*	*	*	*	*
11	4.5" EPS	*	*	*	*	*	*	*	*	*
11	4.5" EPS + H	*	*	*	*	*	*	*	*	*
11	6" EPS	*	*	*	*	*	*	*	*	*
11	6" EPS + H	*	*	*	*	*	*	*	*	*
12	3" EPS	*	*	*	*	*	*	*	*	*
12	3" EPS + H + SKY	*	*	*	*	*	*	*	*	*
12	3" EPS + H	*	*	*	*	*	*	*	*	*
12	4.5" EPS	*	*	*	*	*	*	*	*	*
12	4.5" EPS + H + SKY	*	*	*	*	*	*	*	*	*
12	4.5" EPS + H	*	*	*	*	*	*	*	*	*
12	6" EPS	*	*	*	*	*	*	*	*	*
12	6" EPS + H	*	*	*	*	*	*	*	*	*
13	3" EPS	*	*	*	*	*	*	*	*	*
13	3" EPS + H	*	*	*	*	*	*	*	*	*
13	4.5" EPS	*	*	*	*	*	*	*	*	*
13	4.5" EPS + H + SKY	*	*	*	*	*	*	*	*	*
13	4.5" EPS + H	*	*	*	*	*	*	*	*	*
13	6" EPS	*	*	*	*	*	*	*	*	*
13	6" EPS + H + SKY	*	*	*	*	*	*	*	*	*
13	6" EPS + H	*	*	*	*	*	*	*	*	*

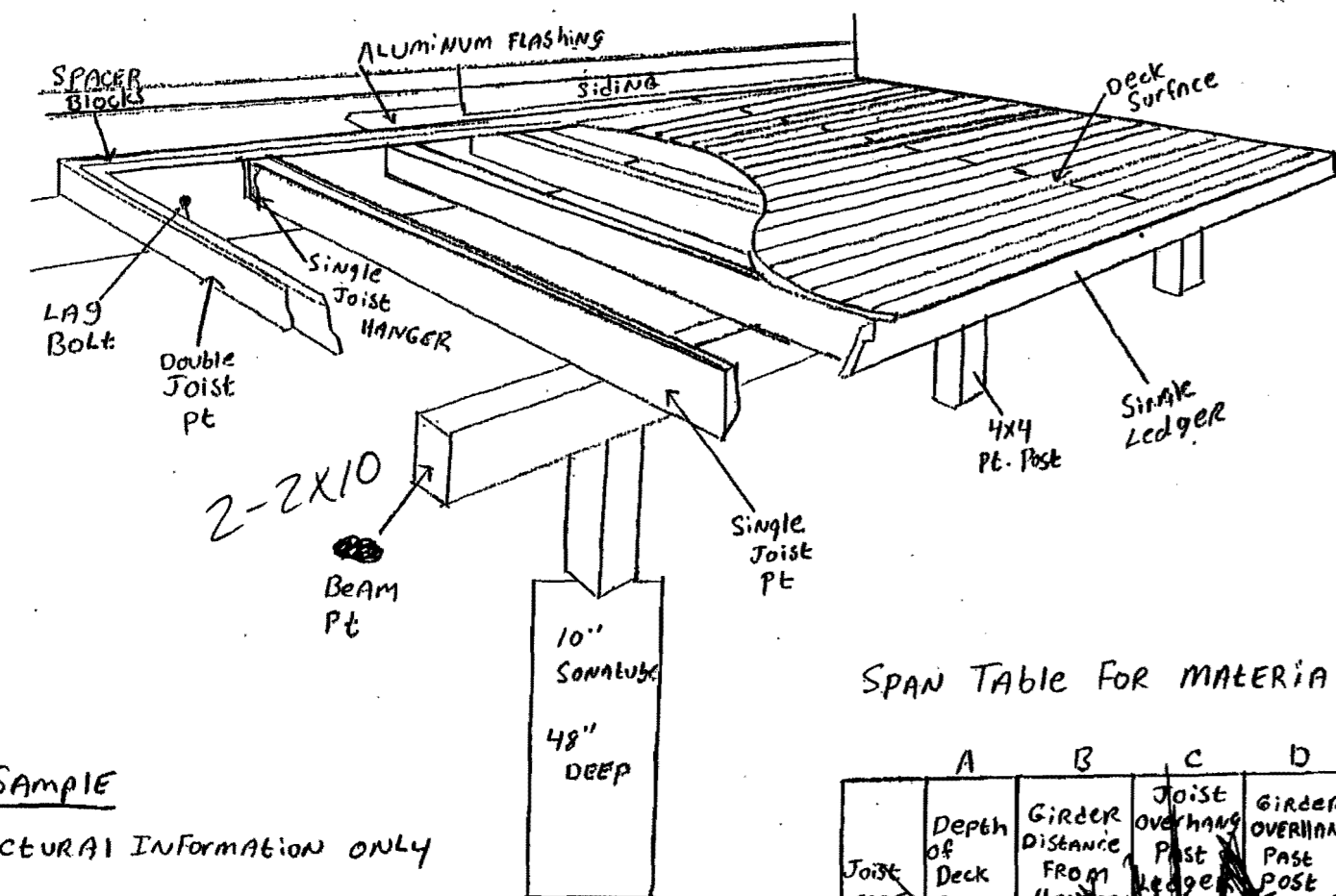
SEE NOTES ON PAGE 3.1.0



07.04
summeng02.xls

em30.p65

REV 0208



SAMPLE
FOR STRUCTURAL INFORMATION ONLY

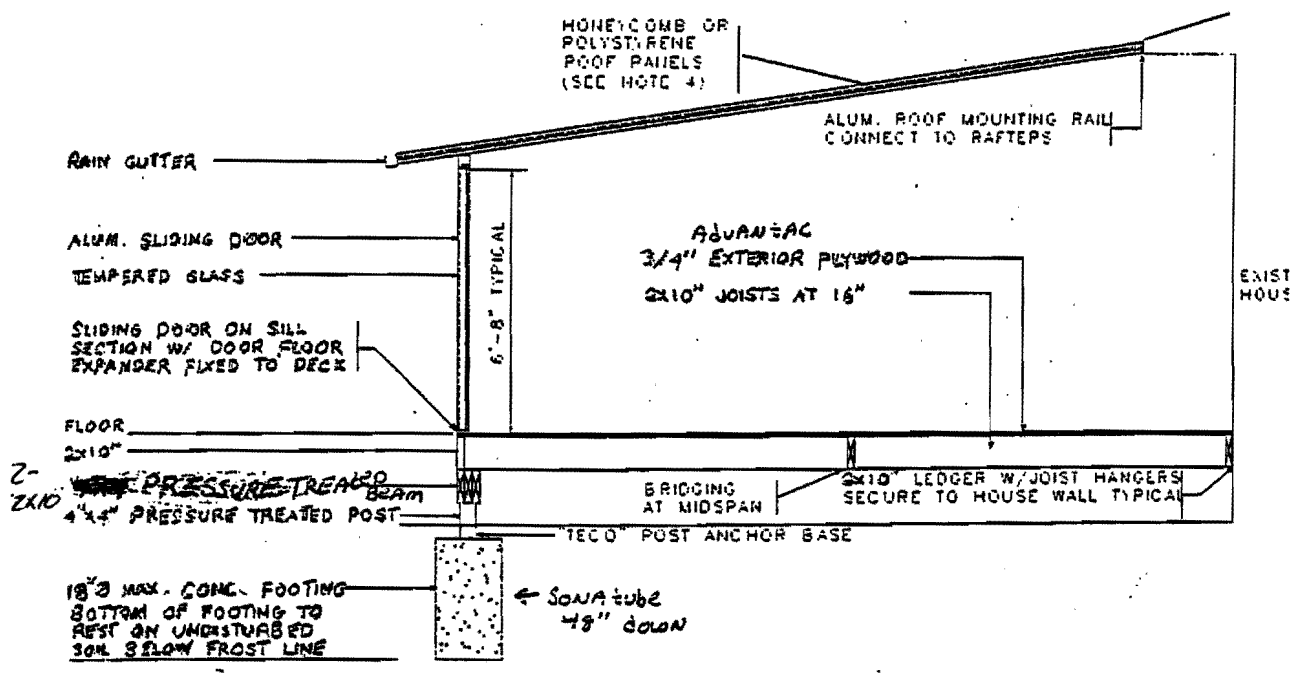
SPAN TABLE FOR MATERIALS

	A	B	C	D	E
Joist Size	Depth of Deck From House	Girder distance FROM HOUSE	Joist overhang Past Ledger	Girder overhang Past Post	Distance BETWEEN Support Post
2x8	8'	6'	2'	2'	7'
2x8	10'	8'	2'	2'	7'
2x8	12'	9'	3'	2'	7'
2x10	14'	11'	3'	2'	6'
2x10	15'	13'	3'	2'	6'

Do Not Exceed Maximum Dimensions Shown IN CHART.
This Deck is Designed For A Maximum Load ALSO pounds Per SQUARE Foot

FIGURE 50-2

STUDIO ROOM CROSS SECTION



STUDIO ROOM CROSS SECTION (WOODEN DECK)



CITY OF PORTLAND, MAINE
Department of Building Inspections

May 21 2003

Received from MWS, Inc.

Location of Work 15 Canton St

Cost of Construction \$ _____

Permit Fee \$ 92.00

Building (IL) Plumbing (L5) _____ Electrical (L2) _____ Site Plan (U2) _____

Other _____

CBL: 279 2007

Check #: 10139 Total Collected \$ 92.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

Check was # 92.00
cash refund # 91.00

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

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Application And
Notes, If Any,
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BUILDING DEPARTMENT

PERMIT

Permit Number: 030579

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AT 18 Autumn Ln Portland, ME 04103 379 D032001

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Health Dept. _____

Appeal Board _____

Other JUN 13 2003
Department Name

[Signature]
Director, Building & Inspection Services

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Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

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SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

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Location/Address of Construction: <u>18 Autumn Lane</u>		
Total Square Footage of Proposed Structure <u>135 sq. ft.</u>	Square Footage of Lot <u>12,969 sq. ft.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>379</u> Block# <u>D</u> Lot# <u>002</u>	Owner: <u>CARL Goodine</u>	Telephone: <u>797-2862</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>MAINE WINDOW & SUN ROOM</u> <u>71 PORTLAND RD.</u> <u>KENNEBUNK, ME. 04043</u>	Cost Of Work: \$ <u>7,000.00</u> Fee: \$ <u>72.00</u>
Current use: <u>Single Family</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>3 SEASON PATIO ROOM</u>		
Project description: <u>to construct a 15'x9' pt deck then enclosing the deck with a 3 SEASON PATIO ROOM</u>		
Contractor's name, address & telephone: <u>MAINE WINDOW & SUN ROOM</u> <u>71 PORTLAND RD. KENNEBUNK, ME. 04043 985-2300. X X call</u>		
Who should we contact when the permit is ready: <u>BRUCE MOORES</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>*See Attached Sheet</u>	Date: <u>5-19-03</u>
--	----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

03-0579



"We Treat Your Home Like Our Own."

DATE: 4-29-03

JOB NAME & ADDRESS:

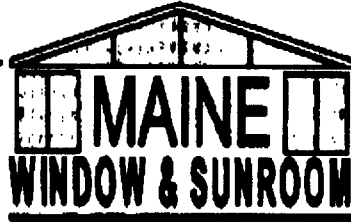
CARL GOODINE
18 AUTUMN LANE
PORTLAND, ME 04103

I, CARL GOODINE, hereby authorize Maine Window & Sunroom to act as my agent to acquire a building permit for my home improvement project.

Carlisle P. Goodine

Signature

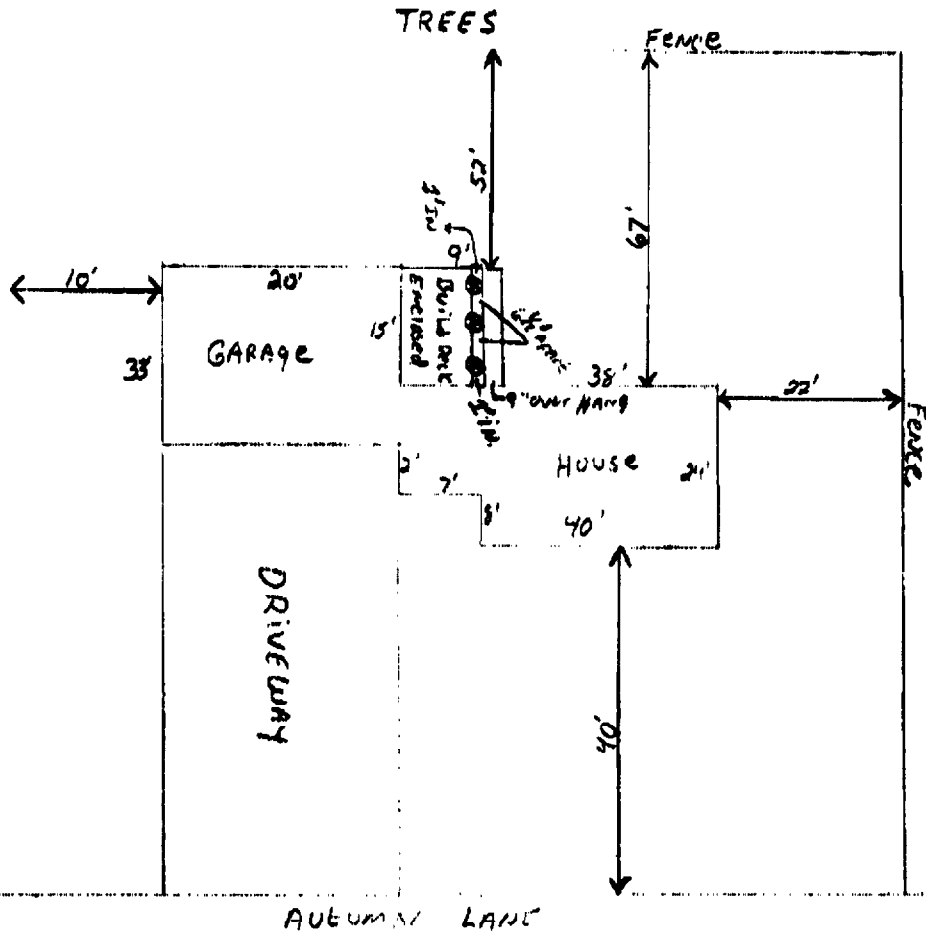
Established 1989



"We Treat Your Home Like Our Own."

CARL Goodine
18 AUTUMN LANE
Portland, me.

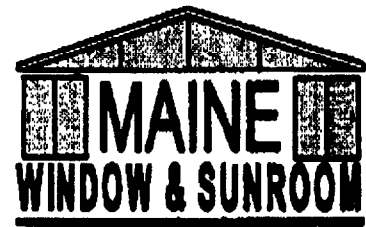
04103



R-2
Rear-25'
Sides-12'
OK
lot cov-OK

Established 1989

71 Portland Road
Kennebunk, ME 04043
207-985-2300
207-985-1691 fax



"We Treat Your Home Like Our Own."

Fax

To: <u>Tammy Munsin</u>	From: <u>Bruce Madres</u>
Att:	Pages: <u>2</u> (Including Cover)
Fax: <u>874-8649</u>	Date: <u>5/23/03</u>
PO:	Job Name: <u>CARL Godline</u>

Hi Tammy,

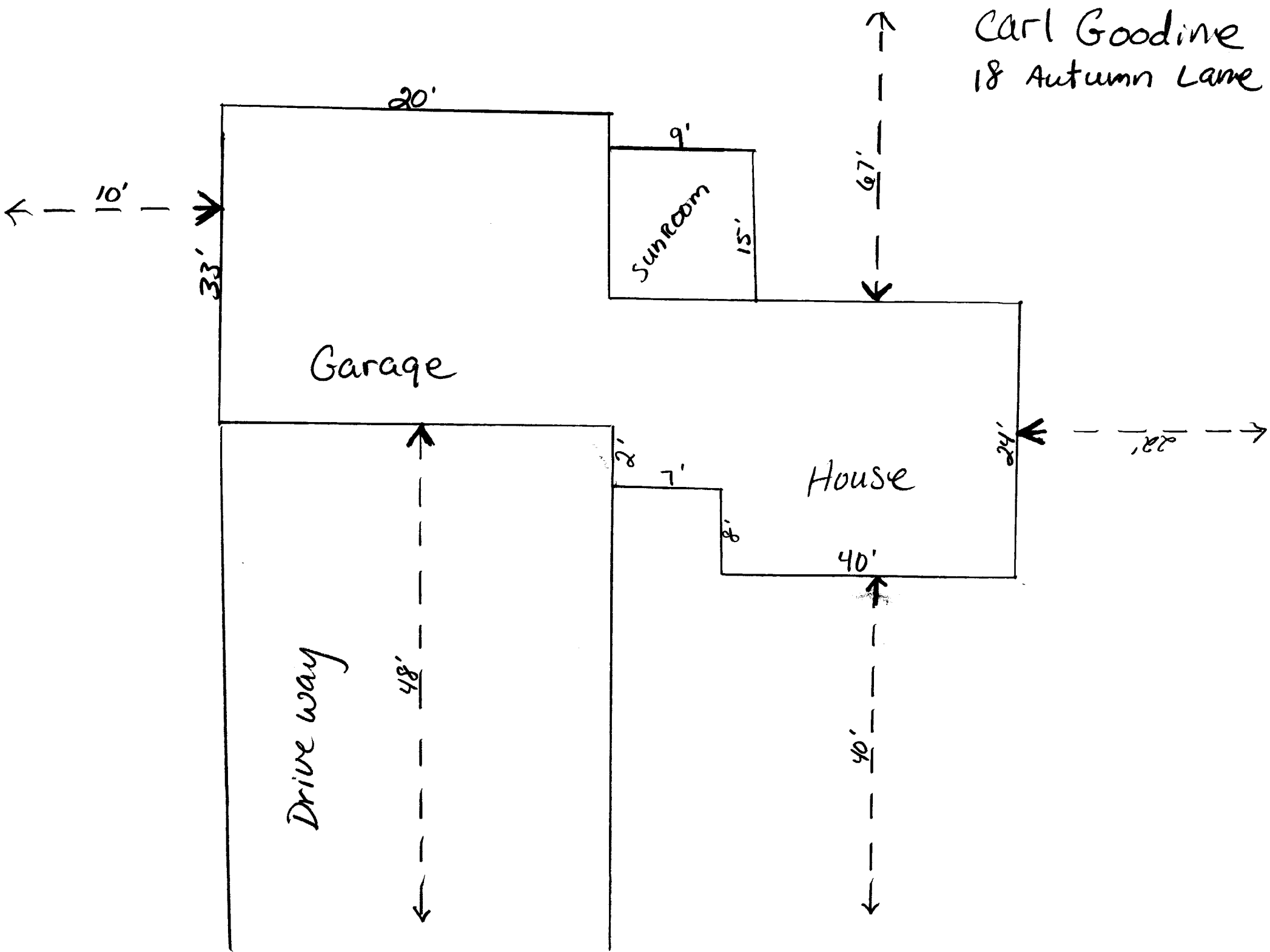
We are building a deck an enclosing it with a patio room. We drop off the Building App. on 5/21/03. I put on the drawing of the ~~8~~ pt Bent. And where the sawtubes are.

Please call if any question.

Thank-you,
Bruce.

2-2x10
As discussed
when app. was
submitted. TM.

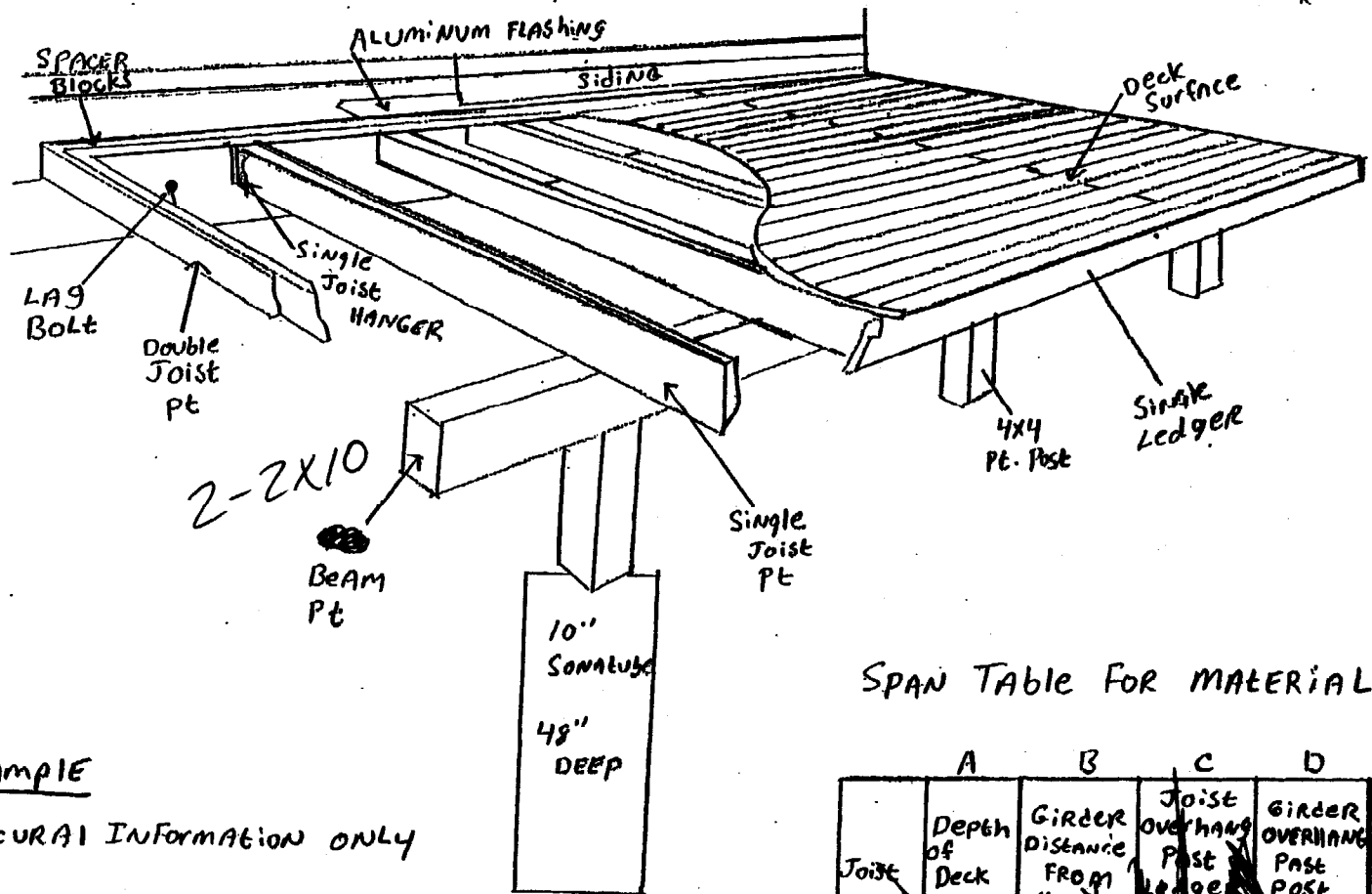
Carl Goodine
18 Autumn Lane



ROOF SPAN DESIGN TABLES (POLYSTYRENE PANELS)^(1,2,3)
 FOR LESSOR OF ULTIMATE LOAD/2.5 OR LOAD AT SPAN/120

PANEL SPAN (ft)	PANEL CONFIG.	ALLOWABLE LIVE ROOF LOADS FOR EXPANDED POLYSTYRENE (EPS) PANELS									
		20 (psf)	25 (psf)	30 (psf)	35 (psf)	40 (psf)	45 (psf)	50 (psf)	55 (psf)	60 (psf)	
8	3" EPS	.	.	.	.	.	.	.	.	.
8	3" EPS + H	.	.	.	.	.	.	.	.	.
8	4.5" EPS	.	.	.	.	.	.	.	.	.
8	4.5" EPS + H	.	.	.	.	.	.	.	.	.
8	6" EPS	.	.	.	.	.	.	.	.	.
8	6" EPS + H	.	.	.	.	.	.	.	.	.
9	3" EPS	.	.	.	.	.	.	.	.	.
9	3" EPS + H	.	.	.	.	.	.	.	.	.
9	4.5" EPS	.	.	.	.	.	.	.	.	.
9	4.5" EPS + H	.	.	.	.	.	.	.	.	.
9	6" EPS	.	.	.	.	.	.	.	.	.
9	6" EPS + H	.	.	.	.	.	.	.	.	.
10	3" EPS	.	.	.	.	.	.	.	.	.
10	3" EPS + H + SKY	.	.	.	.	.	.	.	.	.
10	3" EPS + H	.	.	.	.	.	.	.	.	.
10	4.5" EPS	.	.	.	.	.	.	.	.	.
10	4.5" EPS + H	.	.	.	.	.	.	.	.	.
10	6" EPS	.	.	.	.	.	.	.	.	.
10	6" EPS + H	.	.	.	.	.	.	.	.	.
11	3" EPS	.	.	.	.	.	.	.	.	.
11	3" EPS + H + SKY	.	.	.	.	.	.	.	.	.
11	3" EPS + H	.	.	.	.	.	.	.	.	.
11	4.5" EPS	.	.	.	.	.	.	.	.	.
11	4.5" EPS + H	.	.	.	.	.	.	.	.	.
11	6" EPS	.	.	.	.	.	.	.	.	.
11	6" EPS + H	.	.	.	.	.	.	.	.	.
12	3" EPS	.	.	.	.	.	.	.	.	.
12	3" EPS + H + SKY	.	.	.	.	.	.	.	.	.
12	3" EPS + H	.	.	.	.	.	.	.	.	.
12	4.5" EPS	.	.	.	.	.	.	.	.	.
12	4.5" EPS + H + SKY	.	.	.	.	.	.	.	.	.
12	4.5" EPS + H	.	.	.	.	.	.	.	.	.
12	6" EPS	.	.	.	.	.	.	.	.	.
12	6" EPS + H	.	.	.	.	.	.	.	.	.
13	3" EPS	.	.	.	.	.	.	.	.	.
13	3" EPS + H	.	.	.	.	.	.	.	.	.
13	4.5" EPS	.	.	.	.	.	.	.	.	.
13	4.5" EPS + H + SKY	.	.	.	.	.	.	.	.	.
13	4.5" EPS + H	.	.	.	.	.	.	.	.	.
13	6" EPS	.	.	.	.	.	.	.	.	.
13	6" EPS + H + SKY	.	.	.	.	.	.	.	.	.
13	6" EPS + H	.	.	.	.	.	.	.	.	.

SEE NOTES ON PAGE 3.1.0



SAMPLE
FOR STRUCTURAL INFORMATION ONLY

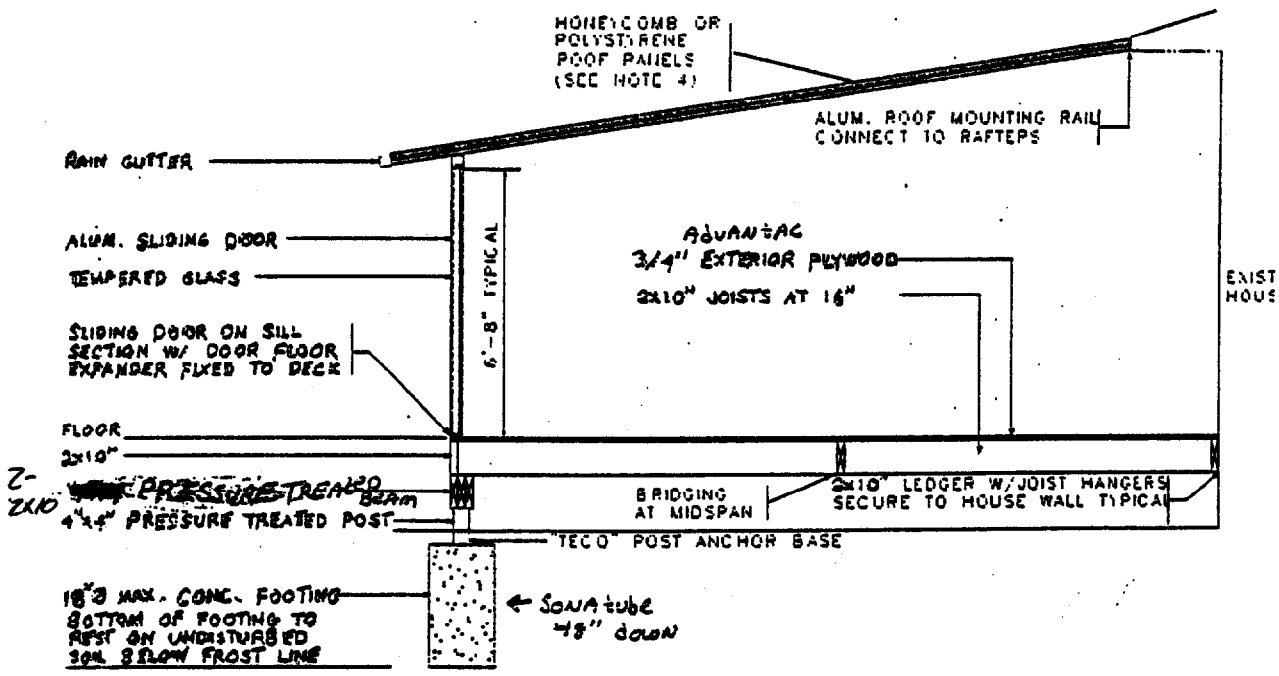
SPAN TABLE FOR MATERIALS

	A	B	C	D	E
Joist Size	Depth of Deck From House	Girder Distance From House	Joist Overhang Post Ledger	Girder Overhang Post Post	Distance Between Support Post
2x8	8'	6'	2'	2'	7'
2x8	10'	8'	2'	2'	7'
2x8	12'	9'	3'	2'	7'
2x10	14'	11'	3'	2'	6'
2x10	15'	13'	3'	2'	6'

Do Not Exceed Maximum Dimensions Shown IN CHART.
This Deck is Designed For A Maximum Load ALSO Pounds Per Square Foot

FIGURE 50-2

STUDIO ROOM CROSS SECTION



STUDIO ROOM CROSS SECTION (WOODEN DECK)