

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 061552

Please Read Application And Notes, if Any, Attached

This is to certify that SAUNDERS MARTHA G /
has permission to Change of use for home occupation/ day care
AT 37 MELODY LN 379 D004001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or service is closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 11/21/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1552	Issue Date: PERMIT ISSUED	379 D004001
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Location of Construction: 37 MELODY LN	Owner Name: SAUNDERS MARTHA G	Owner Address: 20 BLUEBERRY LN	Phone: L112
Business Name:	Contractor Name: n/a	Contractor Address: n/a Portland	Phone: CITY OF PORTLAND
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use Home Occupation	Zone: R-2

Past Use: Single Family	Proposed Use: Single Family Change of use home occupation/ daycare center	Permit Fee: \$225.00	Cost of Work: \$225.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB	

Proposed Project Description:
Change of use for home occupation/ daycare - *no more than 6 children*

Signature: *N/A*

Signature: *City ordinance*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: dmartin	Date Applied For: 10/20/2006	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>ok with conditions</i></p> <p>Date: <i>10/30/06</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1552	Date Applied For: 10/20/2006	CBL: 379 D004001
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Location of Construction: 37 MELODY LN	Owner Name: SAUNDERS MARTHA G	Owner Address: 20 BLUEBERRY LN L112	Phone:
Business Name:	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use Home Occupation	

Proposed Use: Single Family Change of use home occupation/ daycare center for no more than 6 children	Proposed Project Description: Change of use for home occupation/ daycare
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/30/2006

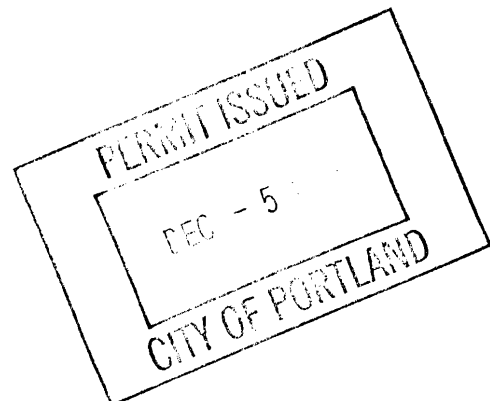
Note: **Ok to Issue:**

- 1) During its existence, all aspects of the Home Occupations criteria, Section 14-410, shall be maintained.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) Separate permits shall be required for any new signage under the home occupation guidelines.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 5) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 11/01/2006

Note: **Ok to Issue:**

- 1) This is a Change of Use ONLY permit. It does NOT authorize any construction activities.



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>37 Melody Lane</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>379</u> Block# <u>D</u> Lot# <u>004</u>	Owner: <u>Nicholas A Mancini III & Erin L Mancini</u>	Telephone: <u>899-1822</u>
Lessee/Buyer's Name (if Applicable) <u>/</u>	Applicant name, address & telephone: <u>Erin L Mancini 37 Melody Lane Portland, ME 04103</u>	Cost Of Work: \$ <u>n/a</u> Fee: \$
Current use: <u>residence - home</u>		
If the location is currently vacant, what was prior use: <u>/</u>		
Approximately how long has it been vacant: <u>/</u>		
Proposed use: <u>operate a home licensed family day care</u>		
Project description: <u>change of use for a home occupation, to add;</u>		
Contractor's name, address & telephone: <u>Erin Mancini 756-9808</u>		
Who should we contact when the permit is ready: <u>Erin Mancini 756-9808</u>		
Mailing address: We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 756-9808		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Erin Mancini</u>	Date: <u>10-5-06</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall**

Untitled

Lee Urban
Director
Dept. Planning & Development
City of Portland
Portland, Maine 04101

Dear Lee Urban,

I am requesting a permit to operate a licensed family daycare home at my residence, 37 Melody Lane 04103.

This will be a home occupation for me. I intend to serve the local community with child care services which is an acceptable home occupation as listed under section 14-410 item 18. Below you will find an explanation of how my home occupation will meet the criteria of the city of Portland zoning requirements.

- A. My daycare will be serving no more than 6 children at any time, and will require no nonresidential employees
- B. There will be no outside storage of goods or materials, as I do not sell or produce any items I only provide a service
- C. My home day care will not require any exterior signage or displays to operate
- D. There will be no alterations to the structural exterior of my home
- E. There is no need for additional parking beyond my existing driveway, as the parents of children will not be staying during the day, and will only be picking up and dropping off children and staying only brief times, This also applies to traffic generation, no additional traffic above what is expected in a residential neighborhood will be produced.
- F. There will be absolutely no offensive noise, effects, etc. produced by my home occupation, this is family neighborhood which is highly compatible with the nature of my occupation
- G. There is no need for any vehicle even nearing 6000 pounds for my home day care
- H. My home daycare will be operating suitable hours for such a business for example 7:30 am thru: 6:30pm approx.

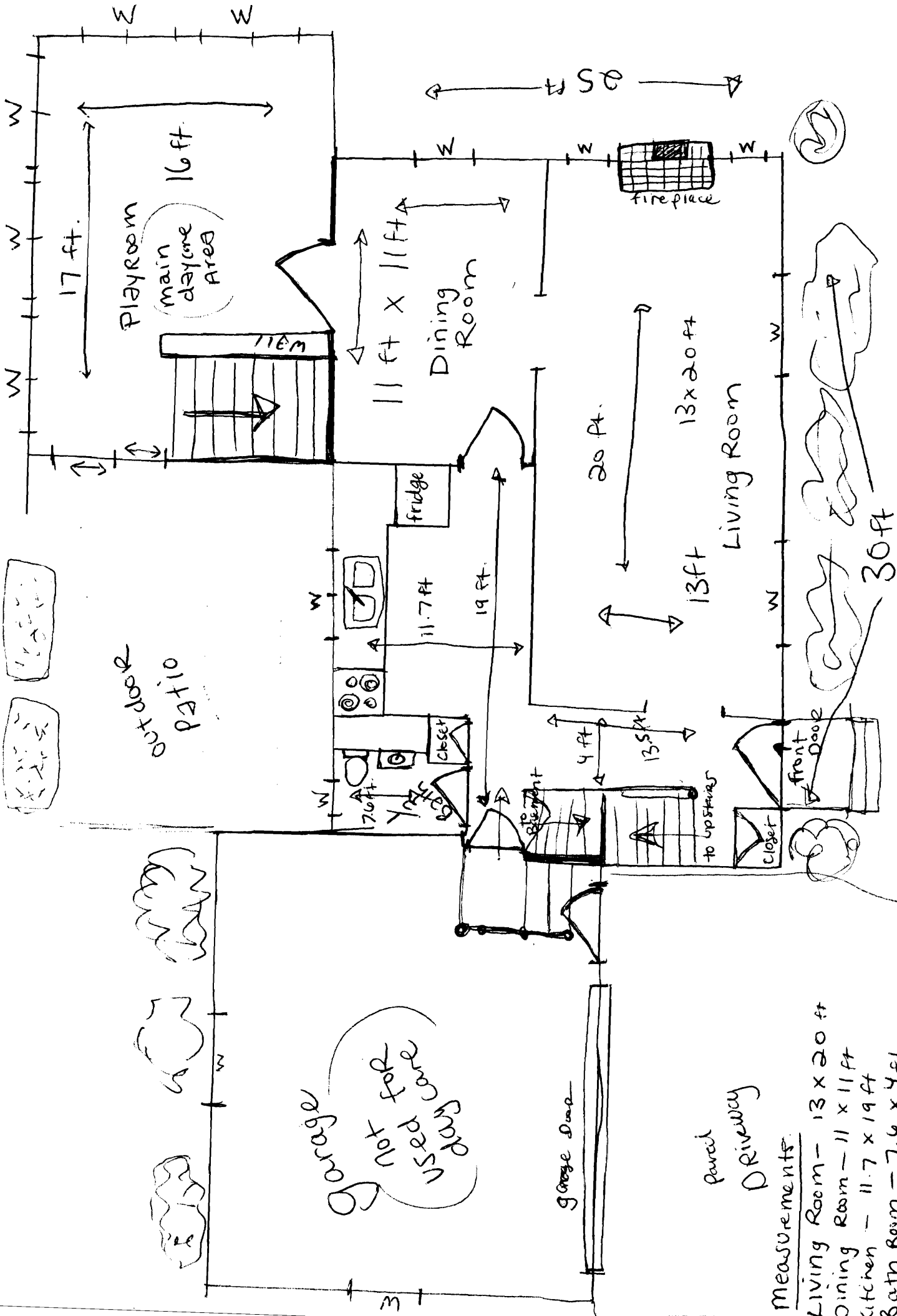
As clearly stated above this will be a secondary use of my home residence, All parts of the operation of this daycare are conducive and acceptable in keeping the residential integrity of my neighborhood.

I have attached a copy of a floor plan to show the dimensions of my home as well as a plot plan of my property.

Please direct any questions regarding this request to me at 899-1822 or my cell 756-9808.

Thank you for your time and assistance in this matter.

Erin Leigh Mancini
(Applicant and owner of property at 37 Melody Lane)



37 Melody Lane

- Measurements:
- Living Room - 13 x 20 ft
 - Dining Room - 11 x 11 ft
 - Kitchen - 11.7 x 19 ft
 - Bath Room - 7.6 x 4 ft
 - Play Room - 16 x 17 ft
 - Hall - 13.5 x 4 ft

FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLOWS: A) DWELLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACKS, AND B) FLOOD ZONE DETERMINATION BY HORIZONTAL SCALING ON BELOW REFERENCED FEMA MAP. (3) THIS INSPECTION EXCEPTS OUT ALL TECHNICAL STANDARDS CURRENTLY SET FORTH BY STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS. (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LENDER, TITLE ATTORNEY & TITLE INSURER AND IS NOT TO BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (5) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, ENCROACHMENTS, AND/OR CONFLICTS WITH ADJUTER'S DEEDS.

REV. 1/20/06

**THIS SKETCH IS NOT TO BE USED FOR CONSTRUCTION PURPOSES
THE LOCATION OF IMPROVEMENTS SHOWN ARE APPROXIMATE ONLY.**

ADDRESS: 37 Melody Lane INSPECTION DATE: August 24, 2006
Portland, Maine SCALE: 1" = 25'

