

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 051266

Please Read Application And Notes, If Any, Attached

This is to certify that Francoeur Catherine C & Ha Contract

has permission to Enclose deck to create sunro

AT 33 Autumn Ln

379 B037001

PERMIT ISSUED

SEP 26 2005

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must given and when permit in process before this building or part thereof is occupied or enclosed-in. NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.

Health Dept.

Appeal Board

Other

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

C 29 & C 30

797-0239

Handwritten signature and date 9/23/05

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1266	Issue Date:	CBL: 379 B037001
-----------------------	-------------	---------------------

Location of Construction: 33 Autumn Ln	Owner Name: Francoeur Catherine C &	Owner Address: 33 Autumn Ln	Phone:
Business Name:	Contractor Name: Harris Contracting LLC 834-8167	Contractor Address: 5 Bartley Portland	Phone: 207-974928
Lessee/Buyer's Name:	Phone:	Permit Type: Alterations - Dwellings	Zone: R-2
Past Use: Single Family	Proposed Use: Single Family enclose deck to create a sunroom	Permit Fee: \$381.00	Cost of Work: \$40,000.00
Proposed Project Description: Enclose deck to create sunroom		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRC 2003
		Signature: [Signature]	Signature: [Signature]
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature: _____ Date: _____	

PERMIT ISSUED
SEP 26 2005
CITY OF PORTLAND

Permit Taken By: dmartin	Date Applied For: 09/01/2005	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 9/23/05	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 9/23/05

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

9/28/05 Frump/Satch 1000

10/27/05 - Check - Jimmy ok -
① Power in Crowl space has to
be secured to joints
② Pipe cuts in Crowl space has to
be extended to 150

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1266	Date Applied For: 09/01/2005	CBL: 379 B037001
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Business Name:	Contractor Name: Harris Contracting LLC	Contractor Address: 5 Bartley Portland	Phone: (207) 797-4928
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

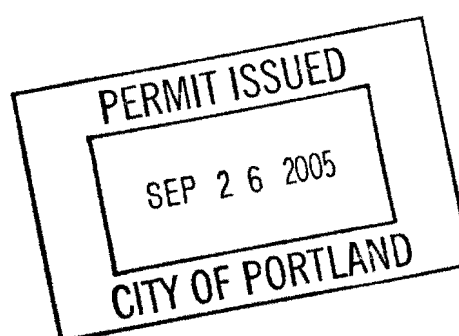
Proposed Use: Single Family enclose deck to create a sunroom	Proposed Project Description: Enclose deck to create sunroom
-----------------------------------------------------------------	-----------------------------------------------------------------

Dept: Zoning Status: Approved Reviewer: Tammy Munson Approval Date: 09/23/2005
 Note: Ok to Issue:

Dept: Building Status: Approved with Conditions Reviewer: Tammy Munson Approval Date: 09/23/2005
 Note: 9/20/05 Bill Harris left vm for status of permit, I left vm back offering to schedule same day next week. Ok to Issue:

1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Comments:
 9/6/05-gg: received granted ite exemption. /gg





APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Applicant: Harris Construction LLC Application Date: 9/1/05
 Applicant's Mailing Address: 5 Bessy Ave Portland Project Name/Description: Swimlane Addition
 Consultant/Agent/Phone Number: William Harris 797-4928 Address of Proposed Site: 33 Aqueduct Portland

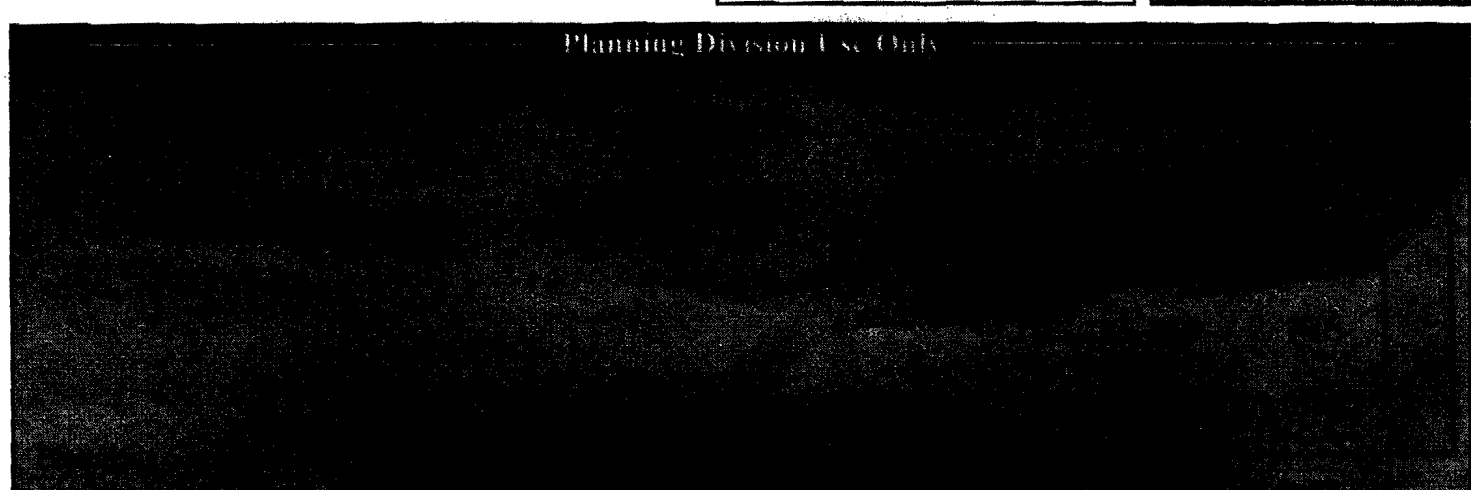
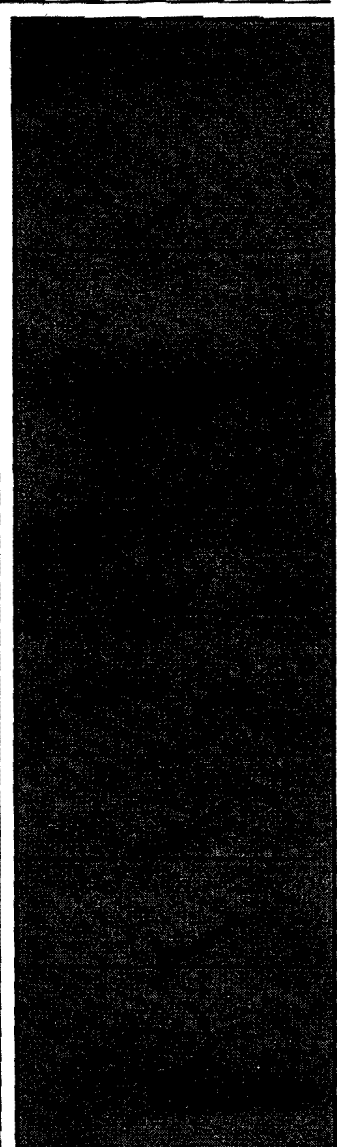
Description of Proposed Development: 2 million Addition 150 s.f. - Rear CBL: 379-B-037

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:
See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

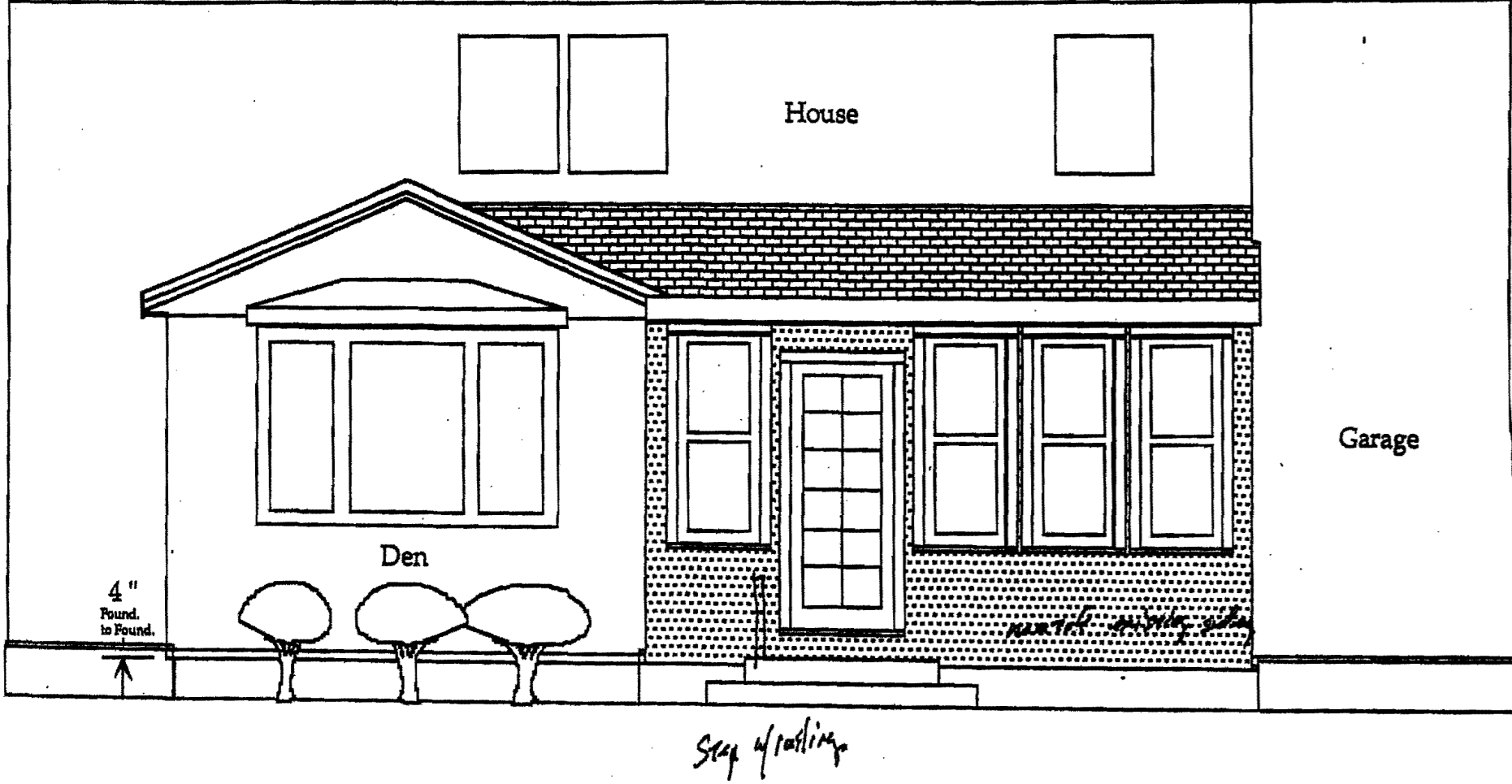
Applicant's Assessment (Yes, No, N/A)
<u>NO</u>
<u>Yes</u>
<u>Yes</u>
<u>Yes</u>
<u>Yes</u>
<u>Yes</u>
<u>Yes</u>
<u>Yes</u>
<u>Yes</u>



Planning Division Use Only

White - Planning Office Pink - Inspections Yellow - Applicant

5/12



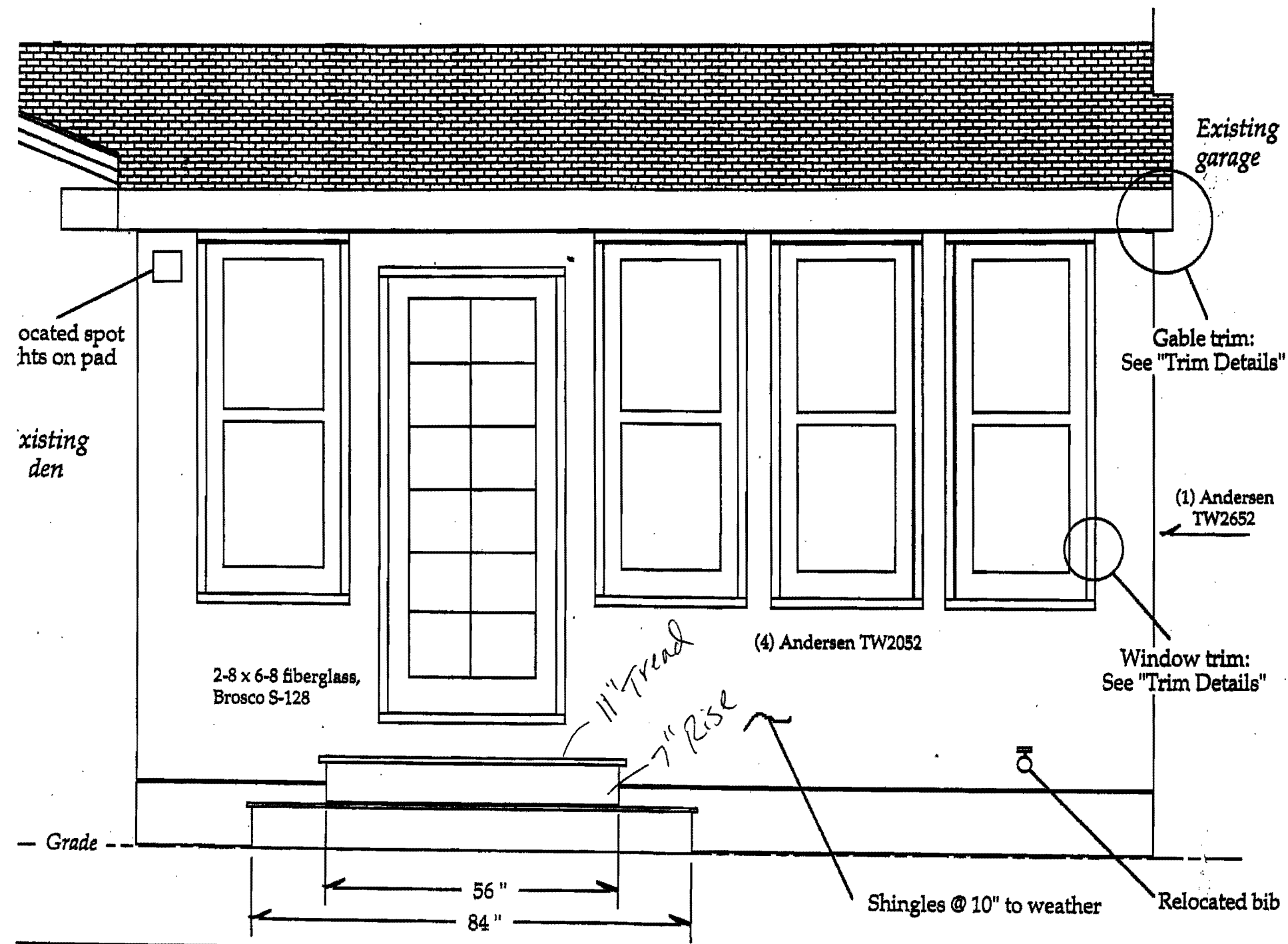
ing: Francoeur House - South Elevation

Date: Jan. 12, '05

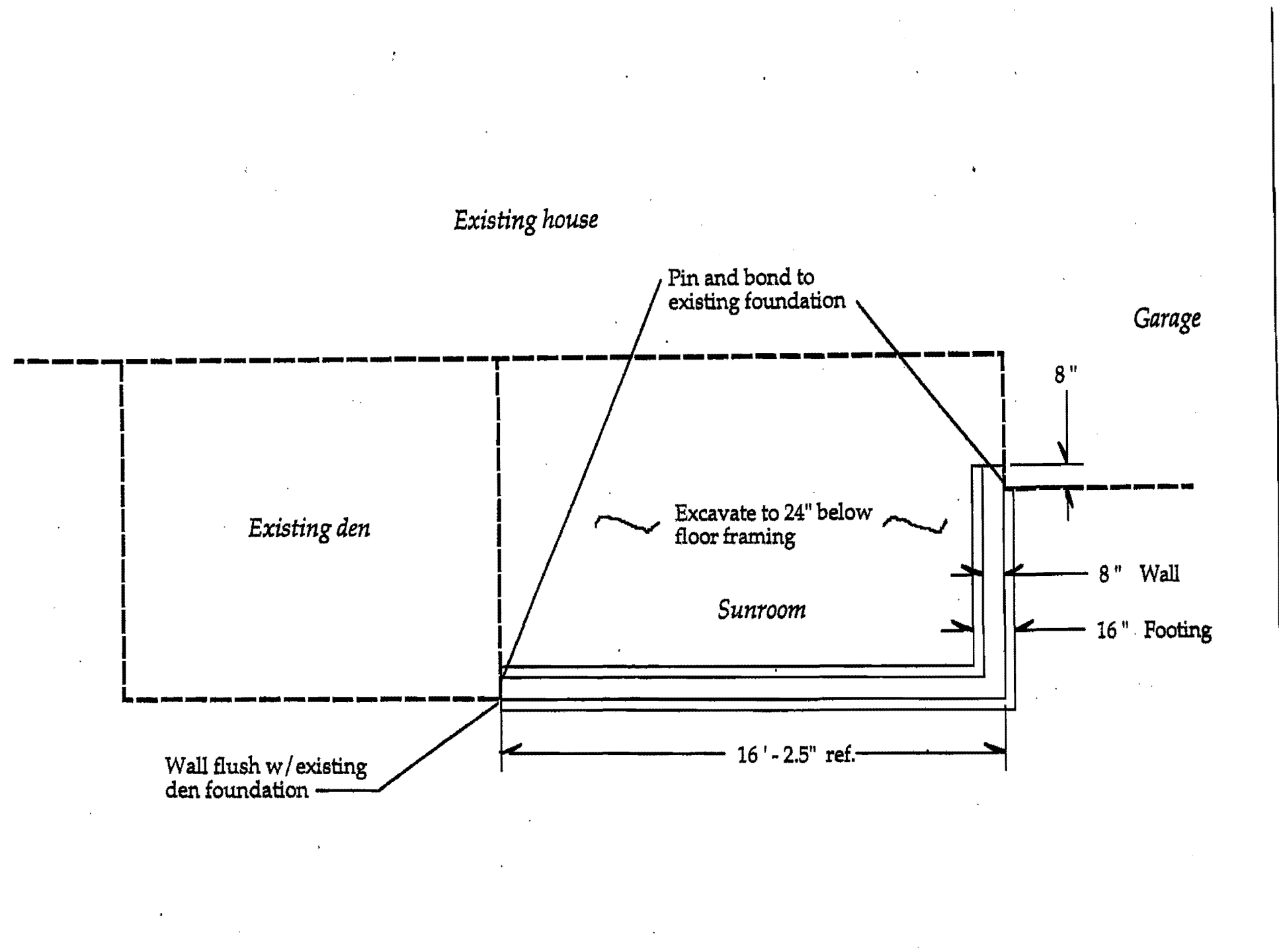
Scale: 1"=4'

Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com 207.883.6050

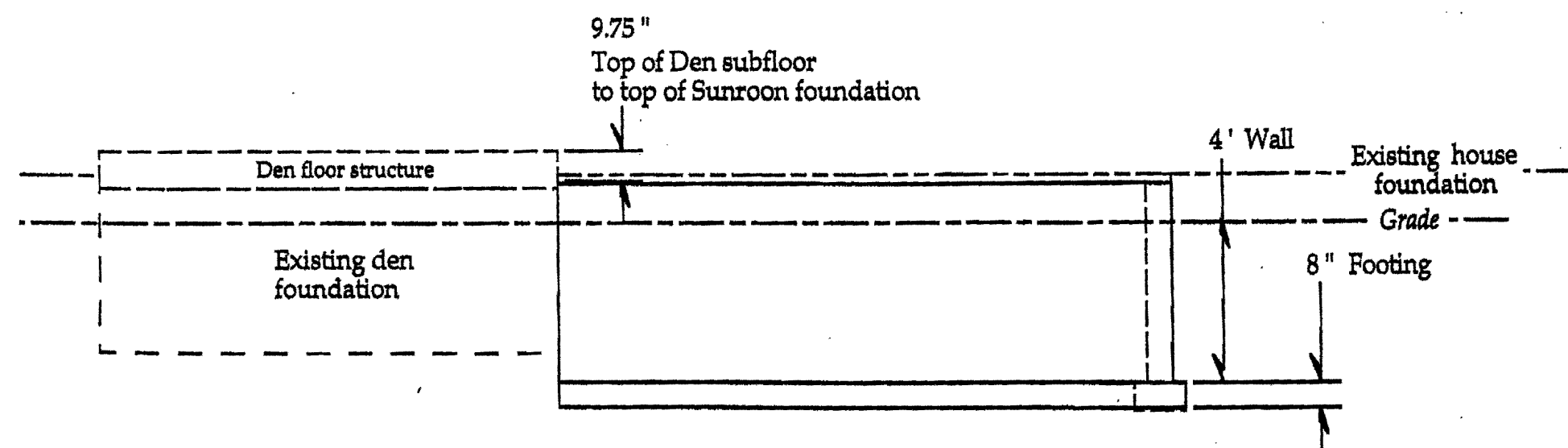


Project: Francoeur House - Framing, South Elevation		Date: Feb. 4, '05	Scale: 1/2" = 1'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074		WholeHomeResource.com	207.883.6050



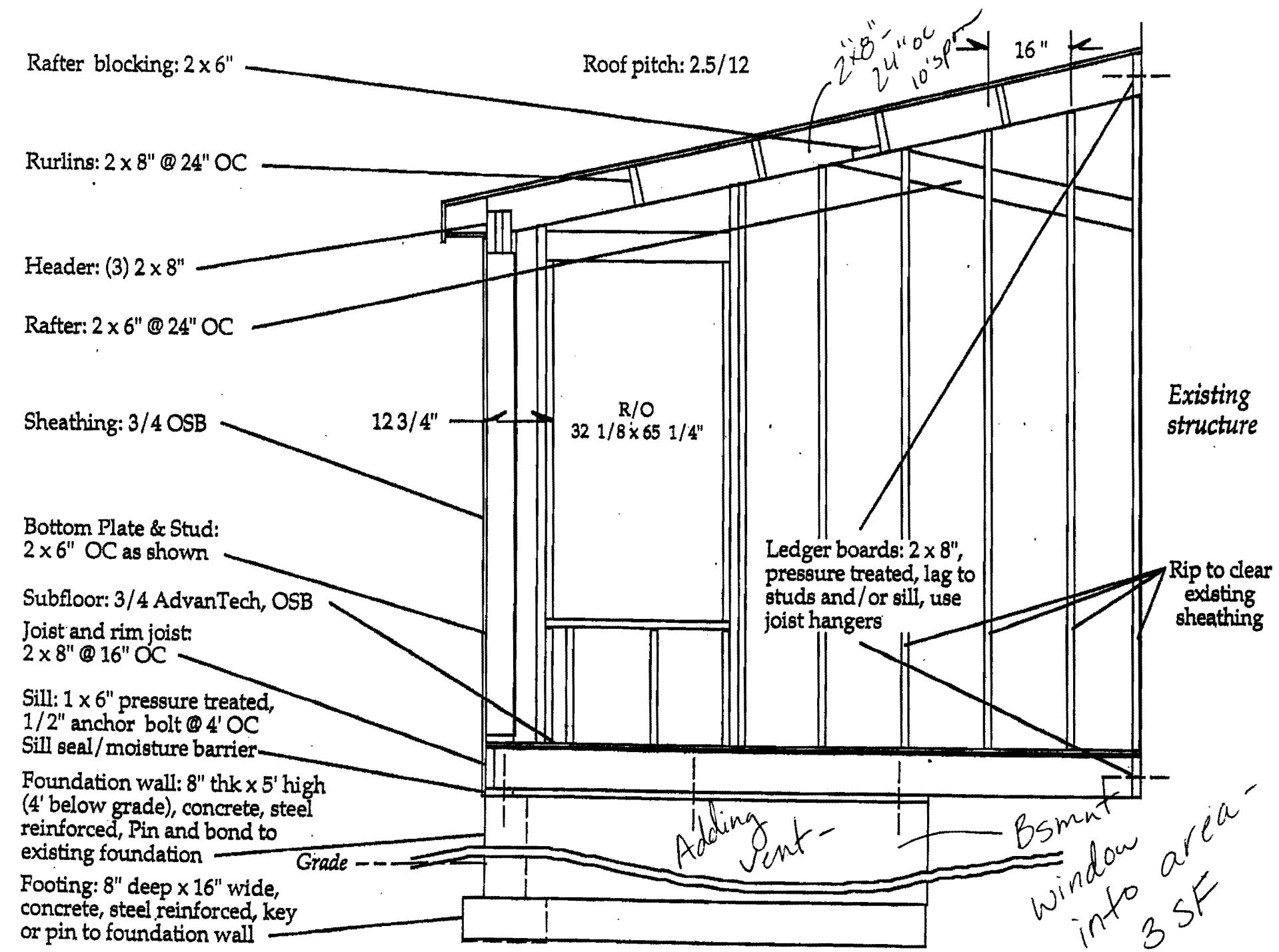
ing: Francoeur House - Foundation Plan		Date: Feb. 24, '05	Scale: 1/4" = 1'
Whole Home Resource	3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050

Foundation wall:
 4' high x 8" thick, concrete,
 steel reinforced
 Footing:
 8" deep x 16" wide, concrete,
 keyed or pinned to wall,
 steel reinforced

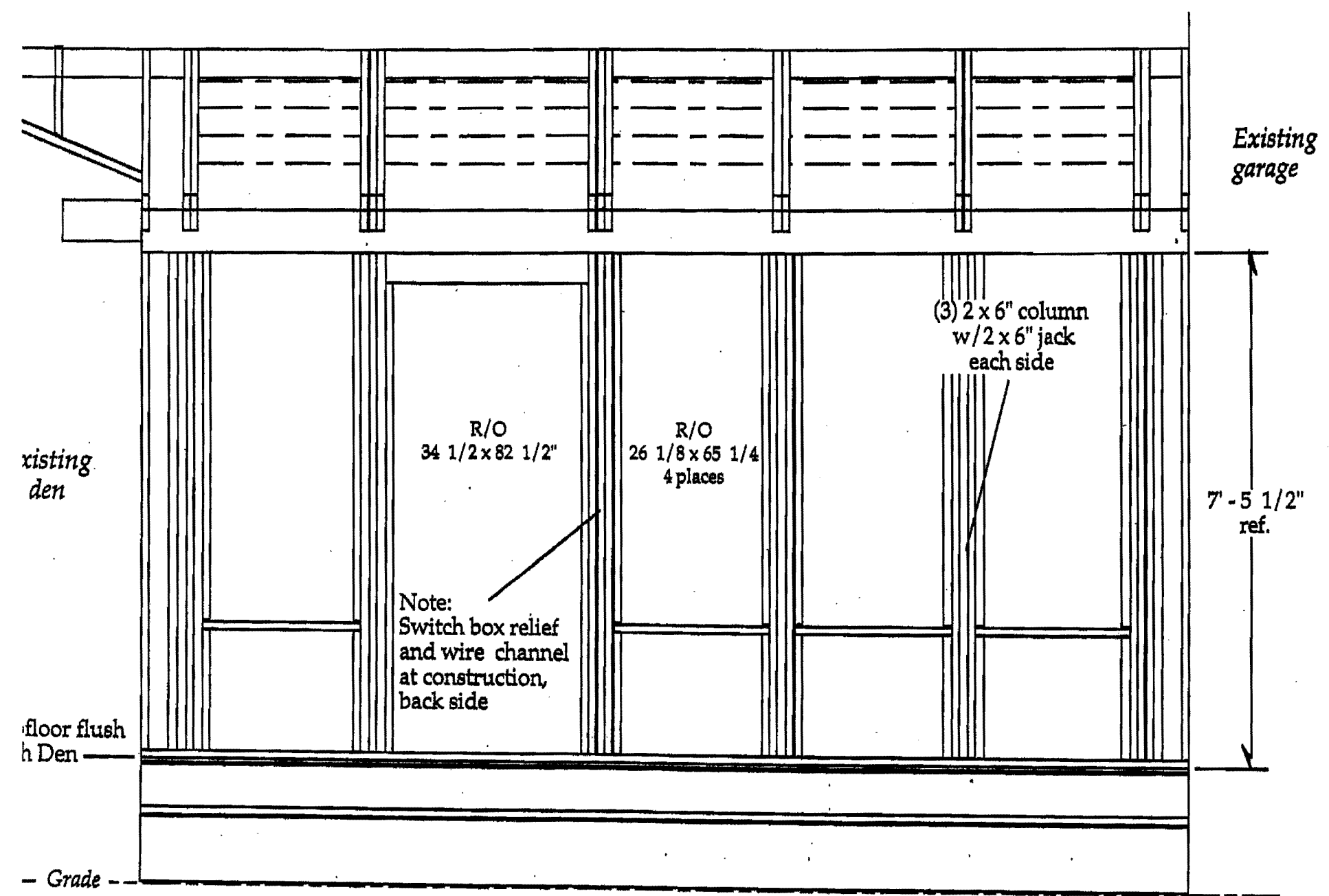


Drawing: Francoeur House - Sunroom Foundation Elevation	Date: Feb. 4, '05	Scale: 1/4" = 1'
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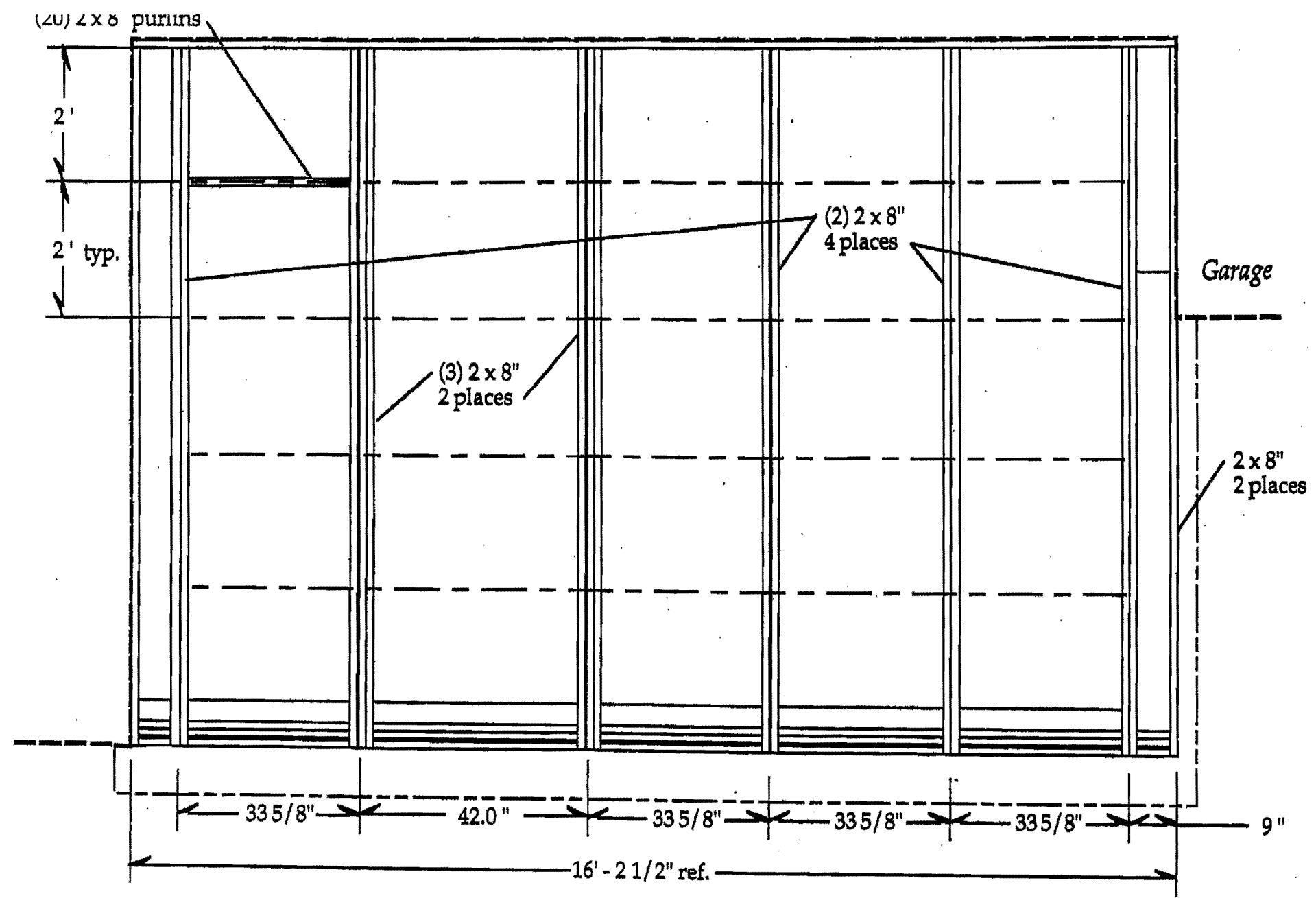
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074 | WholeHomeResource.com | 207.883.6050



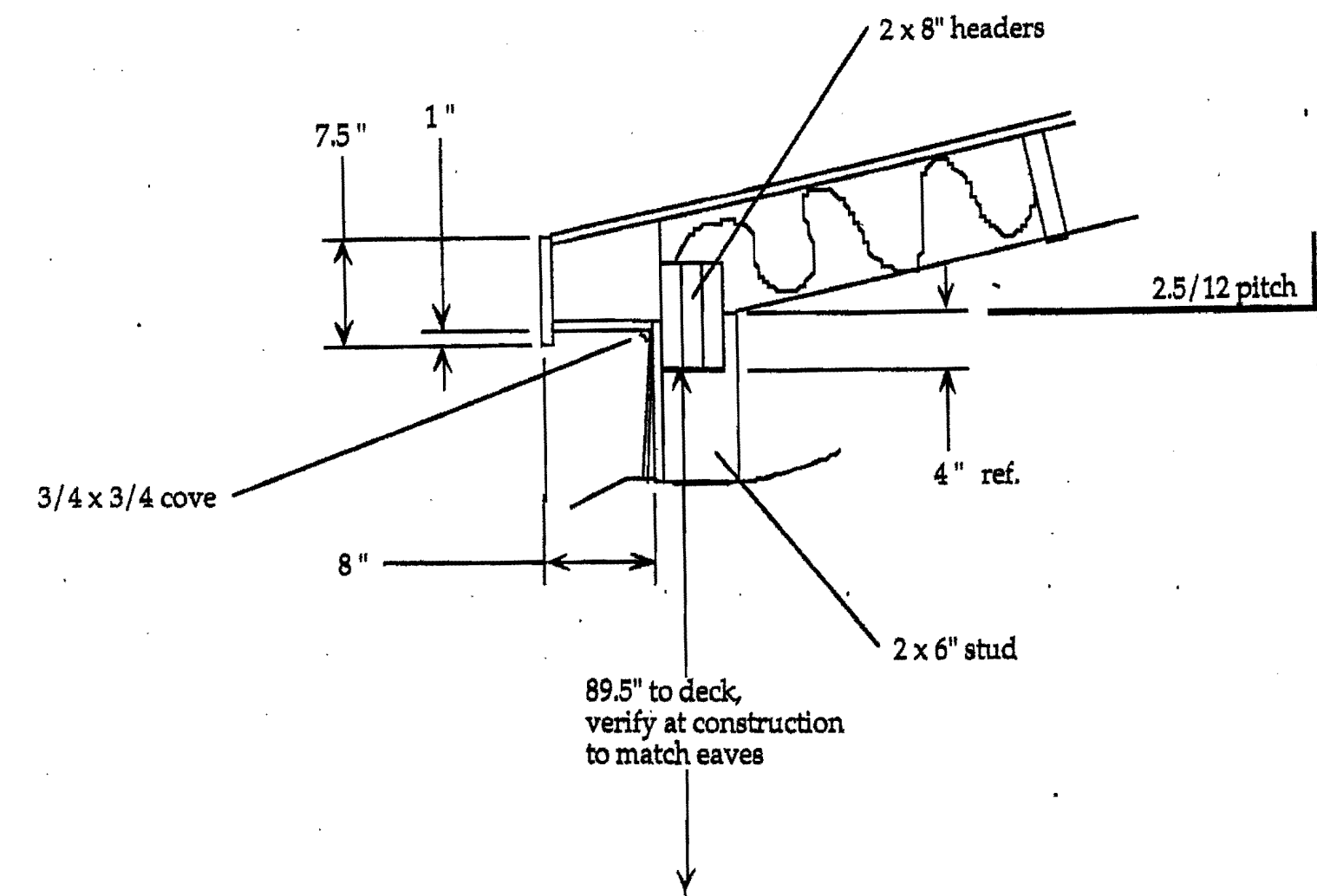
ing: Francoeur House - Framing Section		Date: Feb. 4 '05	Scale: 1/2" = 1'
hole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074		WholeHomeResource.com	207.883.6050



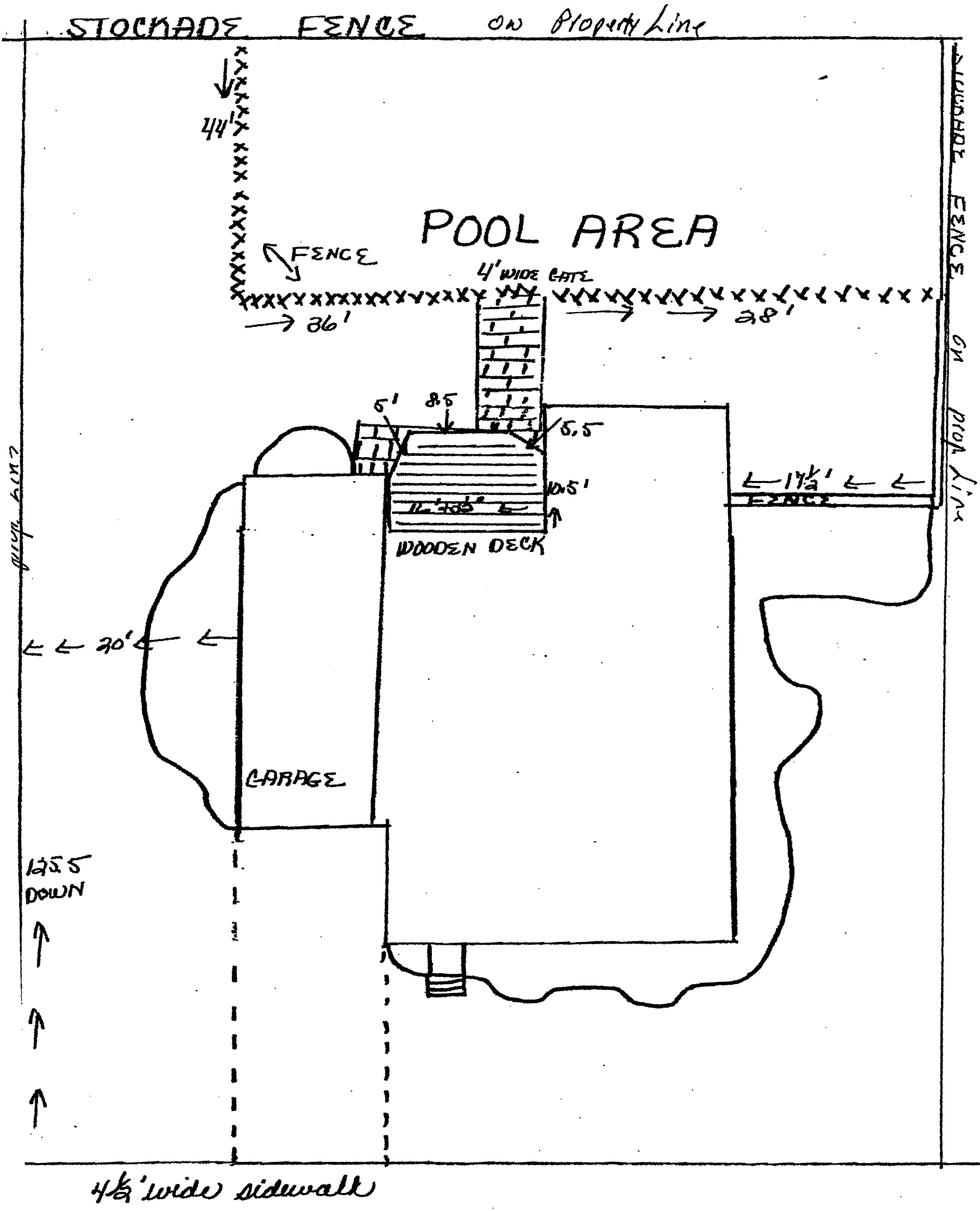
Proj: Francoeur House - Framing, South Elevation		Date: Feb. 4, '05	Scale: 1/2" = 1'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074		WholeHomeResource.com	207.883.6050

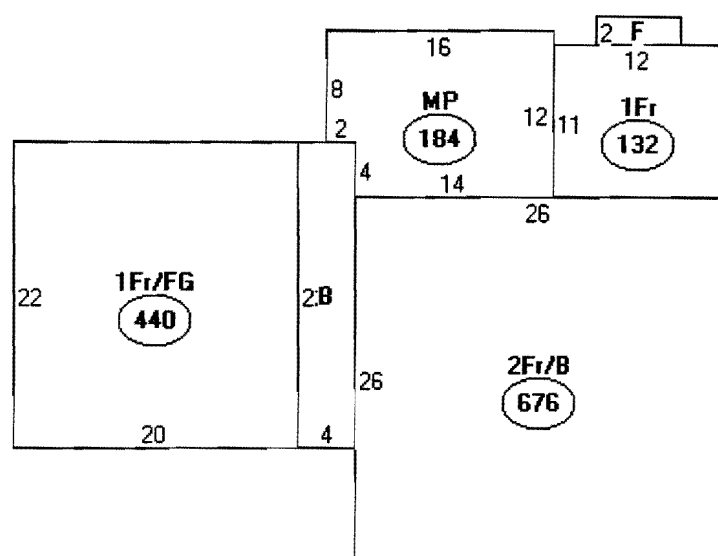


Project: Francoeur House - Roof Framing Plan		Date: Feb. 4, '05	Scale: 1/2" = 1'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074		WholeHomeResource.com	207.883.6050



Proj: Francoeur House - Eaves Detail	Date: Feb. 4, '05	Scale: 1" = 1'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050





Descriptor/Area

- A: 2Fr/B
676 sqft
- B: 1Fr/EP
88 sqft
- C: 1Fr/FG
440 sqft
- D: MP
184 sqft
- E: 1Fr
132 sqft
- F: FBAY
12 sqft

1532
64
1596

R-2
11074
x 20%

2214.8
- 1596

618.8 left

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 379 B037001
Location 33 AUTUMN LN
Land Use SINGLE FAMILY

Owner Address FRANCOEUR CATHERINE C & MICHEL J JTS
 33 AUTUMN LN
 PORTLAND ME 04103

Book/Page
Legal 379-B-37
 AUTUMN LN 29-35
 11074 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$40,660	\$152,630	\$213,710

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$66,900	\$180,800	\$247,700

* Value subject to change based upon review of property status as of 4/1/06. The tax rate will be determined by City Council in May 2006.

Property Information

Year Built 1956	Style Colonial	Story Height 2	Sq. Ft. 2024	Total Acres 0.254	
Bedrooms 4	Full Baths 2	Half Baths 1	Total Rooms 6	Attic None	Basement Full

Outbuildings

Type POOL-PREFAB PLASTIC LINER SHED-FRAME	Quantity 1 1	Year Built 1980 1965	Size 20X40 6X6	Grade C C	Condition A A
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Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

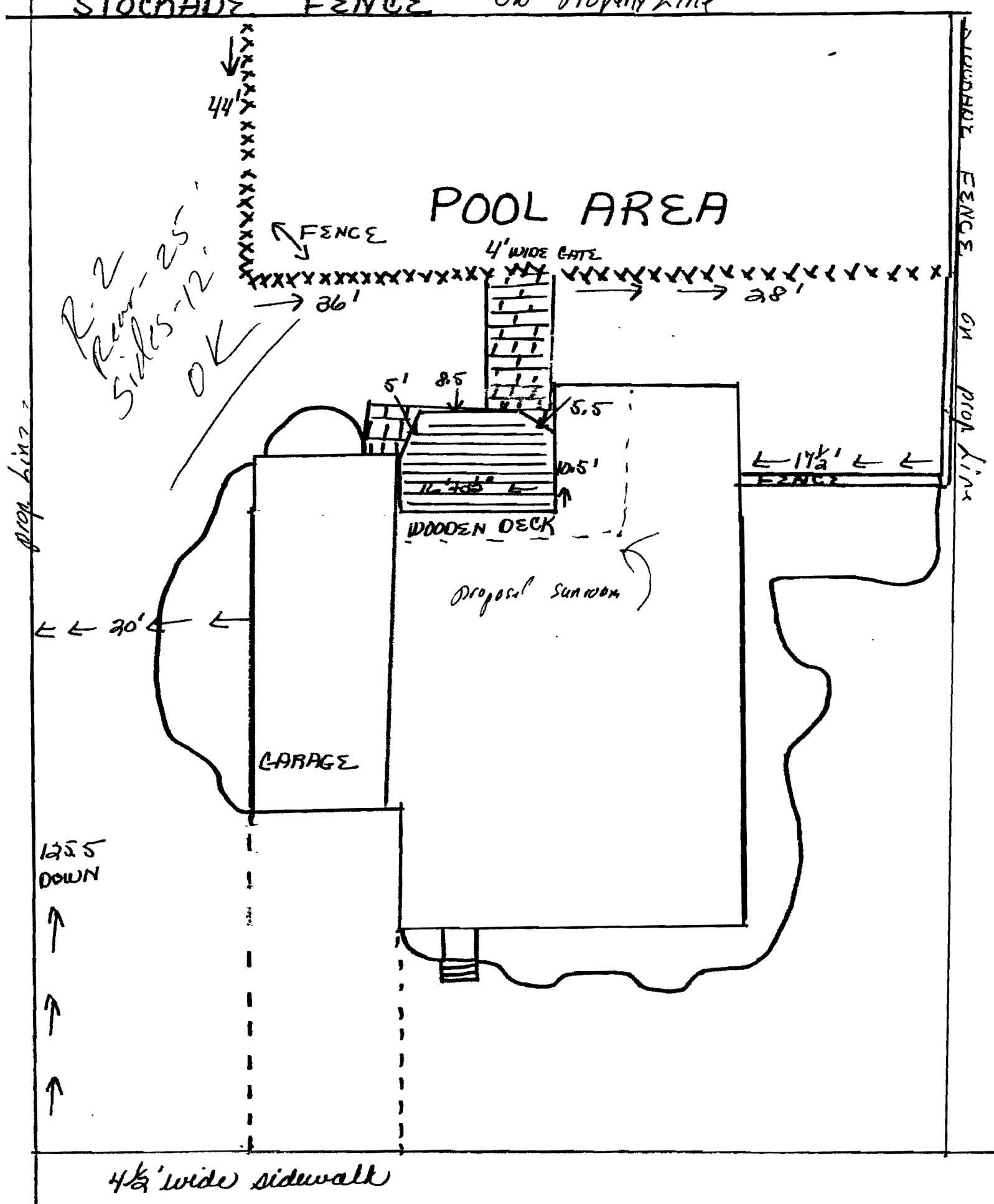
[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

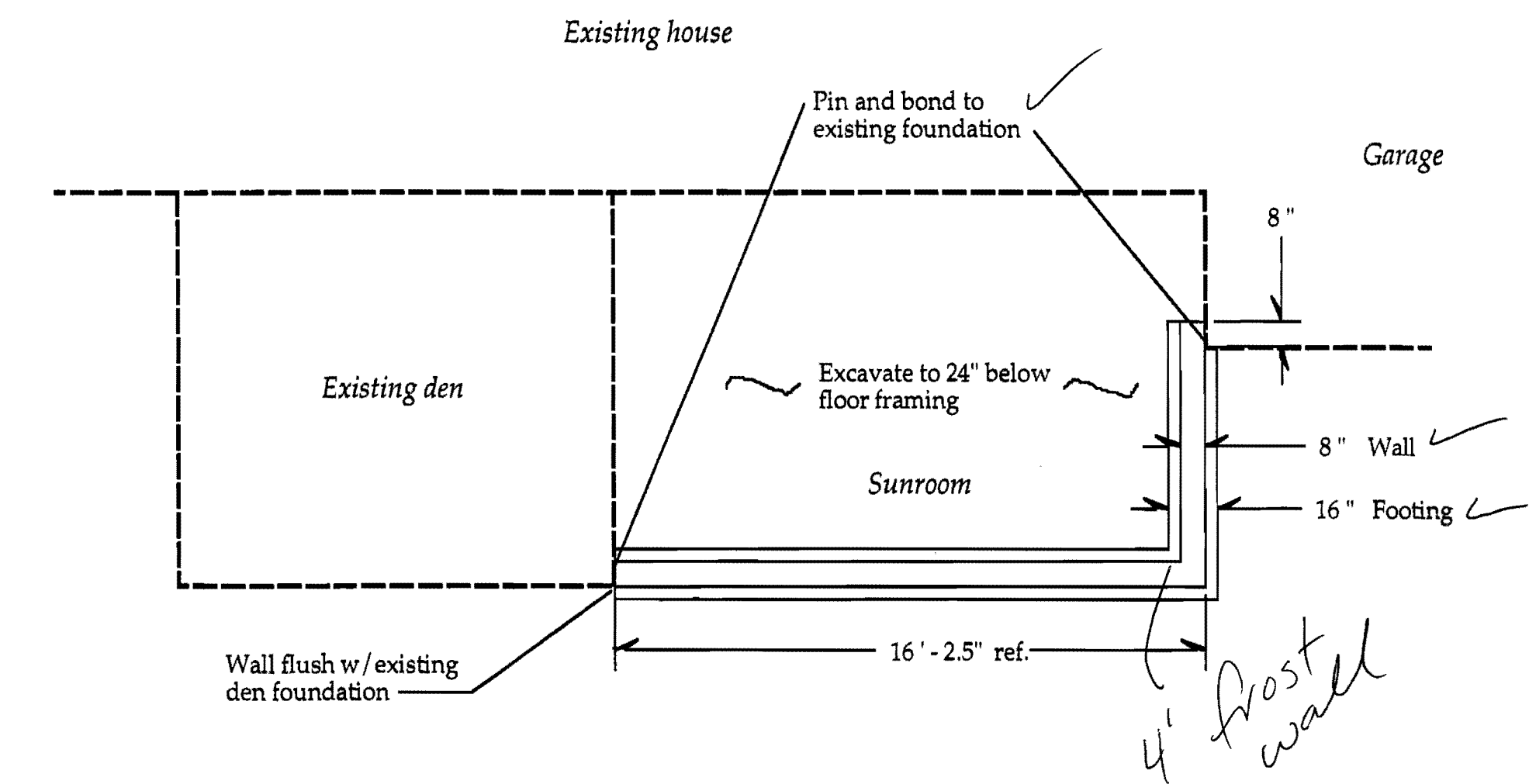
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-

STOCKADE FENCE ON Property Line

STOCKADE FENCE ON prop line

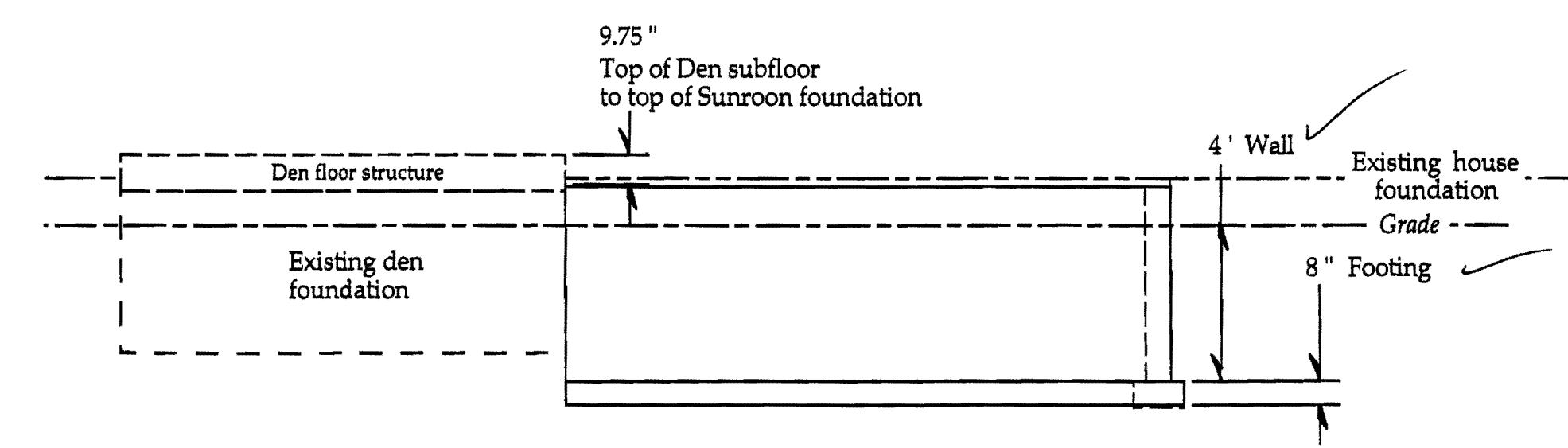


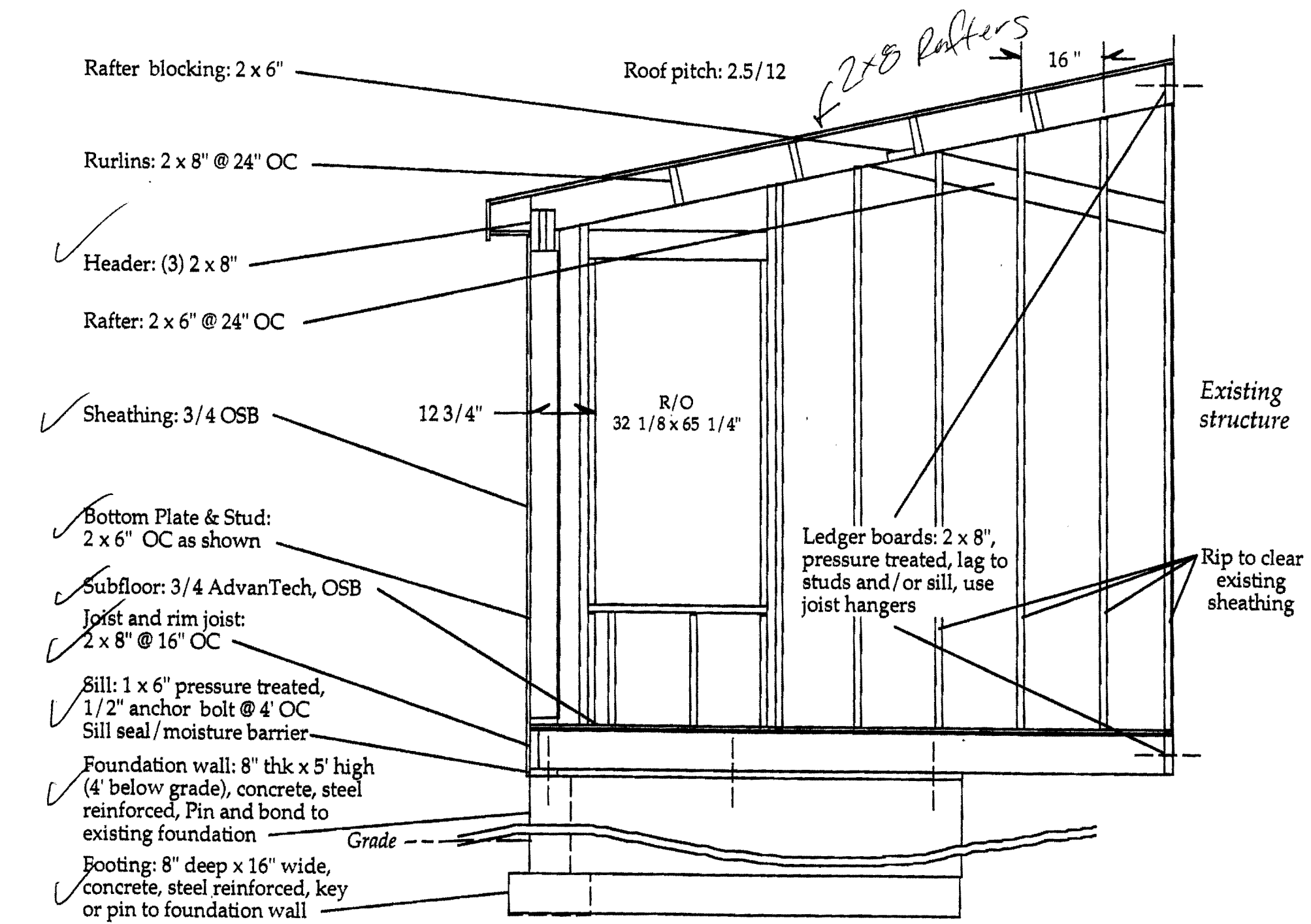
4 1/2' wide sidewalk



ing: Francoeur House - Foundation Plan	Date: Feb. 24, '05	Scale: 1/4" = 1'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050

Foundation wall:
 4' high x 8" thick, concrete, steel reinforced ✓
 Footing:
 8" deep x 16" wide, concrete, keyed or pinned to wall, steel reinforced ✓





Rafter blocking: 2 x 6"

Roof pitch: 2.5/12

Rurlins: 2 x 8" @ 24" OC

Header: (3) 2 x 8"

Rafter: 2 x 6" @ 24" OC

Sheathing: 3/4 OSB

Bottom Plate & Stud:
2 x 6" OC as shown

Subfloor: 3/4 AdvanTech, OSB

Joist and rim joist:
2 x 8" @ 16" OC

Sill: 1 x 6" pressure treated,
1/2" anchor bolt @ 4' OC
Sill seal / moisture barrier

Foundation wall: 8" thk x 5' high
(4' below grade), concrete, steel
reinforced, Pin and bond to
existing foundation

Footing: 8" deep x 16" wide,
concrete, steel reinforced, key
or pin to foundation wall

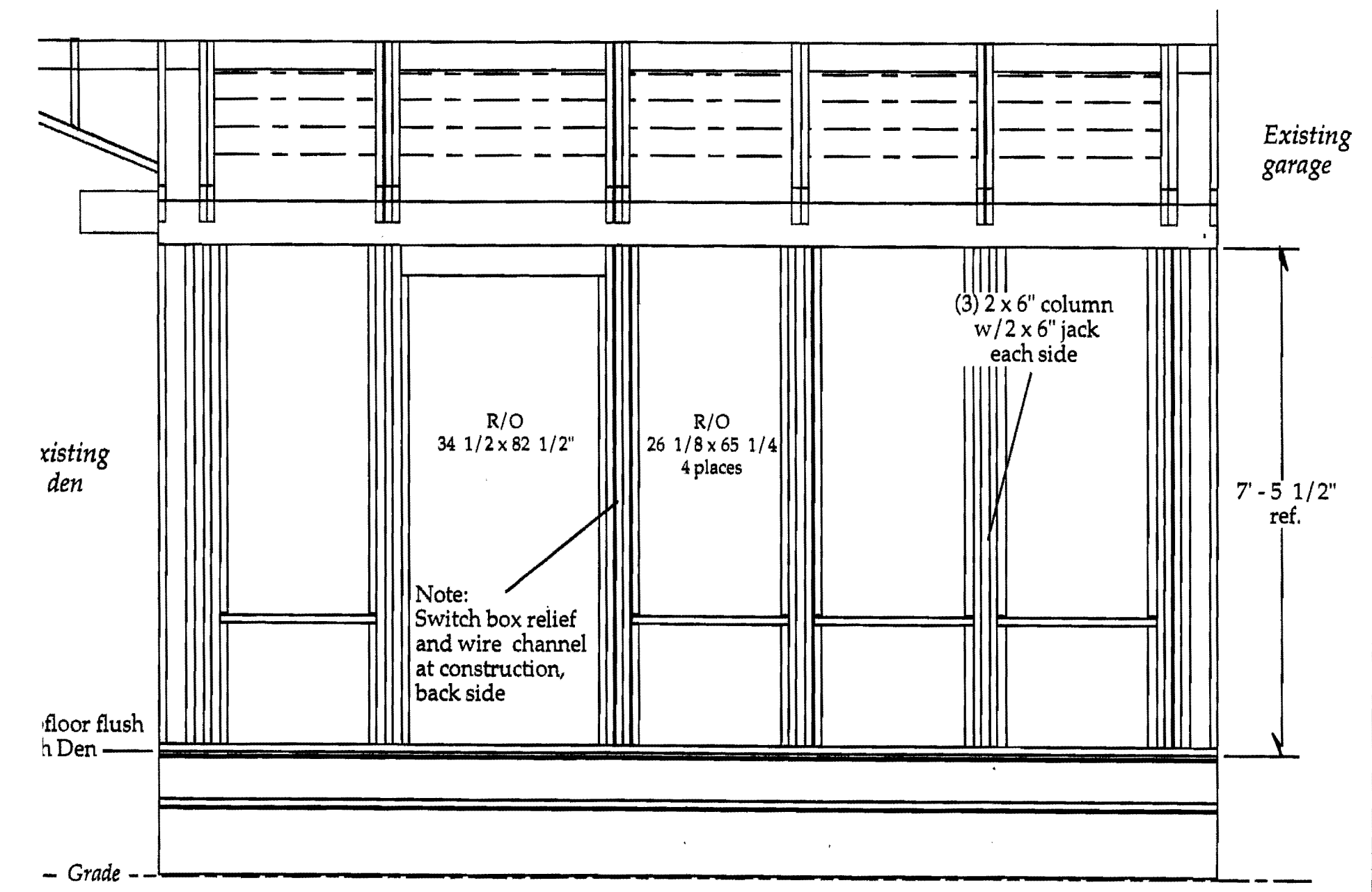
12 3/4" R/O
32 1/8 x 65 1/4"

Ledger boards: 2 x 8",
pressure treated, lag to
studs and/or sill, use
joist hangers

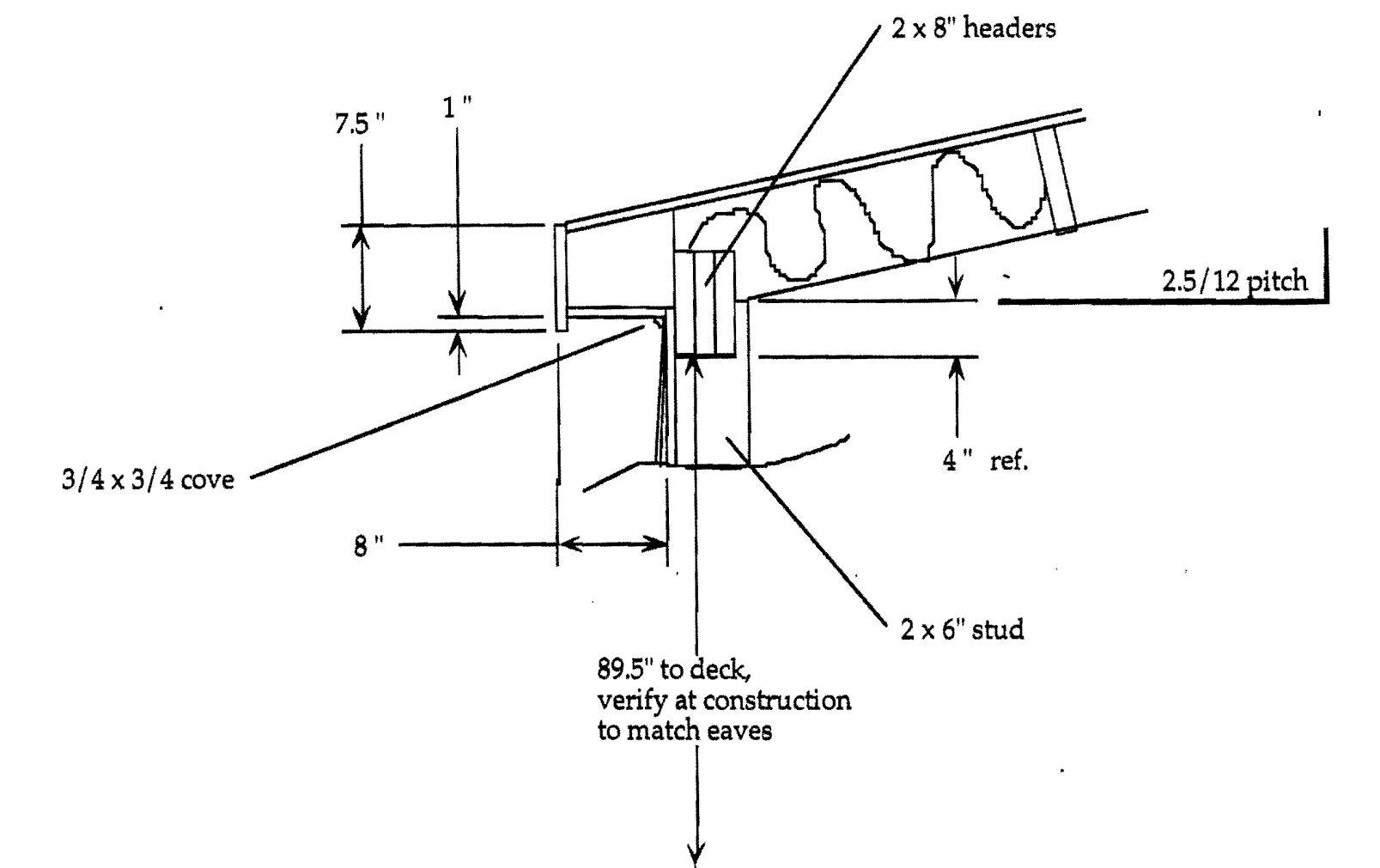
Existing
structure

Rip to clear
existing
sheathing

18: Francoeur House - Framing Section		Date: Feb. 4 '05	Scale: 1/2" = 1'
hole Home Resource	3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050

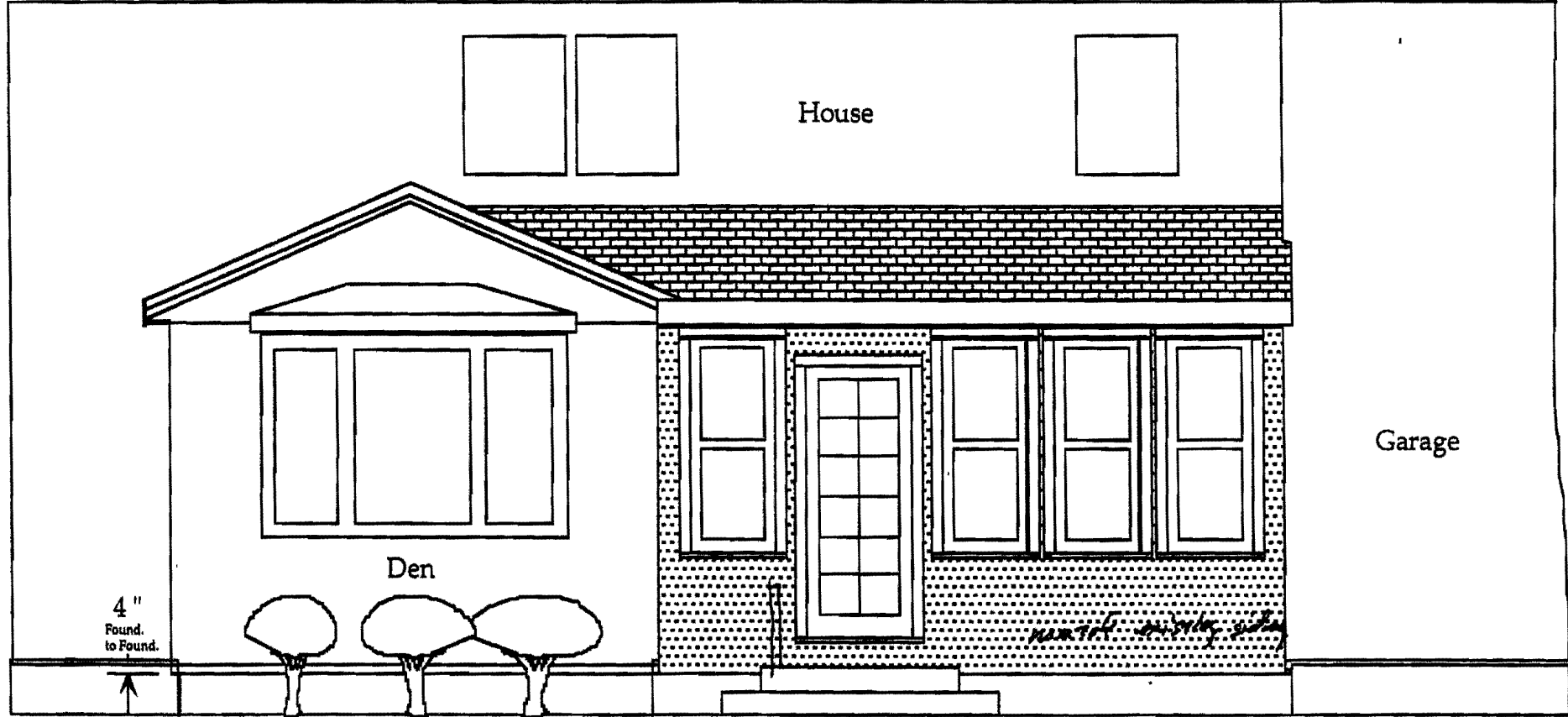


Project: Francoeur House - Framing, South Elevation		Date: Feb. 4, '05	Scale: 1/2" = 1'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074		WholeHomeResource.com	207.883.6050

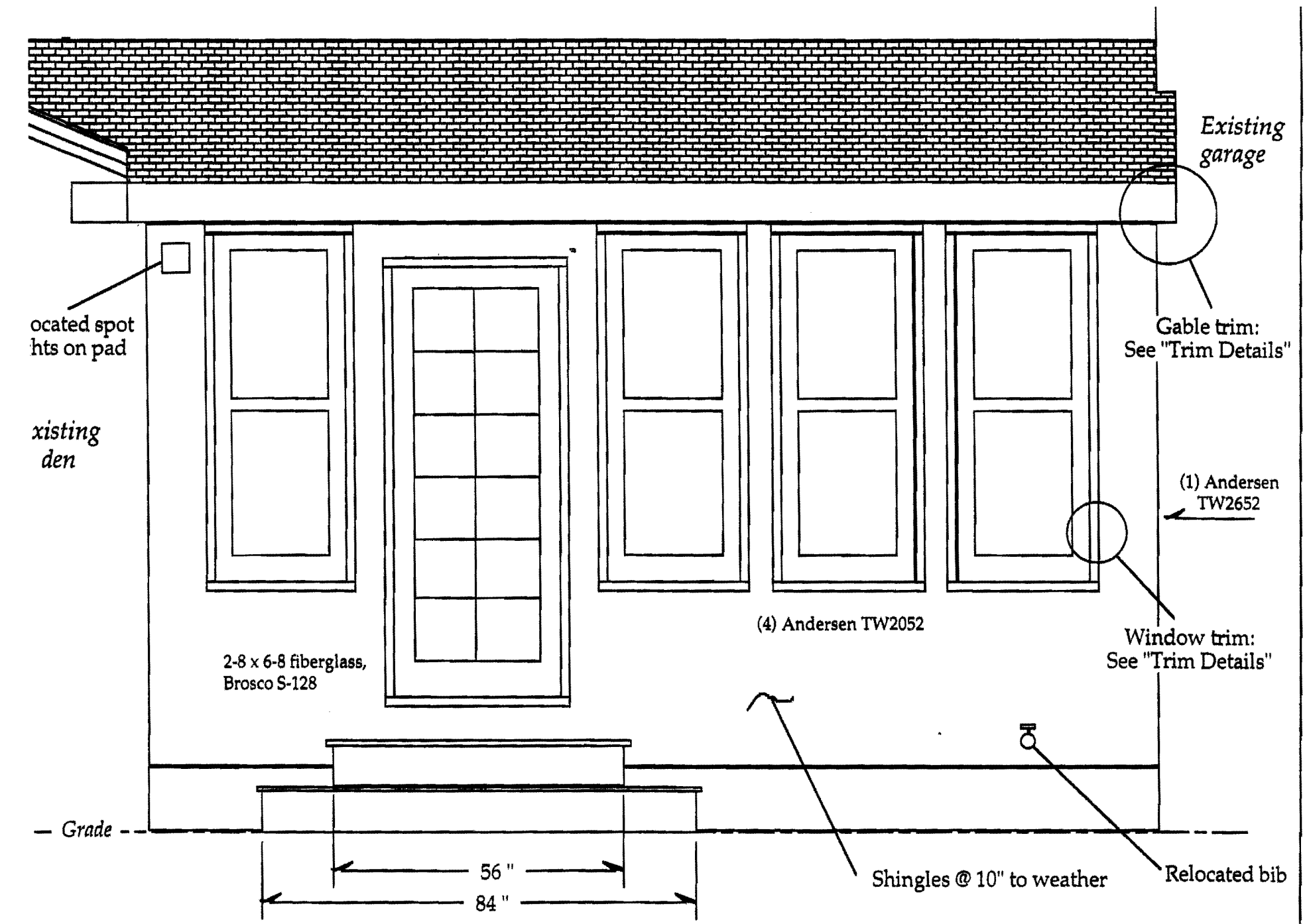


ing: Francoeur House - Eaves Detail	Date: Feb. 4, '05	Scale: 1" = 1'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050

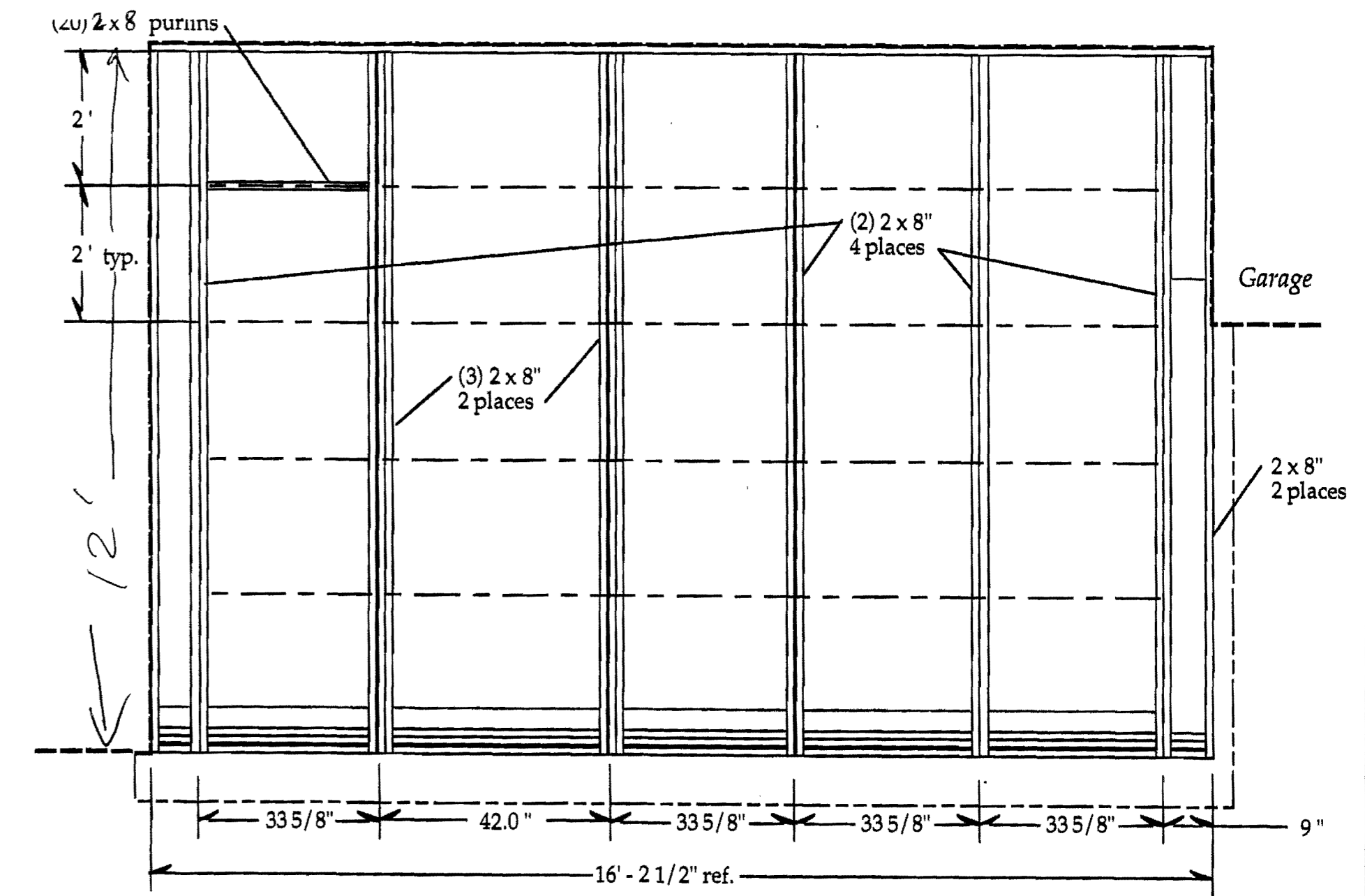
5/12



ing: Francoeur House - South Elevation	Date: Jan. 12, '05	Scale: 1"=4'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050



Project: Francoeur House - Framing, South Elevation		Date: Feb. 4, '05	Scale: 1/2" = 1'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074		WholeHomeResource.com	207.883.6050



Project: Francoeur House - Roof Framing Plan		Date: Feb. 4, '05	Scale: 1/2" = 1'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074		WholeHomeResource.com	207.883.6050

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 or 874-8693 to schedule your
inspections as agreed upon

~~Permits expire in 6 months, if the project is not started or ceases for 6 months.~~

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

WJ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

N/A CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

<i>[Signature]</i>	<i>9/26/05</i>
Signature of Applicant/Designee	Date
<i>Donna Martin Admin</i>	<i>9-26-05</i>
Signature of Inspections Official	Date

CBL: 379-B037 Building Permit #: 05-12660

The work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

THIS IS NOT A PERMIT

Check # 2003 Total Collected \$ 381.00
CBL: 379 B 031

Other _____
Building (11) _____
Pumbing (15) _____
Electrical (22) _____
Site Plan (22) _____

Permit Fee \$ 381.00
Cost of Construction \$ 400.00

Received from Hussis Contracting LLC
Location of Work 330

Aug 31 2005

Department of Building Inspection





CITY OF PORTLAND, MAINE
 Department of Building Inspections

029 2005

Received from Smokin' Bones & Feathers
 Location of Work 200 Riverside

Cost of Construction \$ _____
 Permit Fee \$ 41.00

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____
 Other _____

CBL: 6611113 330 H2

Check #: 1259 Total Collected \$ 41.00

THIS IS NOT A PERMIT

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WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Permit Copy

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 051266

Please Read Application And Notes, If Any, Attached

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AT 33 Autumn Ln 379 B037001

PERMIT ISSUED

SEP 26 2005

CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must given and when permission procured before this building or part thereof lashed or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
9/23/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

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Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-2

Current Use: Single Family	Proposed Use: Single Family enclose deck to create a sunroom	Permit Fee: \$381.00	Cost of Work: \$40,000.00	CEO District: 5
-------------------------------	-----------------------------------------------------------------	-------------------------	------------------------------	--------------------

Proposed Project Description: Enclose deck to create sunroom	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group <i>R-3</i> Type <i>5B</i> <i>IRC 2003</i>
	Signature:	Signature:

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: <i>[Signature]</i>	
Signature:	Date:	

Permit Taken By: dmartin	Date Applied For: 09/01/2005	Zoning Approval
-----------------------------	---------------------------------	------------------------

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/23/05</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9/23/05</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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Comments:

9/6/05-gg: received granted ite exemption. /gg



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

33 Autumn h		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 374 B 037	Owner: Cathy Francouer	Telephone: 797-2917
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: William Harris	cost Of Work: \$ 40,000.00 Fee: \$ 381.00
Current use: <u>residential</u>		
If the location is currently vacant, what was prior use: <u>deck</u>		
Approximately how long has it been vacant: _____		
Proposed use: <u>sunroom</u>		
Project description: _____		
<div style="border: 1px solid black; padding: 5px; display: inline-block;"> DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME <div style="border: 1px solid black; padding: 5px; text-align: center; margin: 5px 0;"> AUG 31 2005 </div> RECEIVED </div>		
Contractor's name, address & telephone: <u>Harris Contracting LLC 5 Bartley Ave Portland ME 04103 797-4928</u>		
Who should we contact when the permit is ready: <u>William Harris</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

William G
Date: Sept

This is NOT a permit, you may not commence ANY work until the permit is issued.

If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

18 2003



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Harris Contracting LLC
Applicant

7/1/05
Application Date

5 Beards Ave Portland, ME
Applicant's Mailing Address

2nd Floor Addition
Project Name/Description

William Harris
Consultant/Agent/Phone Number

2nd Floor Addition
Address of Proposed Site

CBL: 379 B-007

Description of Proposed Development:
2nd floor addition

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

a) Within Existing Structures; No New Buildings, Demolitions or Additions

b) Footprint Increase Less Than 500 Sq. Ft.

c) No New Curb Cuts, Driveways, Parking Areas

d) Curbs and Sidewalks in Sound Condition/Comply with ADA

e) No Additional Parking/ No Traffic Increase

f) No Stormwater Problems

g) Sufficient Property Screening

h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
No	✓
Yes	✓
Yes	✓
Yes	✓
Yes	✓
Yes	✓
Yes	✓
Yes	✓
Yes	✓

5/12

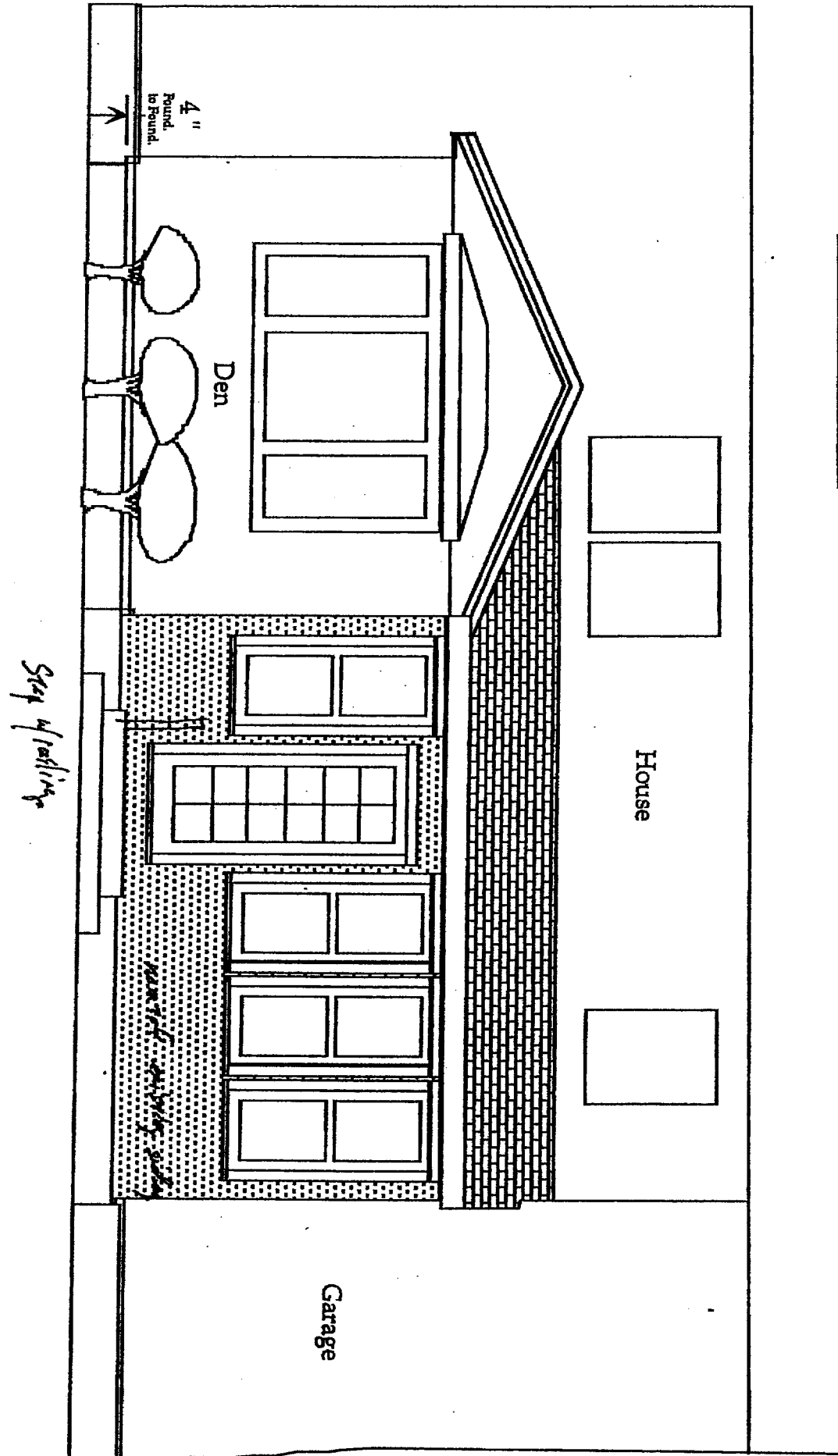
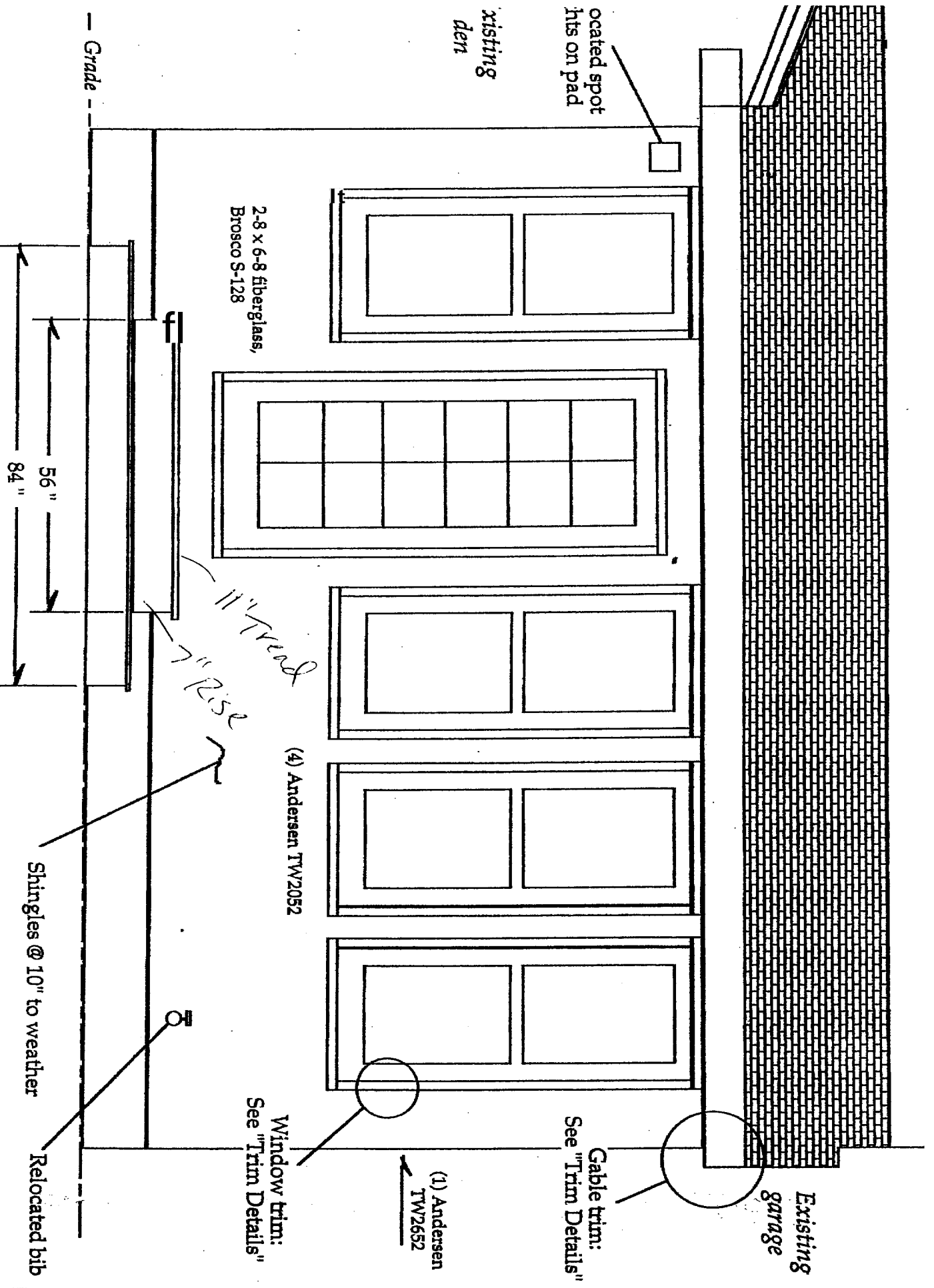
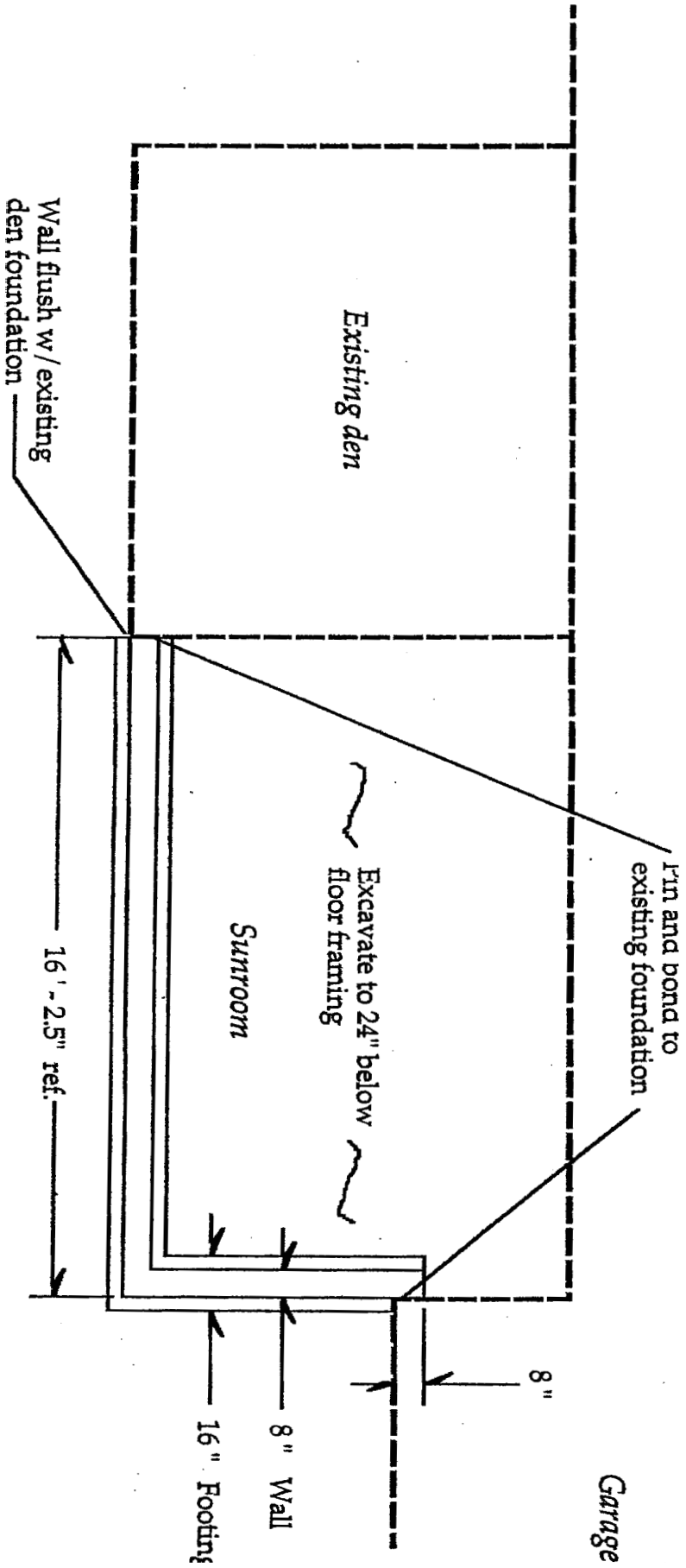


Fig: Francoeur House - South Elevation
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074
Date: Jan. 12, '05
Scale: 1"=4'
WholeHomeResource.com 207.883.6050



Proj: Francoeur House - Framing, South Elevation
 Date: Feb. 4, '05
 Scale: 1/2" = 1'
 WholeHomeResource.com
 207.883.6050
 3 Tide Mill Lane, Scarborough, ME 04074
 Whole Home Resource

Existing house



1187
Francoeur House - Foundation Plan

PLAN

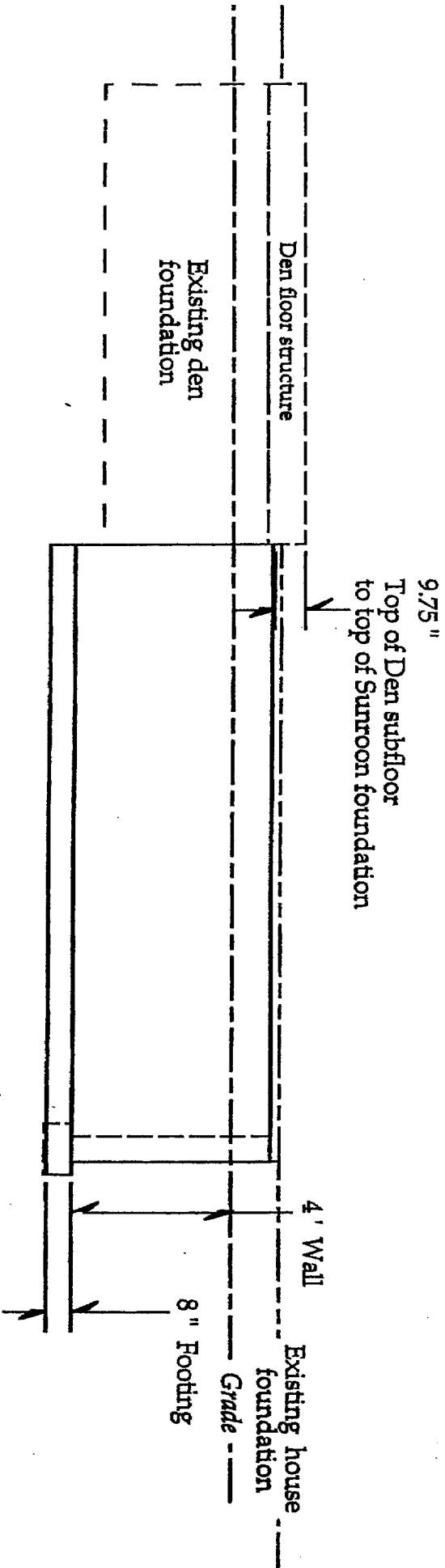
Date: Feb. 24, '05

Scale: 1/4" = 1'

WholeHomeResource.com

207.883.6050

Foundation wall:
 4' high x 8" thick, concrete,
 steel reinforced
 Footing:
 8" deep x 16" wide, concrete,
 keyed or pinned to wall,
 steel reinforced



aving:

Francocoeur House - Sunroom Foundation Elevation

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

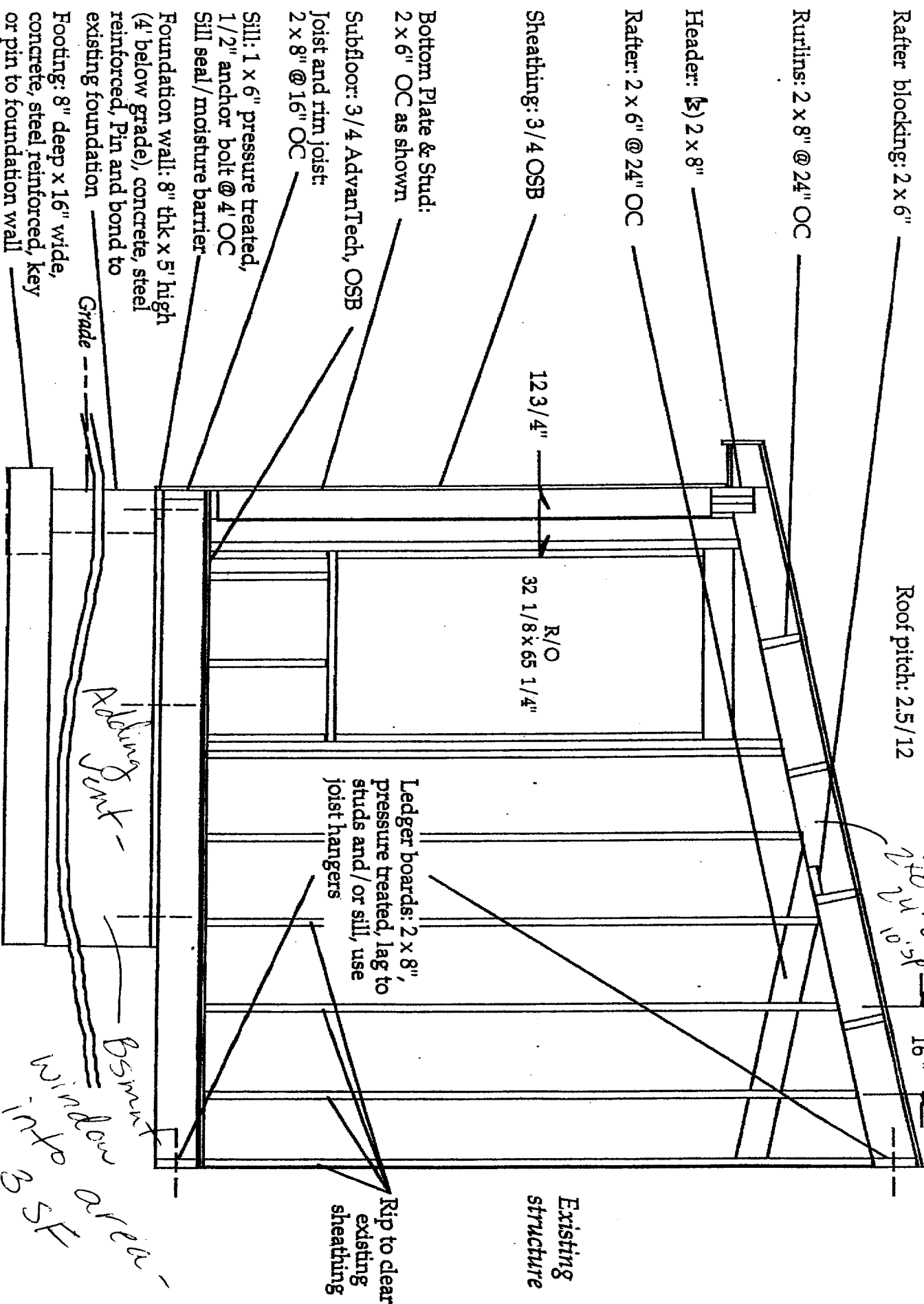
207 883 6161

Date:

Feb. 4, '05

Scale:

1/4" = 1'



Rafter blocking: 2 x 6"

Roof pitch: 2.5/12

Rurlins: 2 x 8" @ 24" OC

Header: 2 x 8"

Rafter: 2 x 6" @ 24" OC

Sheathing: 3/4 OSB

Bottom Plate & Stud:
2 x 6" OC as shown

Subfloor: 3/4 AdvantTech, OSB

Joist and rim joist:
2 x 8" @ 16" OC

Sill: 1 x 6" pressure treated,
1/2" anchor bolt @ 4' OC

Sill seal/moisture barrier

Foundation wall: 8" thk x 5' high
(4' below grade), concrete, steel
reinforced, Pin and bond to
existing foundation

Footing: 8" deep x 16" wide,
concrete, steel reinforced, key
or pin to foundation wall

Ledger boards: 2 x 8",
pressure treated, lag to
studs and/or sill, use
joist hangers

12 3/4"

32 1/8 x 65 1/4"
R/O

16"

Existing
structure

Rip to clear
existing
sheathing

16" x 10.5" 10.5"

Appl. Jnt.
Bsmw
Window or 16" x 35"

Grade

Fig:

Francocoeur House - Framing Section

hole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

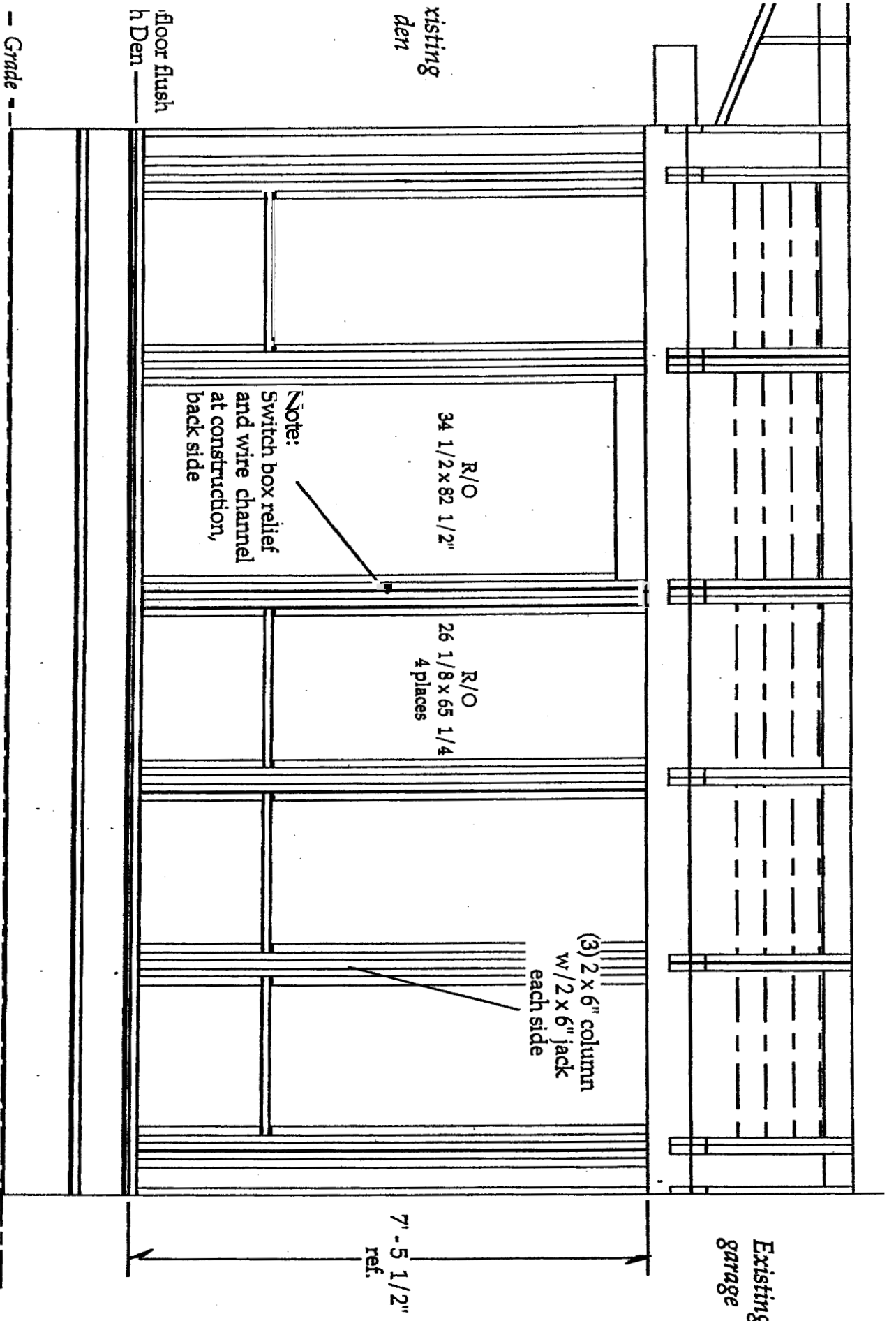
207.883.6050

Date:

Feb. 4 '05

Scale:

1/2" = 1'



Existing garage

existing den

floor flush
h Den

Grade

R/O
34 1/2 x 82 1/2"

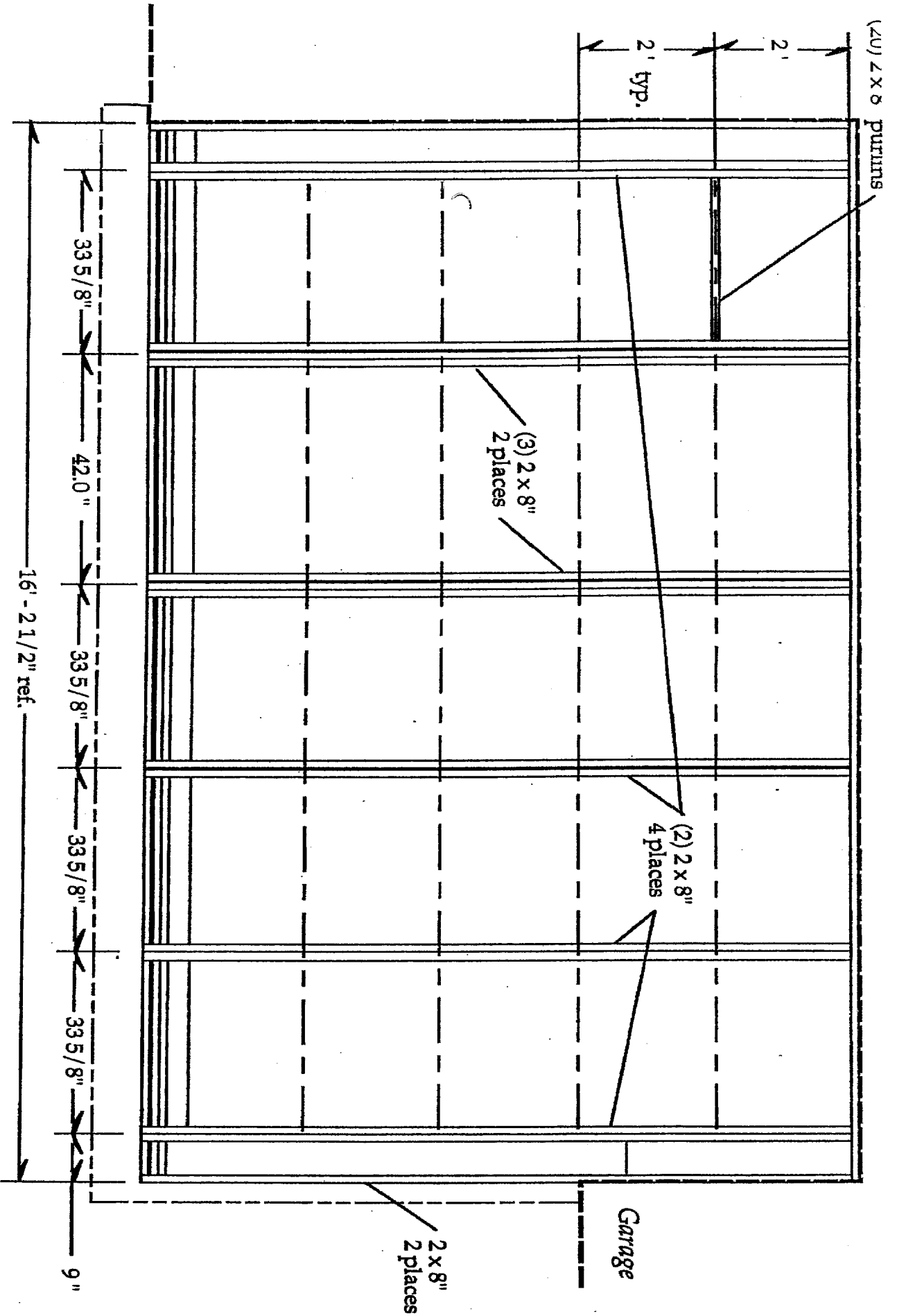
R/O
26 1/8 x 65 1/4
4 places

(3) 2 x 6" column
w/ 2 x 6" jack
each side

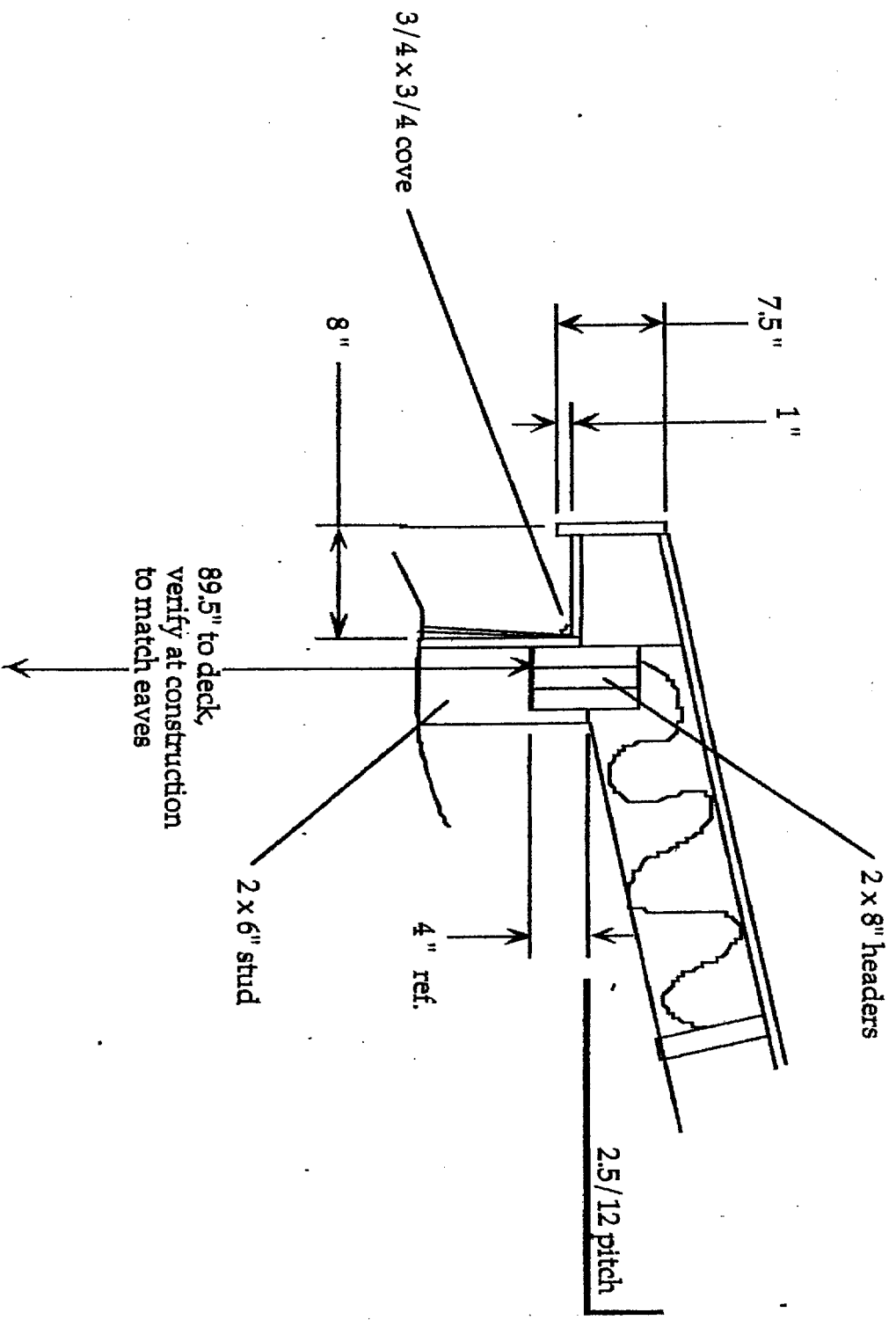
Note:
Switch box relief
and wire channel
at construction,
back side

7' - 5 1/2"
ref.

Proj: Francoeur House - Framing, South Elevation
 Date: Feb. 4, '05
 Scale: 1/2" = 1'
 WholeHomeResource.com
 3 Tide Mill Lane, Scarborough, ME 04074
 207.88 050



Title: Francoeur House - Roof Framing Plan
 Date: Feb. 4, '05
 Scale: 1/2" = 1'
 Project: Whole Home Resource
 Address: 3 Tide Mill Lane, Scarborough, ME 04074
 Contact: WholeHomeResource.com
 Phone: 207.883.6050



Int: Francoeur House - Eaves Detail

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

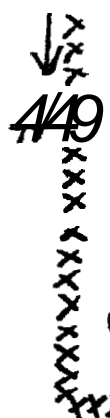
207.883.6050

Date: Feb. 4, '05

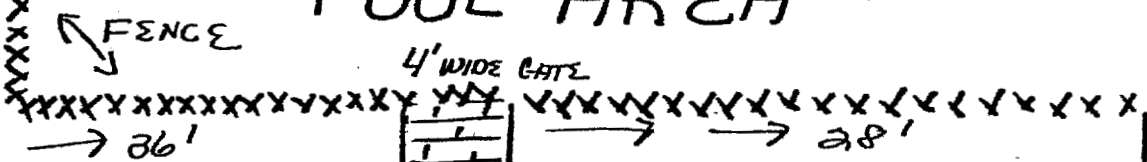
Scale: 1" = 1'

STOCKADE FENCE ON Property Line

STOCKADE FENCE ON Property Line



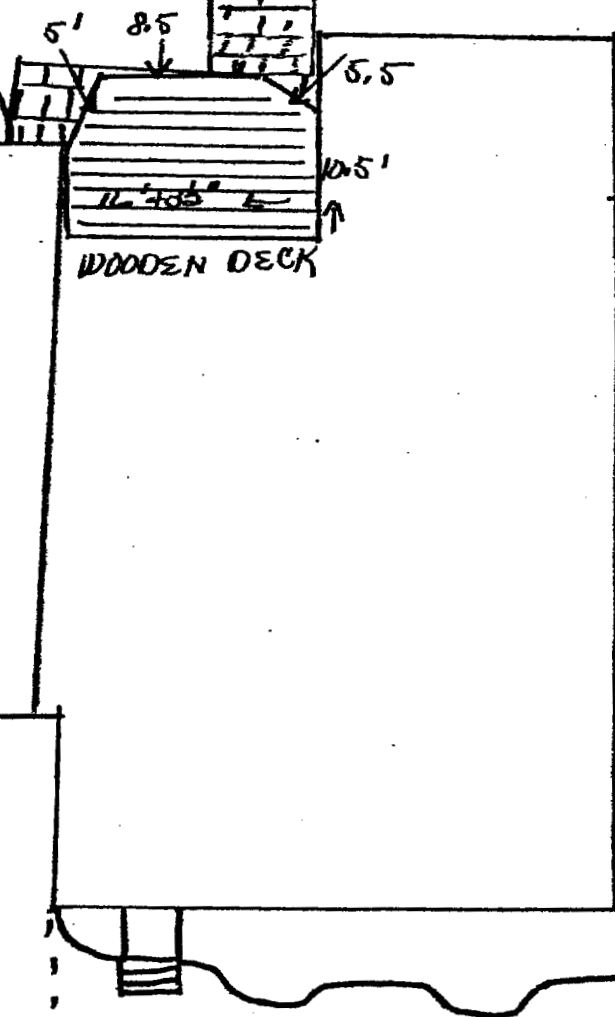
POOL AREA



125.5 DOWN

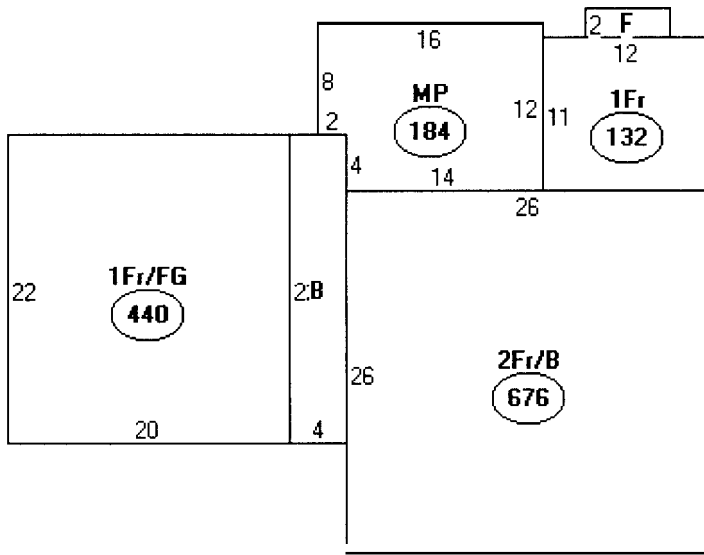
← ← 20' ← ←

125.5 DOWN



← 17 1/2' ← ←
FENCE

14' wide sidewalk



Descriptor/Area

- A: 2Fr/B
676 sqft
- E: 1Fr/EP
88 sqft
- C: 1Fr/FG
440 sqft
- D: MP
134 sqft
- E: 1Fr
132 sqft
- F: FEAY
12 sqft

1532
64

1596

R-2
11074
x 20%

2214.8
- 1596

618.8 left

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	379 B037001
Location	33 AUTUMN LN
Land Use	SINGLE FAMILY
Owner Address	FRANCOEUR CATHERINE C & MICHEL J JTS 33 AUTUMN LN PORTLAND ME 04103
Book/Page	
Legal	379-8-37 AUTUMN LN 29-35 11074 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$60,880	\$152,830	\$213,710

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$86,900	\$180,800	\$267,700

* Value subject to change based upon review of property status as of 4/1/06. The tax rate will be determined by City Council in May 2006.

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1958	Colonial	2	2024	0.254	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
4	2	1	8	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
POOL-PREFAB	1	1980	20X40	C	A
PLASTIC LINER	1	1985	8X8	C	A
SHED-FRAME					

Sales Information

Date	Type	Price	Book/Page
------	------	-------	-----------

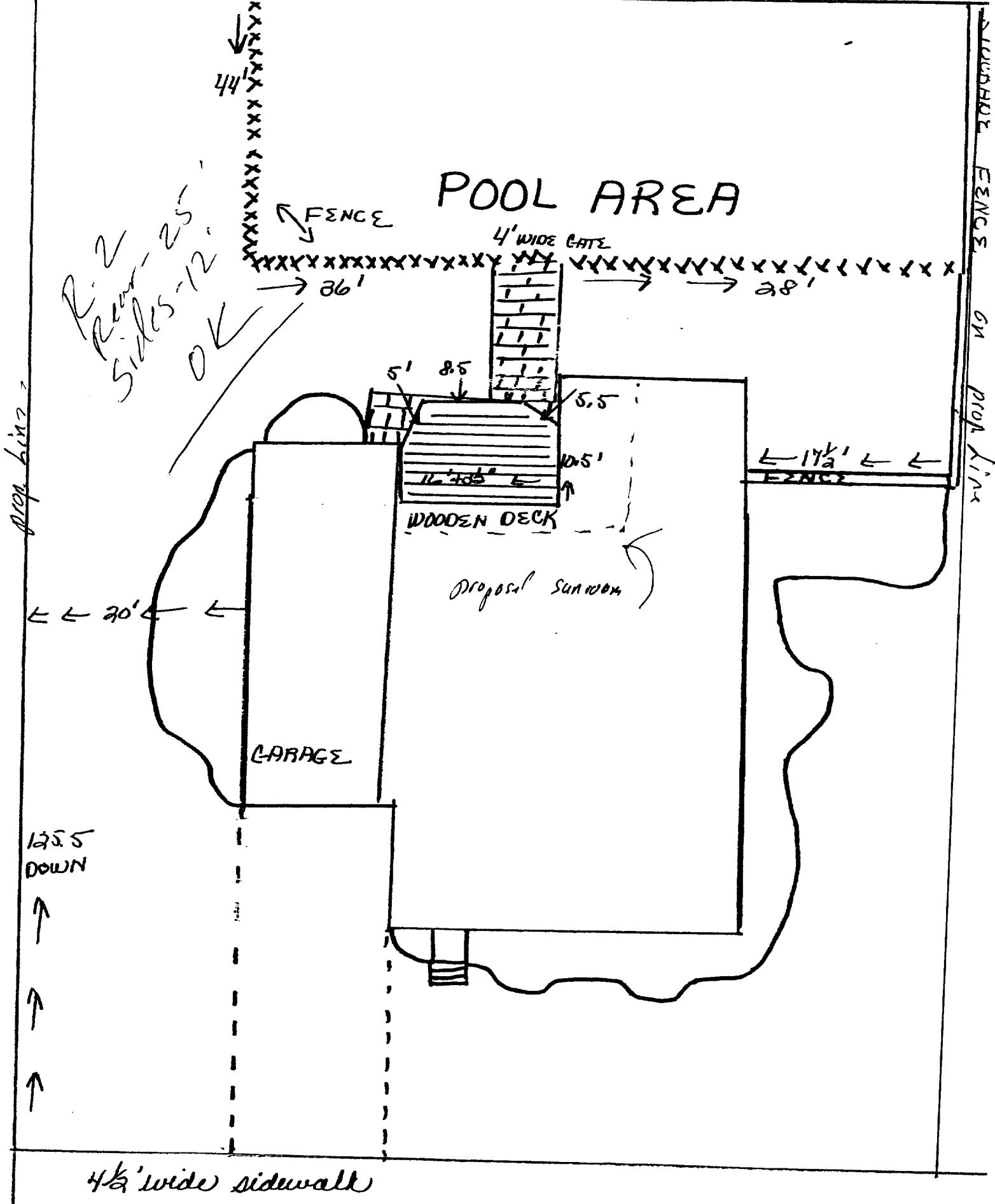
Picture and Sketch

Picture	Sketch	Tax Map
---------	--------	---------

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-

STOCKADE FENCE ON Property Line



4 1/2' wide sidewalk

Existing house

Pin and bond to existing foundation

Garage

Existing den

Excavate to 24" below floor framing

Sunroom

Wall flush w/ existing den foundation

8"

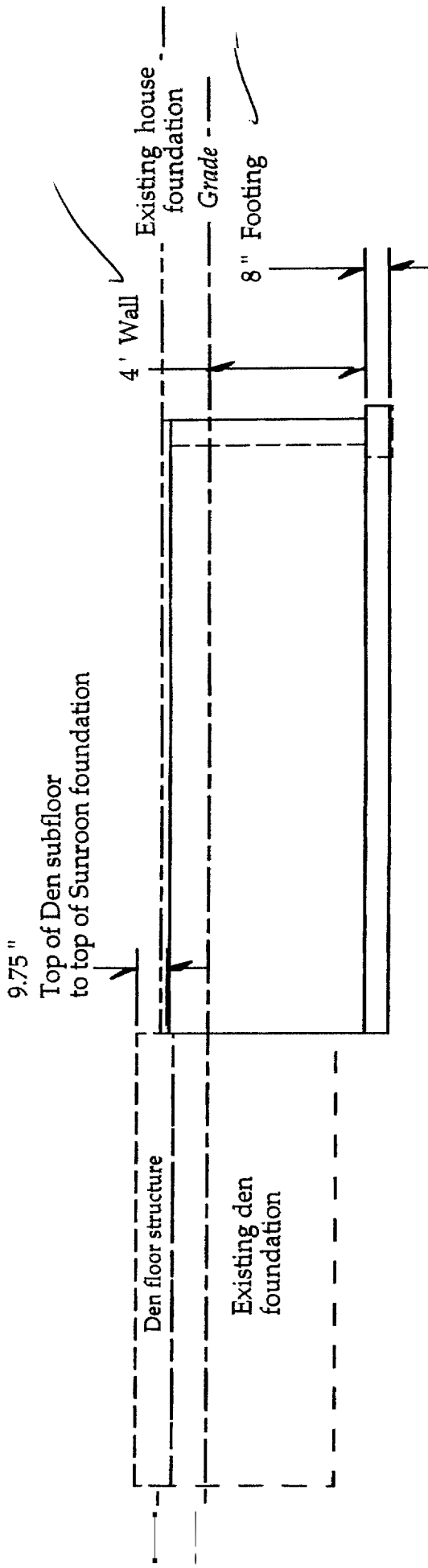
8" Wall

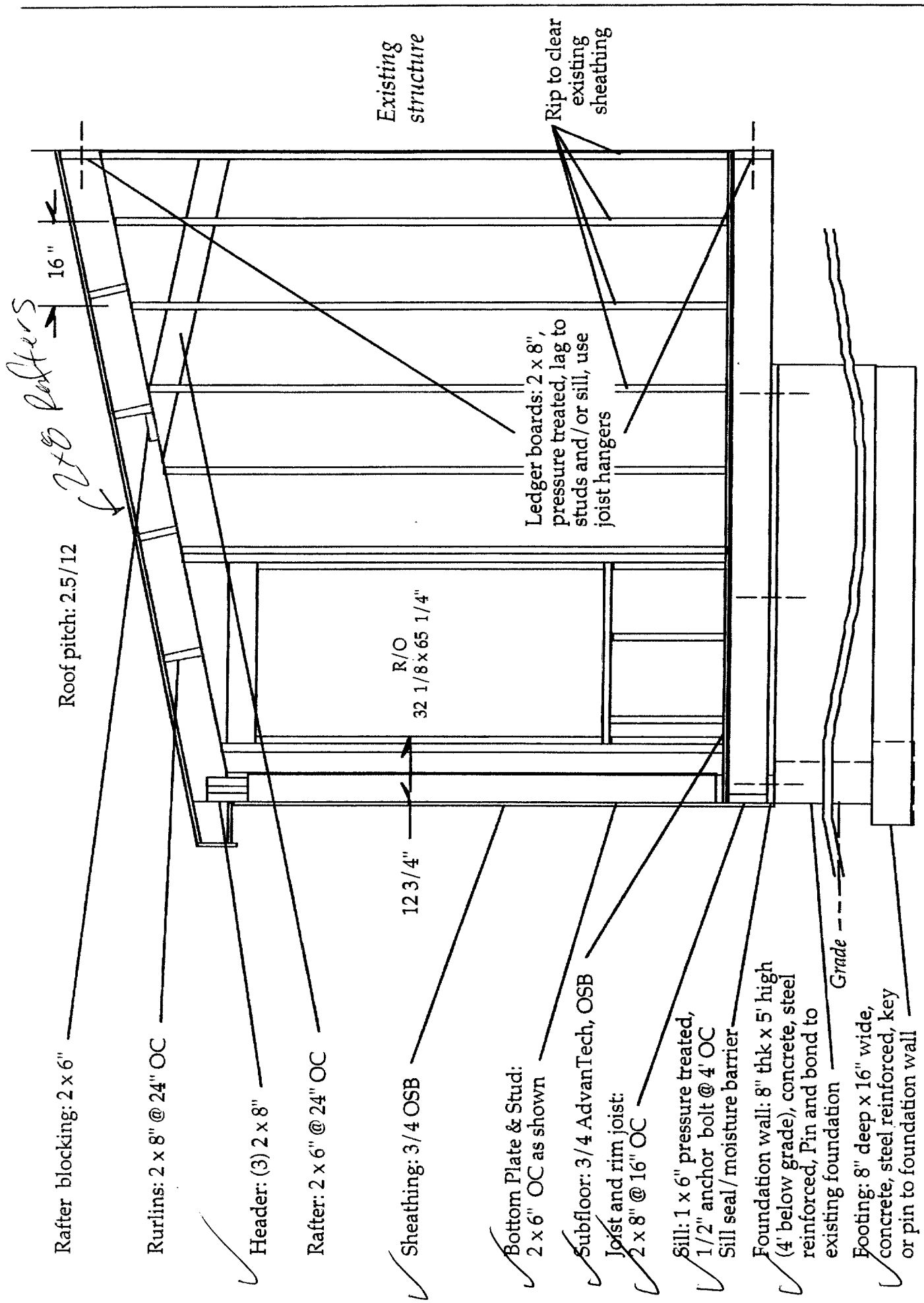
16" Footing

16' - 2.5" ref.

Handwritten: 1/4" = 1'

Foundation wall:
 4' high x 8" thick, concrete, ✓
 steel reinforced ✓
 Footing:
 8" deep x 16" wide, concrete, ✓
 keyed or pinned to wall, ✓
 steel reinforced ✓





Rafter blocking: 2 x 6"

Rurlins: 2 x 8" @ 24" OC

Header: (3) 2 x 8"

Rafter: 2 x 6" @ 24" OC

Sheathing: 3/4 OSB

Bottom Plate & Stud:
2 x 6" OC as shown

Subfloor: 3/4 AdvanTech, OSB
Joist and rim joist:
2 x 8" @ 16" OC

Sill: 1 x 6" pressure treated,
1/2" anchor bolt @ 4' OC
Sill seal / moisture barrier

Foundation wall: 8" thk x 5' high
(4' below grade), concrete, steel
reinforced, Pin and bond to
existing foundation

Footing: 8" deep x 16" wide,
concrete, steel reinforced, key
or pin to foundation wall

Existing
structure

Rip to clear
existing
sheathing

Ledger boards: 2 x 8",
pressure treated, lag to
studs and/or sill, use
joist hangers

R/O
32 1/8 x 65 1/4"

Roof pitch: 2.5/12

2x8 Rafters

16"

12 3/4"

Grade

ing:

Francoeur House - Framing Section

Date: Feb. 4 '05

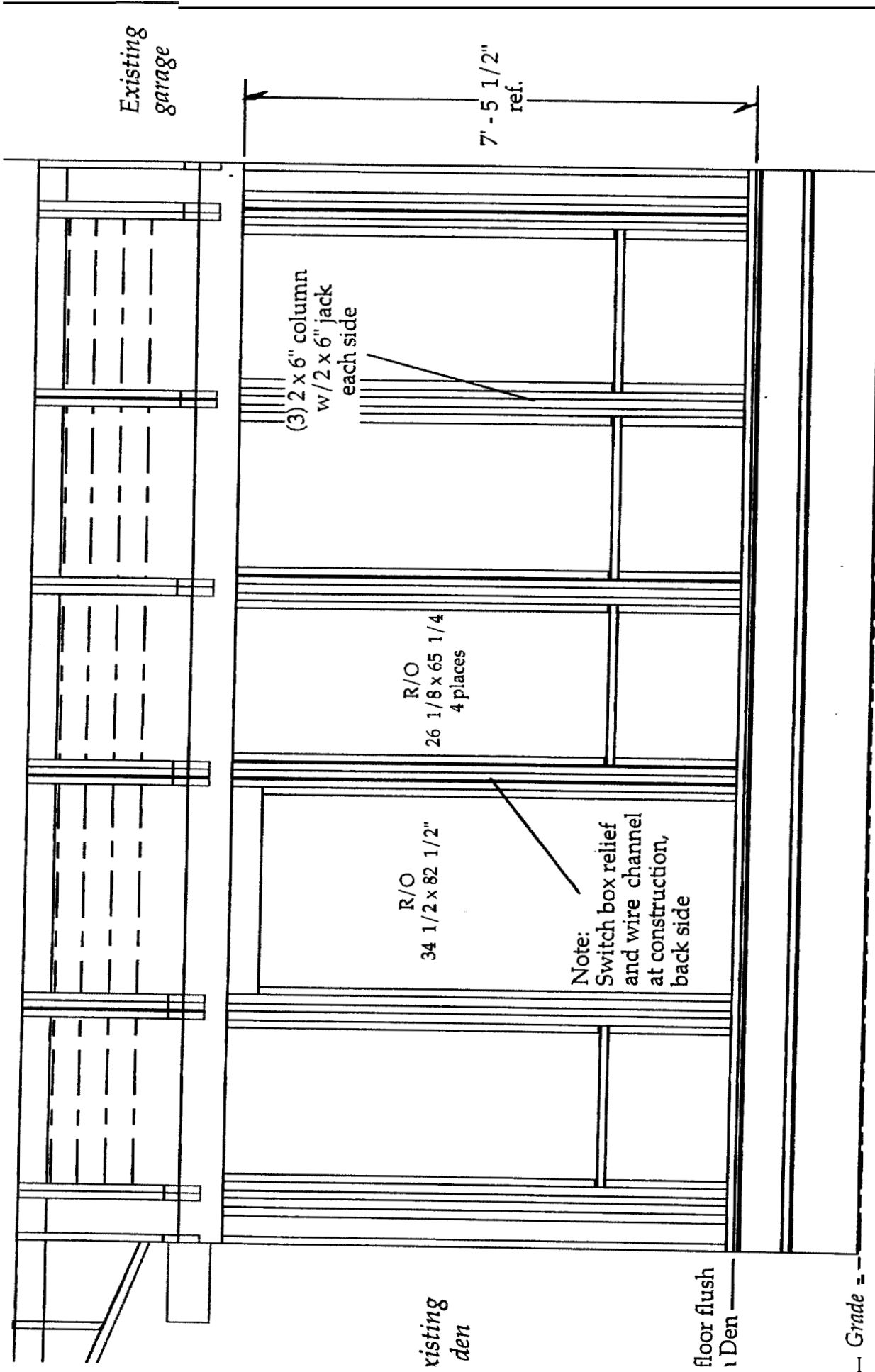
Scale: 1/2" = 1'

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050



Francoeur House - Framing, South Elevation

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050

Scale:

Date: Feb. 4, '05

1/2" = 1'

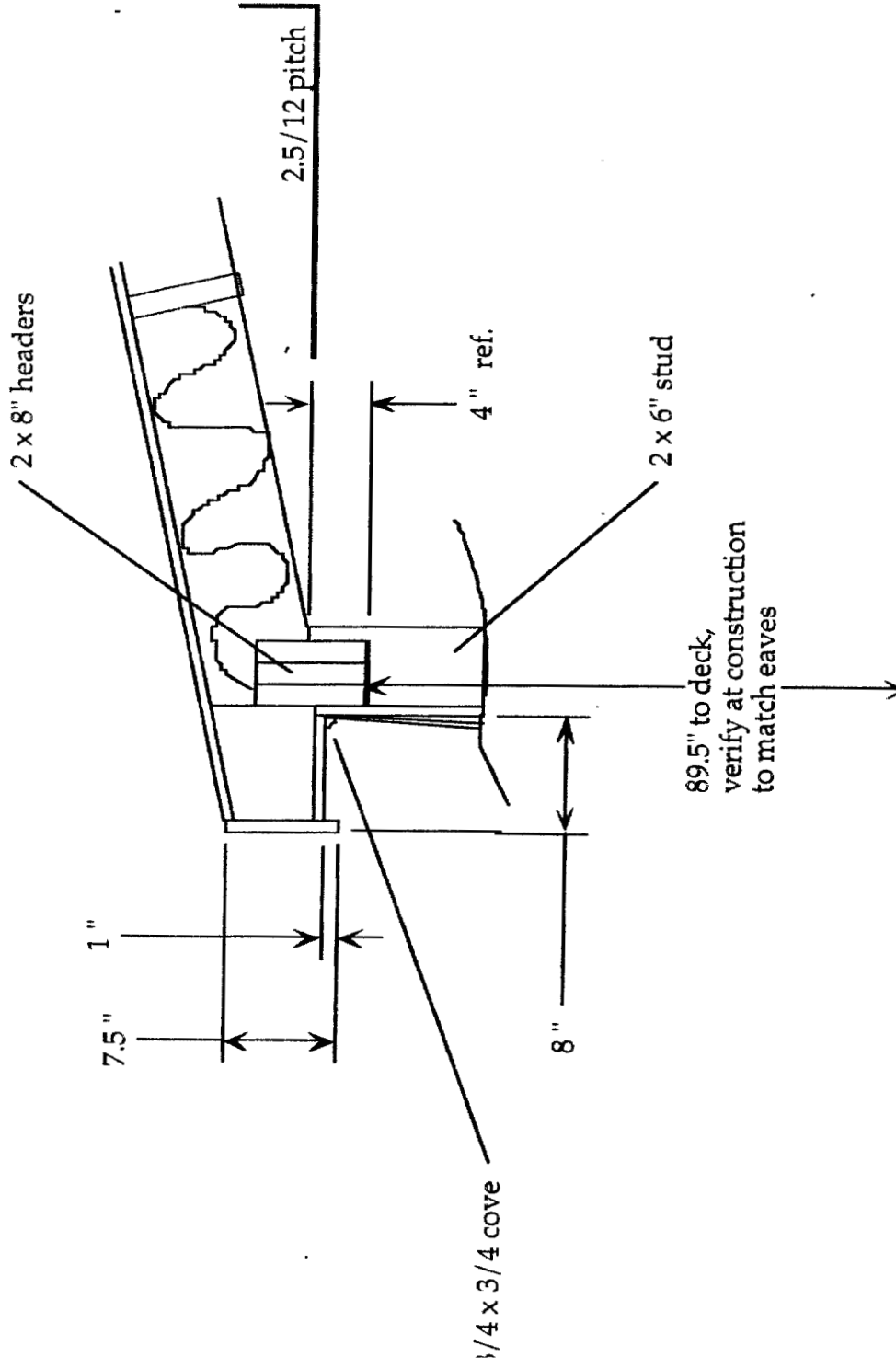
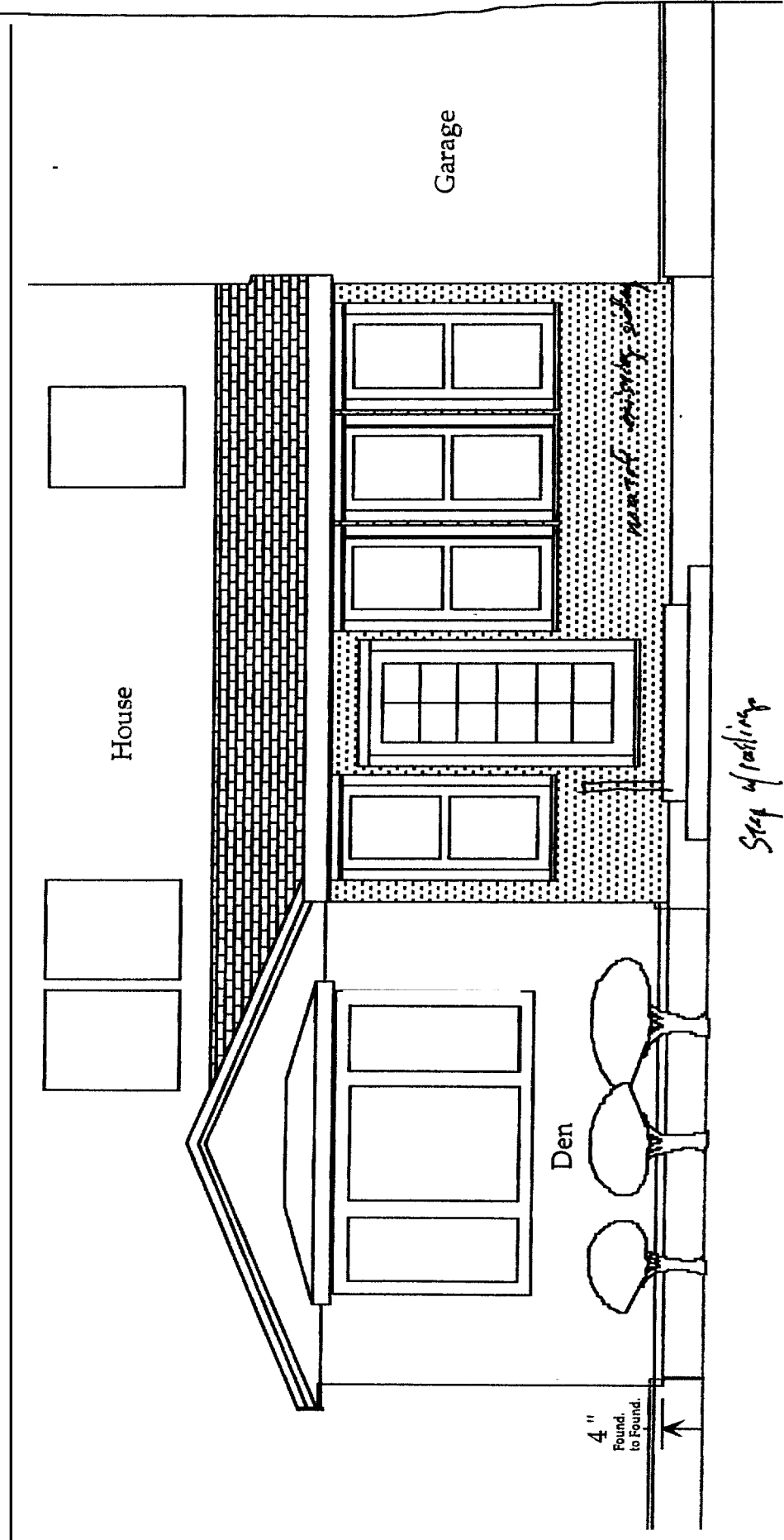


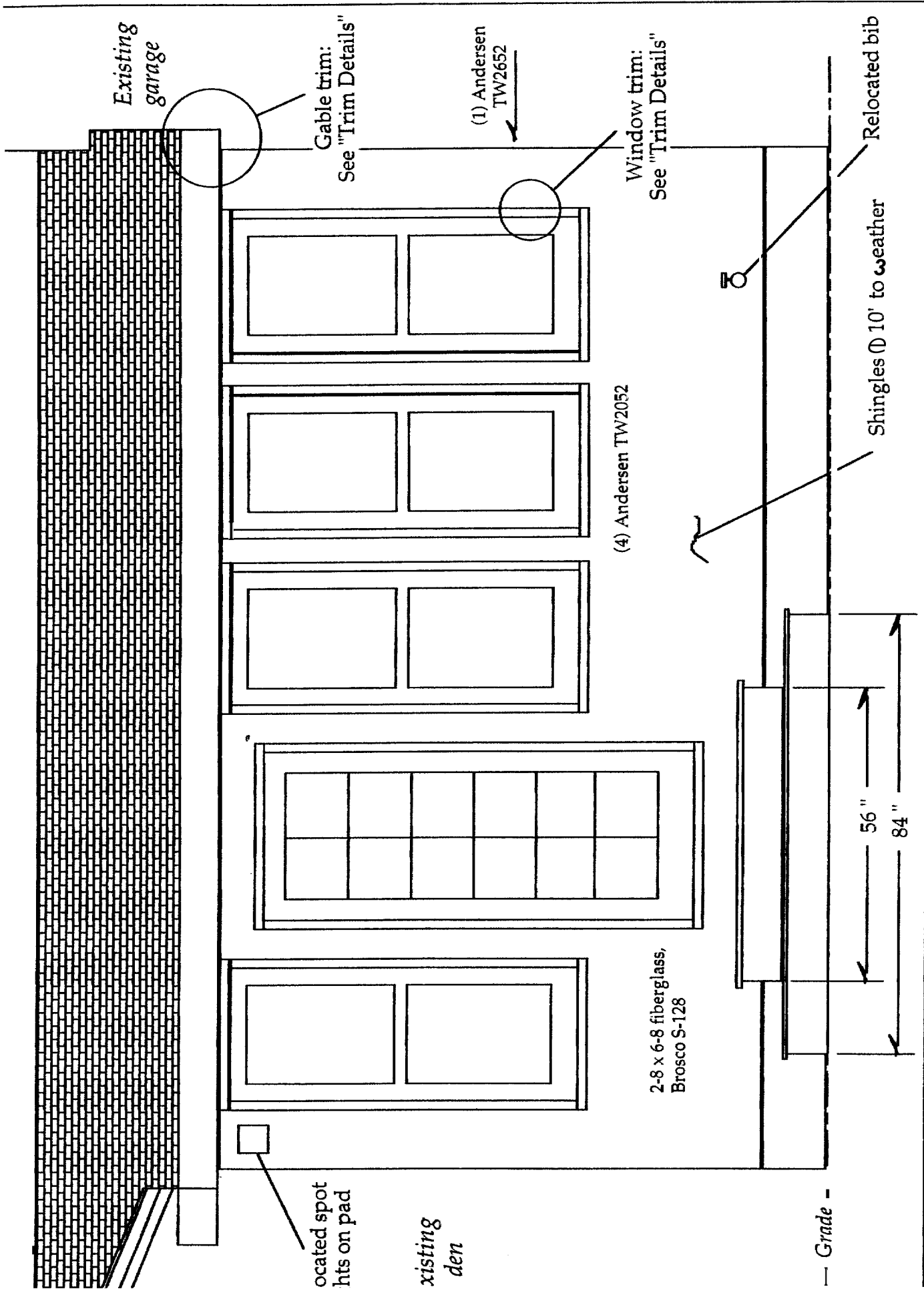
Fig. Francoeur House - Eaves Detail

Scale: 1" = 1'

Date: Feb. 4, '05

5/12

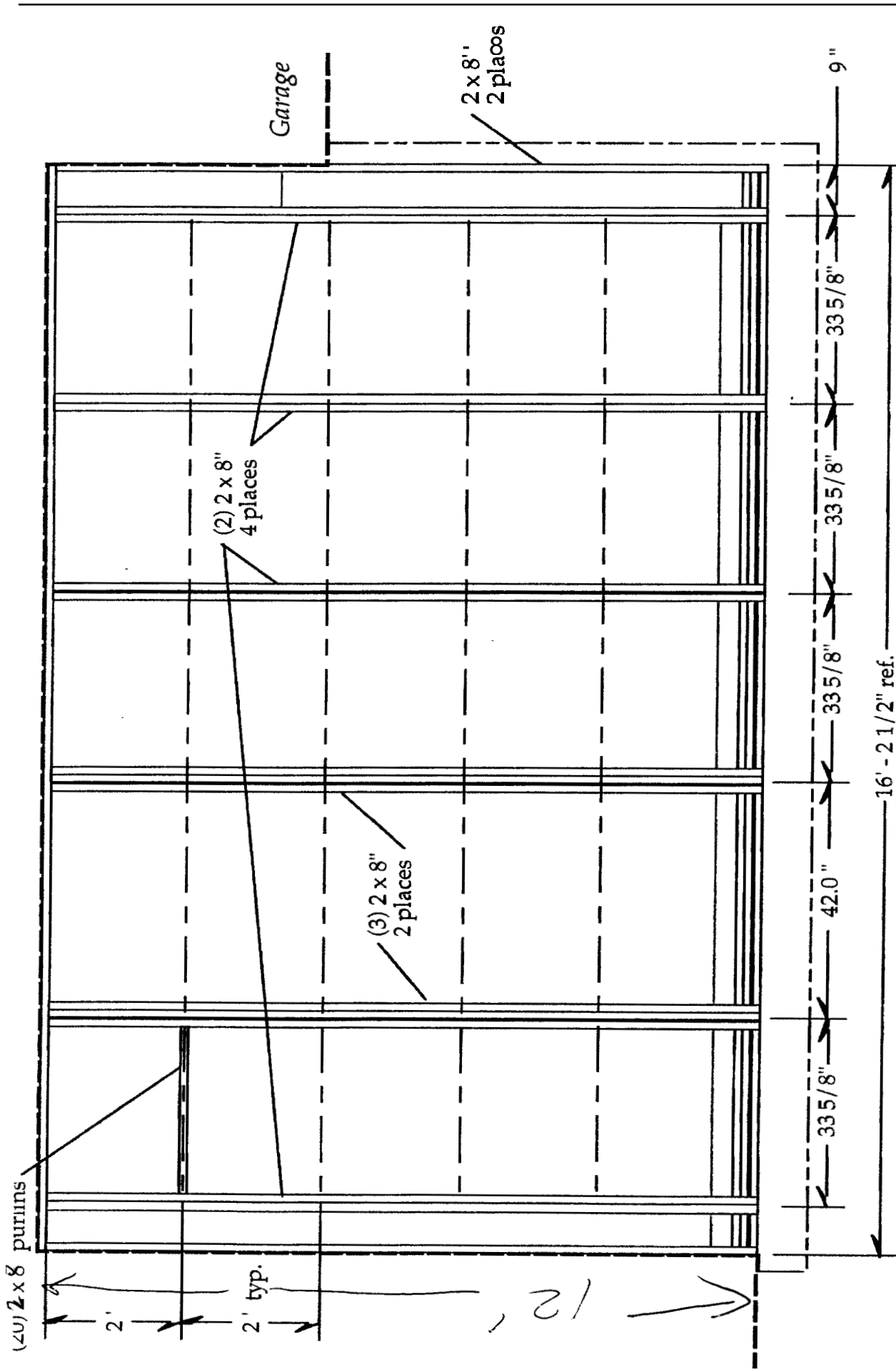




ing: Francoeur House - Framing, South Elevation

Date: Feb. 4, '05

Scale: 1/2" = 1'



Project: Francoeur House - Roof Framing Plan		Date: Feb. 4, '05	Scale: 1/2" = 1'
Whole Home Resource		3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com
			207.883.6050