

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

DRC Copy

Jay Reynolds

Rec'd 10-16

2006-0203

Application I. D. Number

10/13/2006

Application Date

Project Name/Description

Approve 10-17

Bartley Greg &

Applicant

389 Blackstrap Rd , Falmouth , ME 04105

Applicant's Mailing Address

Peter Martelle

Consultant/Agent

Agent Ph: (207)829-5484

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

245 - 245 Auburn St , Portland, Maine

Address of Proposed Site

379 A002001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Other _____
- After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 10/13/2006

DRC Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____
signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: October 5, 2007

RE: C. of O. for #245 Auburn Street
(Id#2006-0203) (CBL 379 A 002001)

After visiting the site, I have the following comments:

Site work complete

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager
Jeanie Bourke, Inspection Services Manager
File: Urban Insight

From: Lannie Dobson
To: C of O
Date: 10/1/2007 2:52:53 PM
Subject: Certificate of Occupancy/Final Scheduled. Property Addr: 245 AUBURN ST Parcel ID:
379 A002001

Date: 10/4/2007 Time: 6:00:00 AM

Note: 289-0601 Tony Property Addr: 245 AUBURN ST Parcel ID: 379 A002001

Application Type: Prmt
Application ID: 61509

Contact:
Phone1: Phone2:

Owner Name: MARTELLE CONSTRUCTION LLC
Owner Addr: 12 SPRING RD
CUMBERLAND , ME 04021

2006-0203

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2006-0203

Application I. D. Number

10/13/2006

Application Date

Bartley Greg &

Applicant

389 Blackstrap Rd , Falmouth , ME 04105

Applicant's Mailing Address

Peter Martelle

Consultant/Agent

Agent Ph: (207)829-5484

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Project Name/Description

245 - 245 Auburn St , Portland, Maine

Address of Proposed Site

379 A002001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Other _____
- After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 10/13/2006

DRC Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date 10/18/2006

Approval Expiration 10/18/2007

Extension to _____

Additional Sheets Attached

Condition Compliance

[Signature]
signature

10-18-06
date

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input checked="" type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2006-0203

Application I. D. Number

10/13/2006

Application Date

Project Name/Description

Bartley Greg &

Applicant

389 Blackstrap Rd , Falmouth , ME 04105

Applicant's Mailing Address

Peter Martelle

Consultant/Agent

Agent Ph: (207) 829-5484

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

245 - 245 Auburn St , Portland, Maine

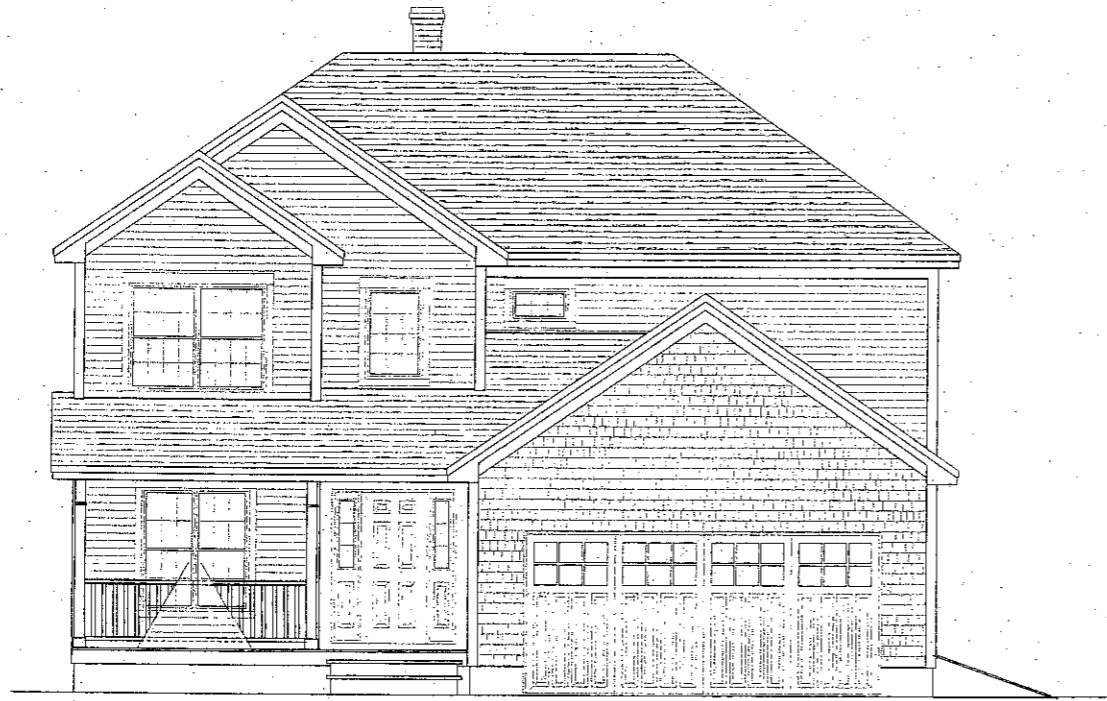
Address of Proposed Site

379 A002001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.



WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

ALL PLANS/DRAWINGS THAT ARE PROVIDED TO OUR CLIENTS ARE BASED UPON INFORMATION GIVEN TO LAYALLEY LUMBER, LLC BY THE CLIENT. ALL DIMENSIONS AND SPECIFICATIONS MUST BE VERIFIED BY CLIENT/CONTRACTOR BEFORE CONSTRUCTION BEGINS. OTHERWISE LAYALLEY LUMBER, LLC WILL NOT BE RESPONSIBLE FOR ANY ERRORS AND OMISSIONS. LAYALLEY LUMBER, LLC ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE FOR ANY REASON BY CLIENT/CONTRACTOR.

PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY REGISTERED ARCHITECT OR ENGINEER. LAYALLEY LUMBER, LLC IS NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING AND DOES NOT HOLD ITSELF OUT AS SUCH. CUSTOMER SHOULD CONSULT A REGISTERED ARCHITECT OR ENGINEER OF THEIR CHOICE IF ARCHITECT OR ENGINEER STATUS IS NECESSARY.

THIS DRAWING MAY NOT BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN PERMISSION OF LAYALLEY LUMBER, LLC.

ALL CONTRACTORS TO CONFORM TO ALL STATE AND LOCAL BUILDING CODES.

DESIGN OF :

DESIGN FOR :

TONY MARTELLE

DESIGNED BY :	T.A.B.
DATE :	08-21-06
REVISION :	08-08-06
REVISION :	09-25-06
SCALE :	1/4" = 1'-0"

Lavalley Lumber

SPRINGDALE 201-274-5360
WELLS 201-646-4595
SANFORD 201-524-3390

SHEET NO:

ALL PLANS/DRAWINGS THAT ARE PROVIDED TO OUR CLIENTS ARE BASED UPON INFORMATION GIVEN TO THE CLIENT. ALL DIMENSIONS AND SPECIFICATIONS MUST BE VERIFIED BY CLIENT/CONTRACTOR BEFORE CONSTRUCTION BEGINS. OTHERWISE LAYALLEY LUMBER, LLC WILL NOT BE RESPONSIBLE FOR ANY ERRORS AND OMISSIONS. LAYALLEY LUMBER, LLC ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE OR CLAIMS BY CLIENT/CONTRACTOR.

PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY REGISTERED ARCHITECT OR ENGINEER. LAYALLEY LUMBER, LLC IS NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING AND DOES NOT HOLD ITSELF OUT AS SUCH. CUSTOMER SHOULD CONSULT A REGISTERED ARCHITECT OR ENGINEER OF THEIR CHOICE IF ARCHITECT OR ENGINEER STAFF IS NECESSARY.

THIS DRAWING MAY NOT BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT EXPRESSED WRITTEN PERMISSION OF LAYALLEY LUMBER, LLC.

ALL CONTRACTORS TO CONFORM TO ALL STATE AND LOCAL BUILDING CODES.

DESIGN OF :

DESIGN FOR :

TONY MARTELLE

DESIGNED BY :	T.G.B.
DATE :	08-20-06
REVISED :	08-08-06
REVISED :	08-25-06
SCALE :	1/4" = 1'-0"

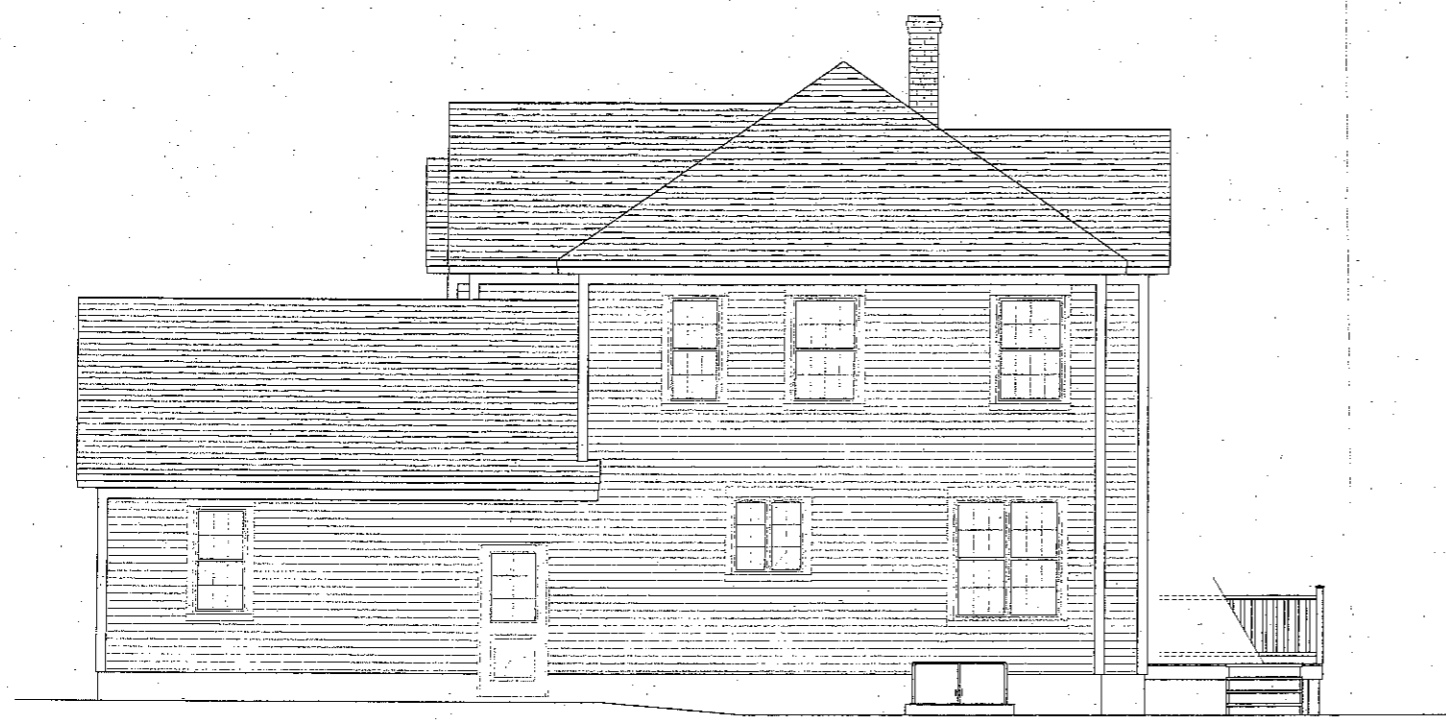
Lavalley Lumber

SAN JOSE, CA 95134-3380
207-324-3380

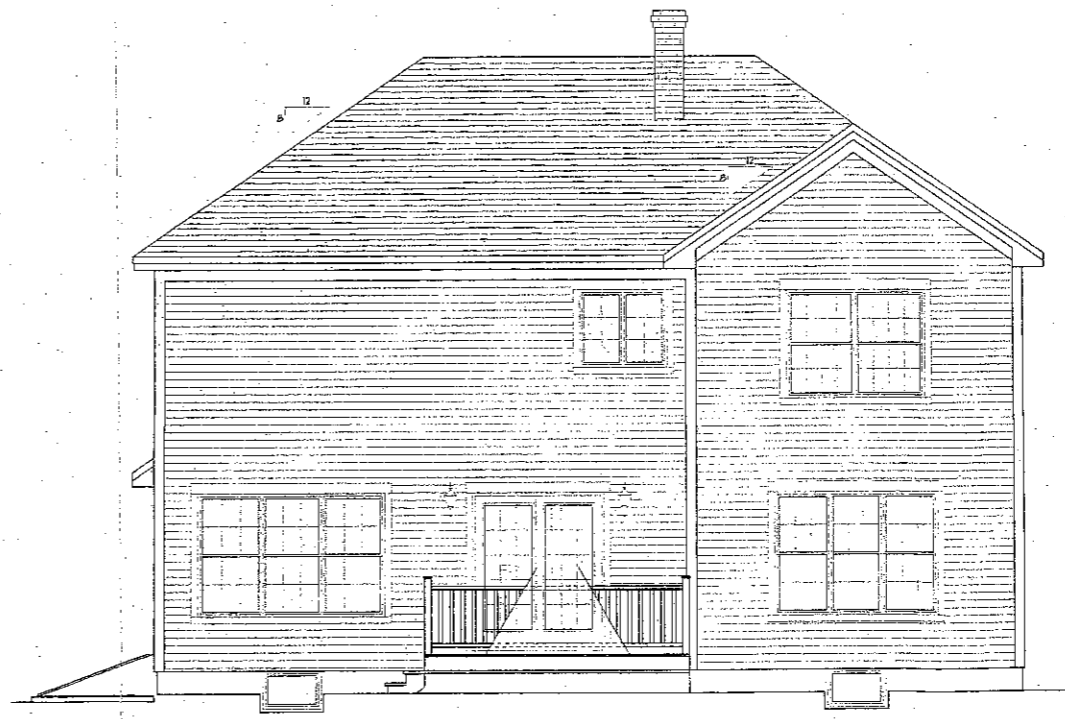
WELLS
207-646-4835

SPRINGSVILLE
207-324-3380

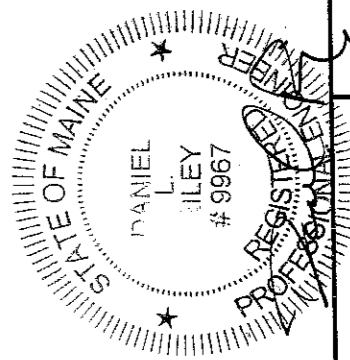
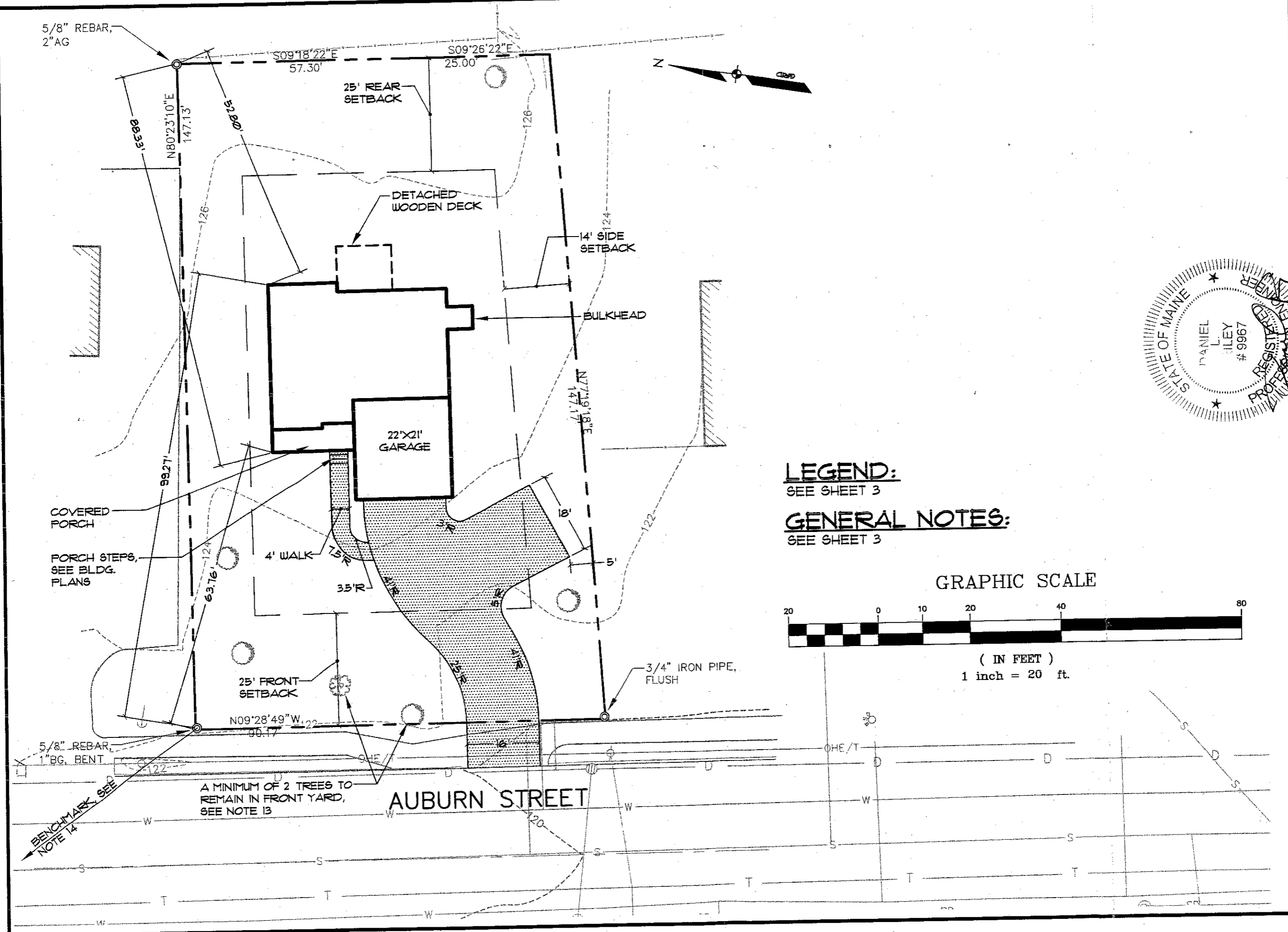
SHEET NO.



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

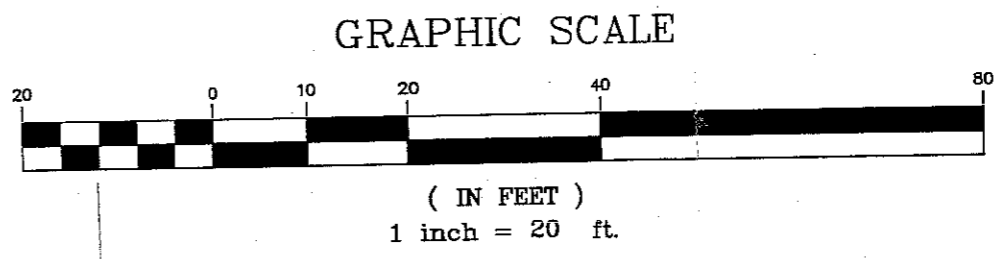


EAST ELEVATION
SCALE: 1/4" = 1'-0"



LEGEND:
SEE SHEET 3

GENERAL NOTES:
SEE SHEET 3



Sebago Technics
Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

SITE PLAN
OF: **BARTLEY PROPERTY**
239 AUBURN STREET
PORTLAND, MAINE
FOR: **MARTELLE CONSTRUCTION, LLC**
12 SPRING ROAD

DESIGN BY:	M
DRAWN BY:	M
CHECKED BY:	M
DATE:	9-25-
SCALE:	1" =
FIELD BK:	
PROJ. NO:	06
DRAWING:	062

SHEET 1 OF