

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that DONALD & JESSICA AGREN

Located At 245 AUBURN ST

Job ID: 2012-08-4738-ALTR

CBL: 379- A-002-001

has permission to ERECT TWO 5' X 10.5' DETACHED SHEDS

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

N/A

Maya Schmuckel 10/1/12

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

***** SHALL CALL FOR A SETBACK INSPECTION PRIOR TO FINAL PLACEMENT OF SHEDS*****

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-08-4738-ALTR

Located At: 245 AUBURN ST

CBL: 379- A-002-001

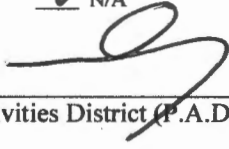

Conditions of Approval:

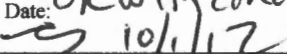


Zoning

1. This permit is being approved on the basis of plans submitted on 10/1/2012. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. Section R105.2 of the International Residential Code states that structures 200 square foot or under is exempt from building code review. This structure has not been reviewed for codes or safety under the building codes. The owner takes full responsibility for structural integrity.
4. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-08-4738-ALTR	Date Applied: 8/17/2012	CBL: 379- A-002-001	
Location of Construction: 245 AUBURN ST	Owner Name: DONALD & JESSICA AGREN	Owner Address: 245 AUBURN STREET, PORTLAND, ME 04103	Phone: 329-7064
Business Name:	Contractor Name: Chad Guay – CG Builders	Contractor Address: 36 GUINEA RD, BIDDEFORD, ME 04005	Phone: (207) 423-2999
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG	Zone: R-2
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling – to construct two detached sheds 5' x 10.5' each as per plans	Cost of Work: \$9,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A Signature: 	Inspection: Use Group: Type: <i>N/A</i> Signature: 
Proposed Project Description: 11' x 20' shed		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan ___ Maj ___ Min ___ MM Date: <i>OK with conditions</i> 	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: 	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



2012 08 40 38 R-2

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>245 Auburn St Portland</u>		
Total Square Footage of Proposed Structure/Area <u>250 sq ft</u>	Square Footage of Lot	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>379 A 002</u>	Applicant: (must be owner, lessee or buyer) Name <u>Jess Agren</u> Address <u>245 Auburn St</u> City, State & Zip <u>Portland Me 04103</u>	Telephone: <u>423-2999</u> <u>329-7064</u>
Lessee/DBA RECEIVED AUG 17 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <u>8,960</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Building a 11x20 shed for storage 11 x 20'</u>		
Contractor's name: <u>Chad Gacy</u> Email: <u>CG-Builders A+ Hotmail.com</u> Address: <u>36 Guinea Rd</u> City, State & Zip: <u>Biddeford Me 04005</u> Telephone: <u>423-2999</u> Who should we contact when the permit is ready: <u>Chad Gacy</u> Telephone: <u>423-2999</u> Mailing address: <u>36 Guinea</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Chad Gacy Date: 8-13-12

This is not a permit; you may not commence ANY work until the permit is issued



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Receipts Details:

Tender Information: Cash
Tender Amount: 110.00

Receipt Header:

Cashier Id: gguertin
Receipt Date: 8/17/2012
Receipt Number: 47234

Receipt Details:

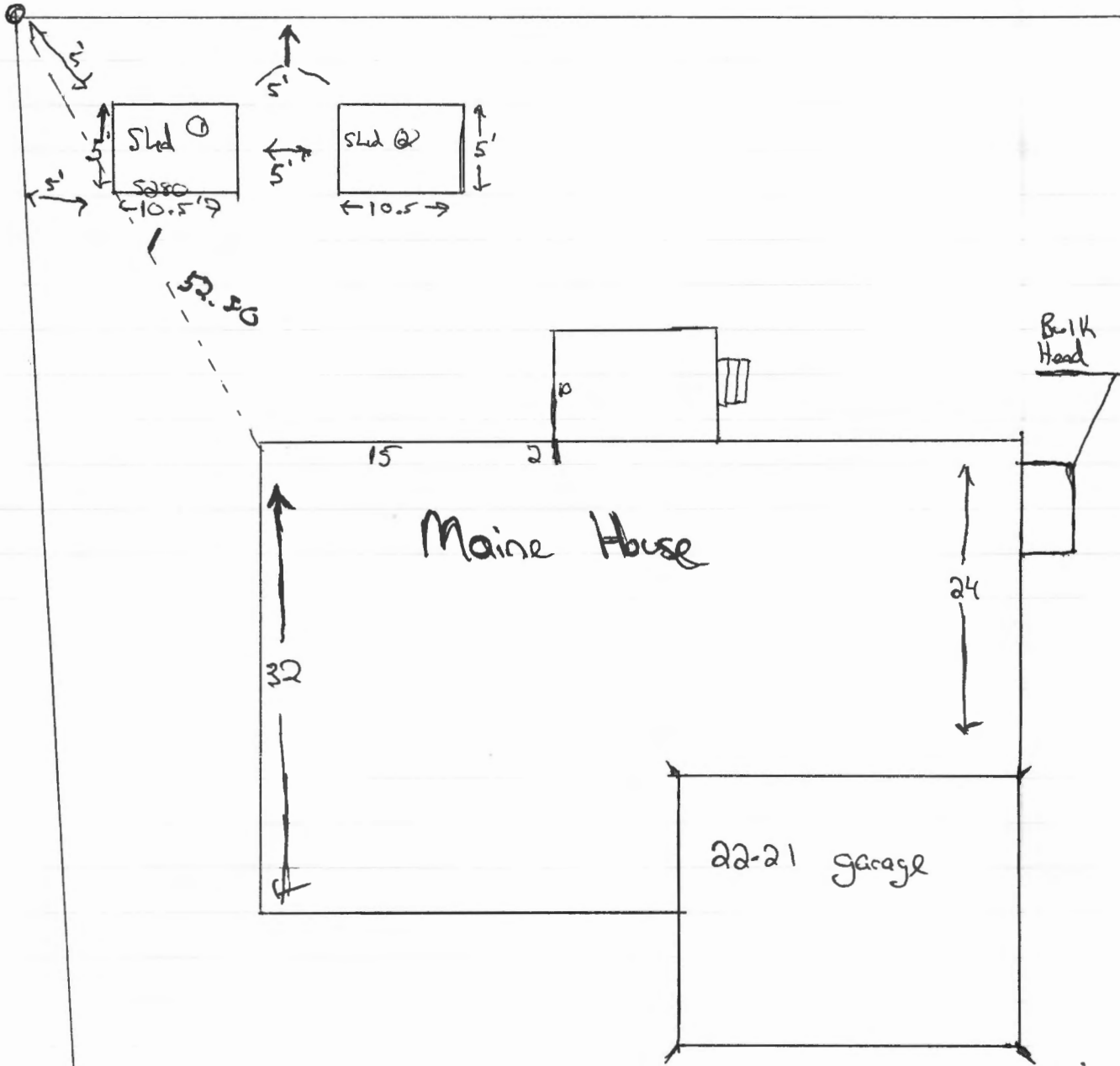
Referance ID:	7695	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	110.00	Charge Amount:	110.00
Job ID: Job ID: 2012-08-4738-ALTR - 11' x 20' shed			
Additional Comments: Chad Guay, 245 Auburn			

Thank You for your Payment!

Plot Plan

285 Auburn St

Key
o = pins

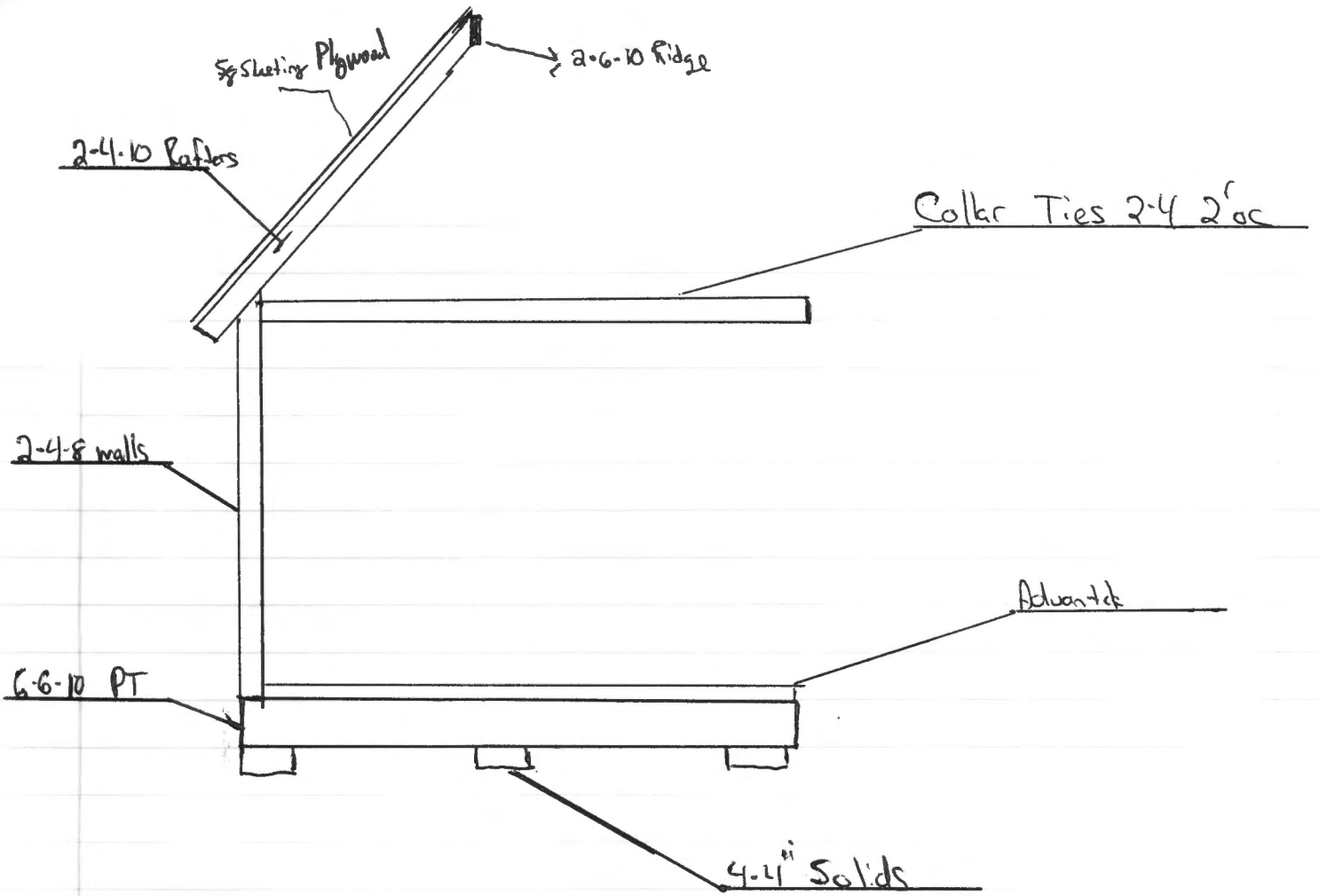


RECEIVED

OCT 01 2012

Dept. of Building Inspections
City of Portland Maine

285 Auburn Street



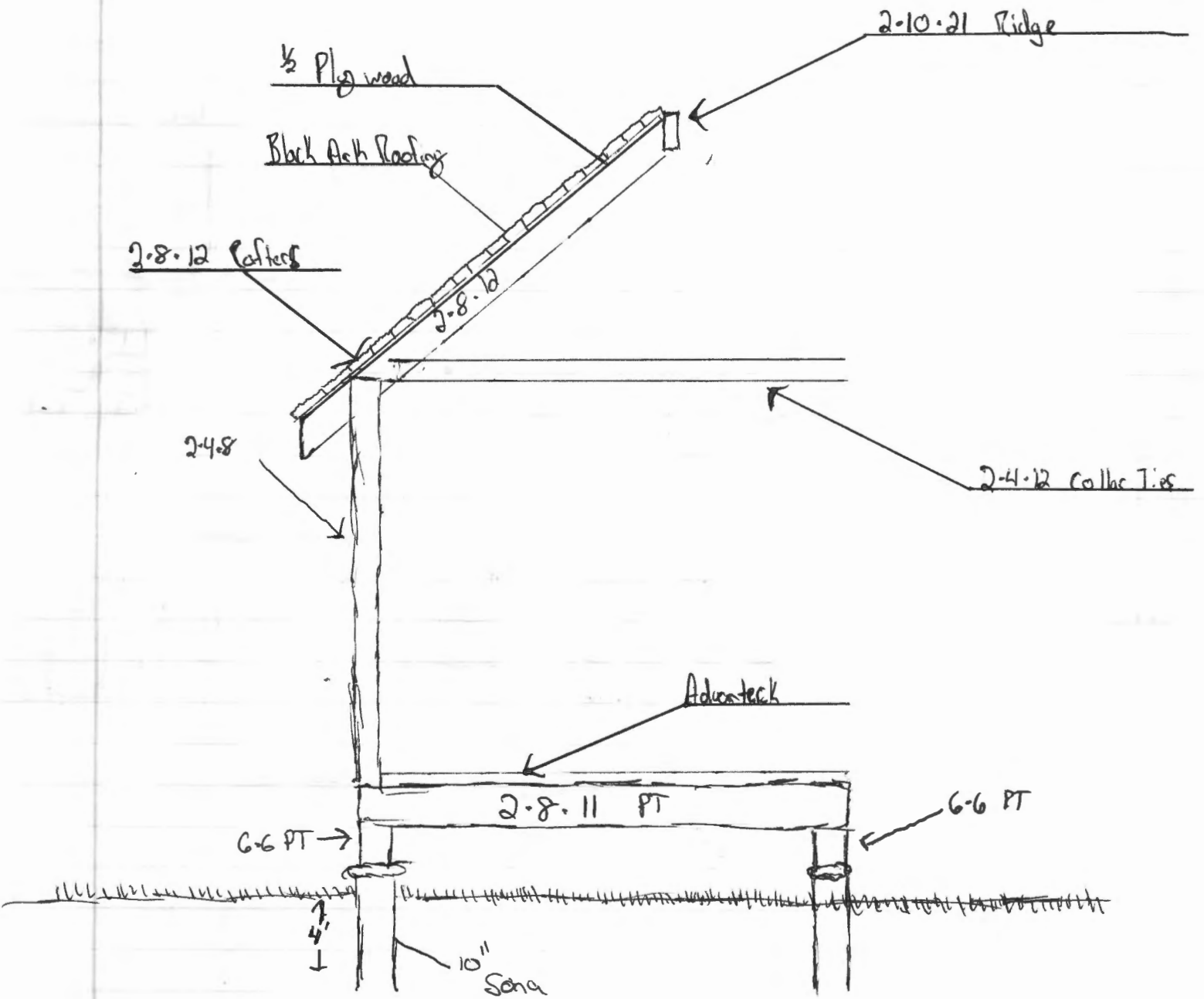
285 Auburn St

RECEIVED

NOV 01 2012

Dept. of Building Inspections
City of Portland Maine

Plot Plan / Framing



fence

(Plot Plan)

245 Auburn St
Portland

Wrong

2 Story House

48'

13'

32'

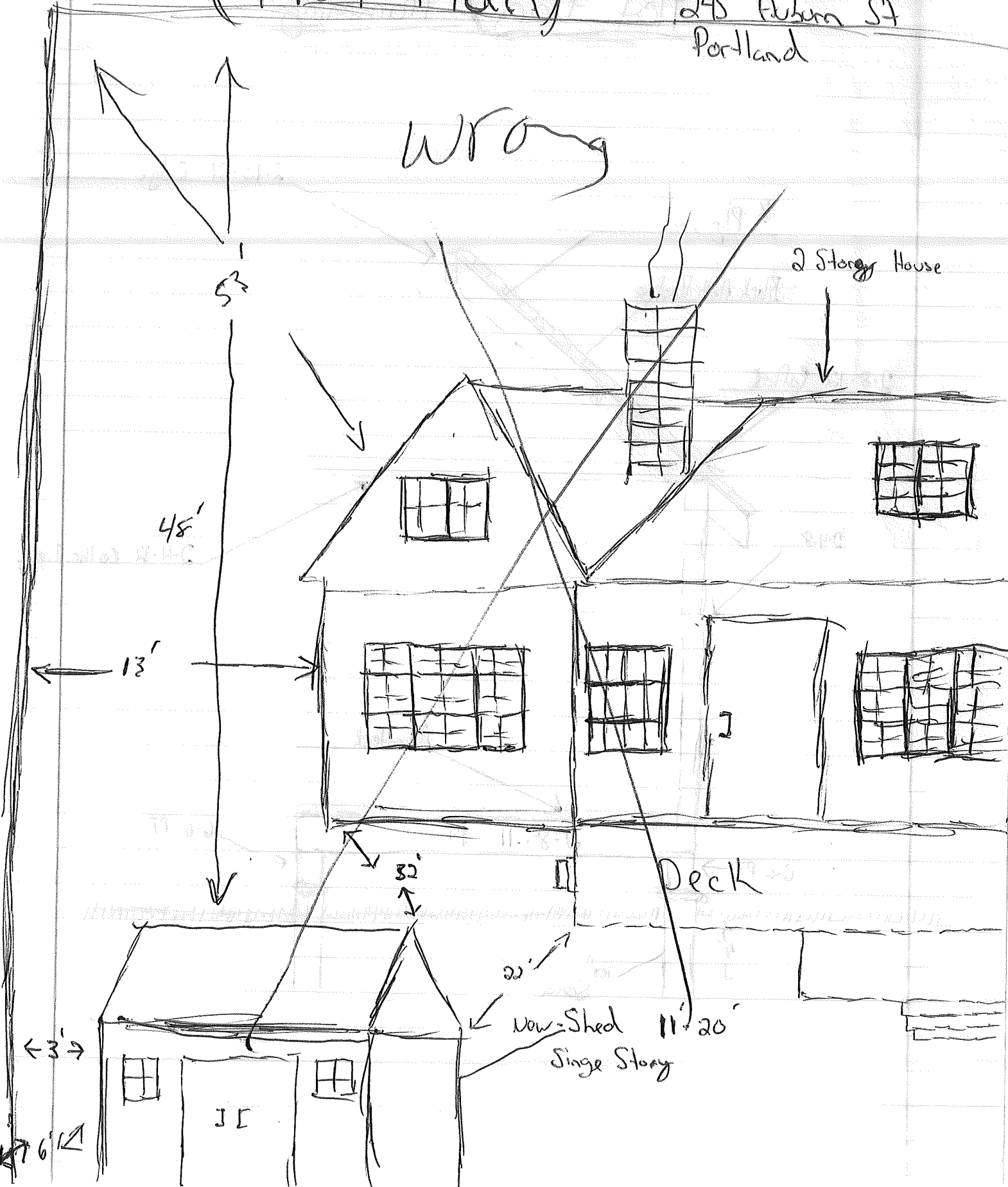
Deck

22'

New Shed 11' x 20'
Single Story

3'

7' 6"





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Jeff Levine, AICP, Director
Marge Schmuckal, Zoning Administrator

August 13, 2012

Donald & Jessica Agren
245 Auburn Street
Portland, Maine 04103

Scanned

RE: 245 Auburn Street – 379-A-002 – R-2 Zone

*11x20 shed applied for
on 8/17/2012 -
2012-08-
4738*

Dear Mr. and Mrs. Agren,

It has recently come to my attention that you are constructing an accessory building at the rear of your property. Our files indicated that you do not have any of the required permits for the construction of such a building. It will be necessary to come in immediately to apply for an after-the-fact building permit. You will need a good site plan showing all the structures on the property including the one you are in the process of constructing. You must show all the setbacks from all the structures. We will also need good structural plans showing how the building is constructed. Our permit applications are on line on the Inspection Services web site. Any and all work should cease until you receive an issued building permit from this office.

This office will need an application within 10 working days of the date of this letter in order to avoid legal actions.

If you have any questions regarding this matter, please do not hesitate to contact me at 874-8695.

Very truly yours,

Marge Schmuckal
Marge Schmuckal
Zoning Administrator

*8/1/12 finally got a plan that
meets zoning requirements*

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874 8486

[City](#) [Home](#) [Departments](#) [City Council](#) [E Services](#) [Calendar](#) [Jobs](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

- Applications
- Doing Business
- Maps
- Tax Relief
- Tax Roll
- Q & A

CBL	379 A002001
Land Use Type	SINGLE FAMILY
Property Location	245 AUBURN ST
Owner Information	AGREN DONALD W & JESSICA D AGREN JTS
	245 AUBURN ST PORTLAND ME 04103
Book and Page	25562/210
Legal Description	379-A-2 AUBURN ST 245-251 12620 SF
Acres	0.2897

Current Assessed Valuation:

TAX ACCT NO.	48148	OWNER OF RECORD AS OF APRIL 2012
LAND VALUE	\$88,200.00	AGREN DONALD W & JESSICA D AGREN JTS
BUILDING VALUE	\$222,800.00	245 AUBURN ST PORTLAND ME 04103
NET TAXABLE - REAL ESTATE	\$311,000.00	
TAX AMOUNT	\$5,853.02	

[browse city services a-z](#)

[browse facts and links a-z](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



Best viewed at 800x600, with Internet Explorer

Building Information:

Building 1	
Year Built	2007
Style/Structure Type	COLONIAL
# Stories	2
# Units	1
Bedrooms	3
Full Baths	3
Total Rooms	7
Attic	NONE
Basement	FULL
Square Feet	2164

[View Sketch](#) [View Map](#) [View Picture](#)



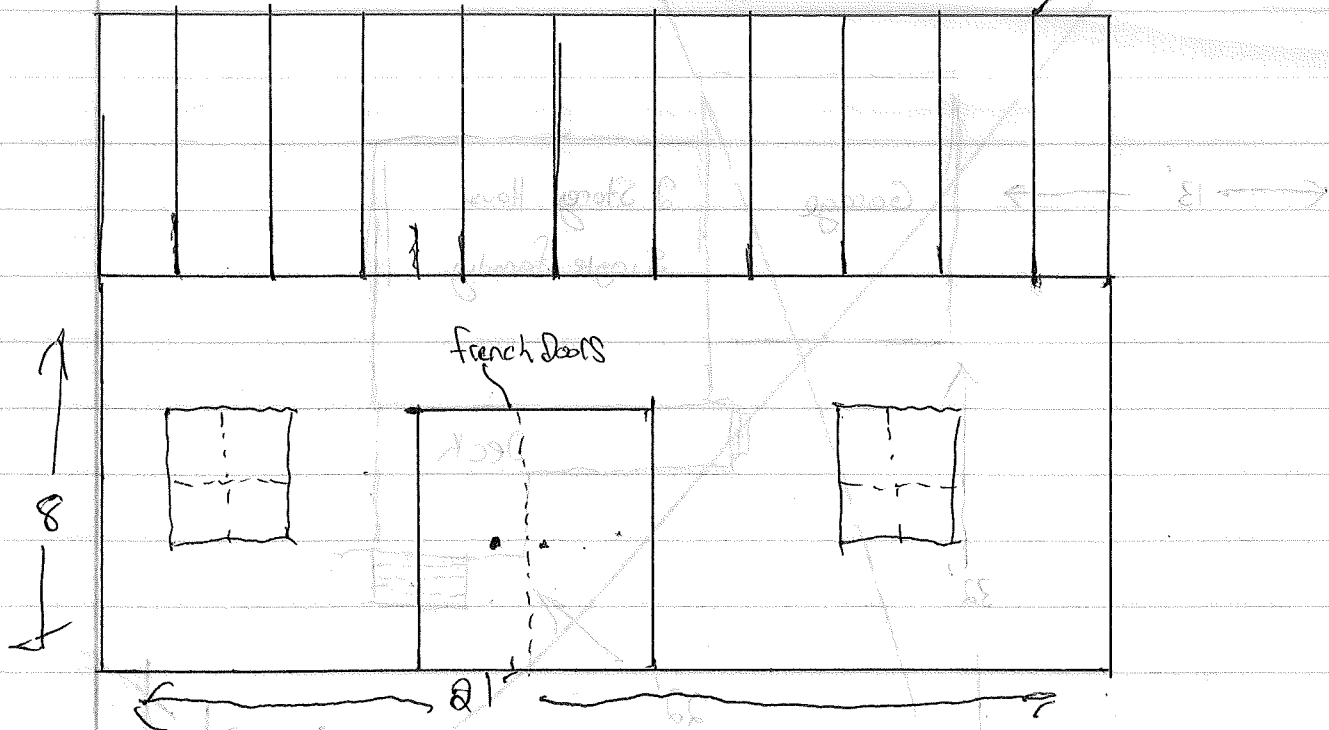
Sales Information:

Sale Date	Type	Price	Book/Page
10/23/2007	LAND + BUILDING	\$375,000.00	25562/210
12/29/2006	LAND	\$90,000.00	24707/30
6/1/2005	LAND + BUILDING	\$0.00	22699/139
9/10/2003	LAND	\$19,496.00	20167/108
7/21/1998	LAND + BUILDING	\$0.00	14011/063

New Search!

245 Auburn St.
CG- Builders

Rafters 2' on Center
2-8-12



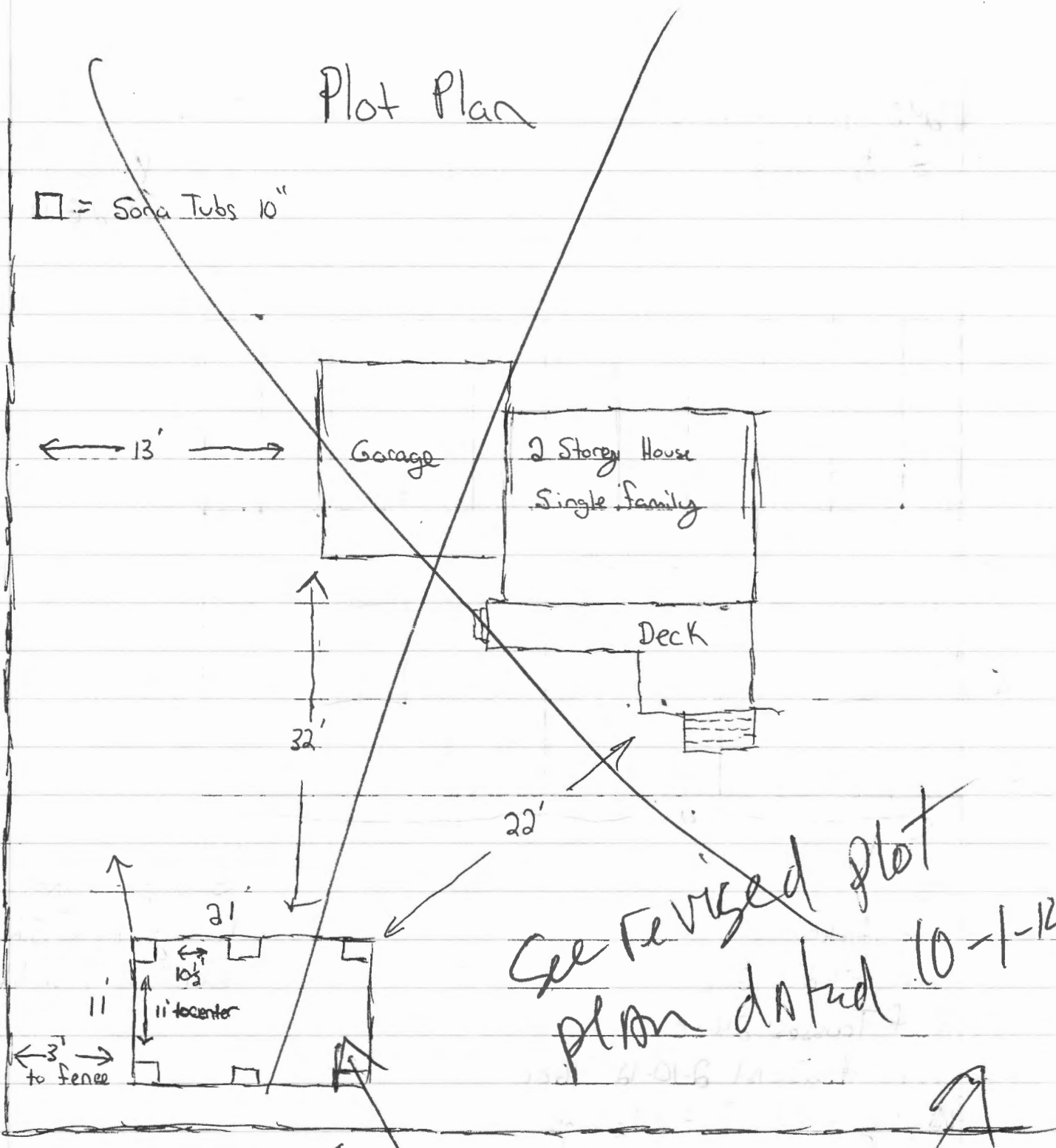
- No Interior
- Wall Studs 16 oc
- Roof Trusses 24 oc
- Floor Joist 2-10-12 16 oc
- Ply wood Roof Sheathing
- No Stairs

Siding - vinyl
Roofing Ark Shingles
Decking - Adventure

1/4 scale every 1/4" is a 1'

Plot Plan

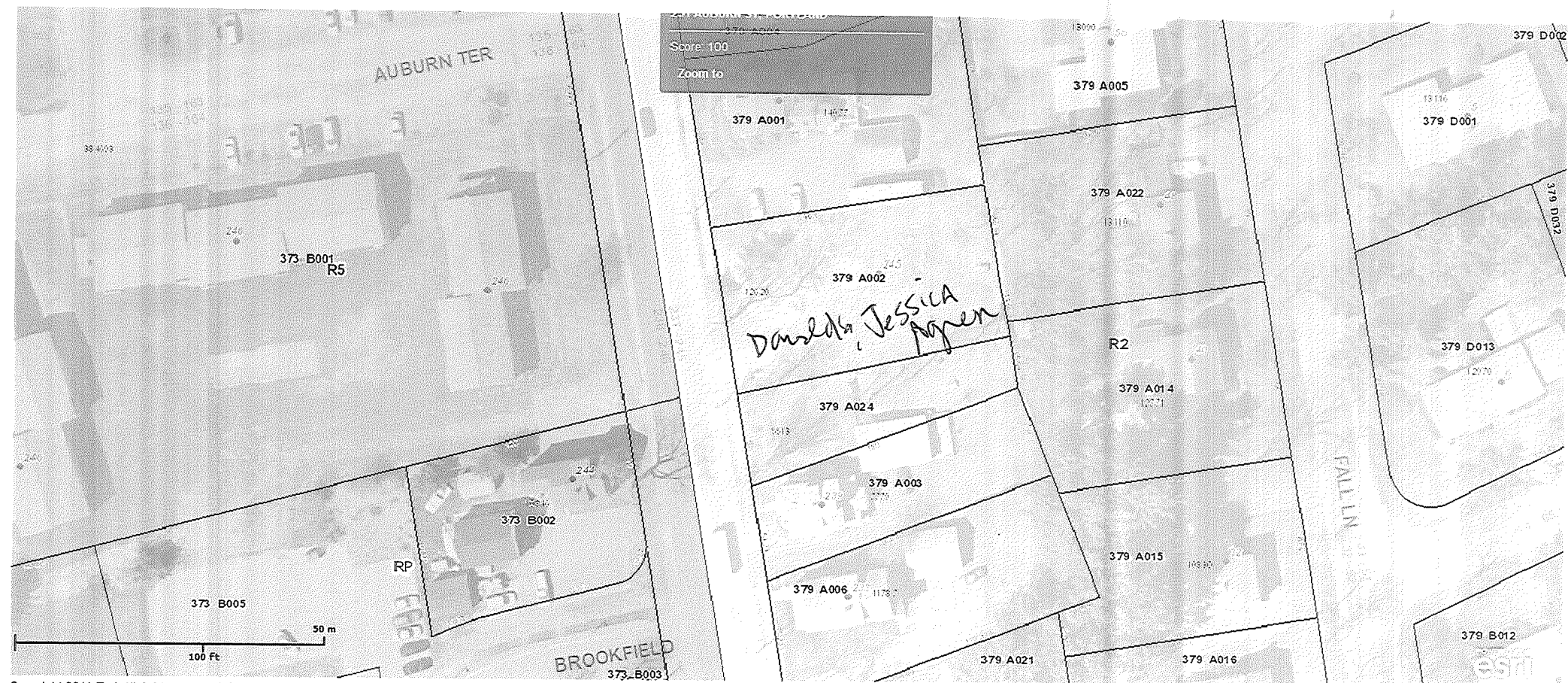
□ = Soda Tubs 10"



See Revised plot plan dated 10-1-12

wood fence

Not the location
And not meet setback should be here



David & Jessica
Appen

house built 2006
9517 Westgate
9522 Ansley
9526