

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that ROGER CILLEY

Located At 59 BRAMBLEWOOD AVE.

Job ID: 2011-06-1390-ALTR

CBL: 377 - - E - 013 - 001 - - - -

has permission to install a 12' x 12' shed

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

N/A

Fire Prevention Officer

*Mary Schmechel 6/15/11*  
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Please call prior to placing the shed or a concrete pad for a setback inspection.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

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Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-06-1390-ALTR


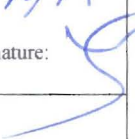
Located At: 59 BRAMBLEWOOD CBL: 377 - - E - 013 - 001 - - - -  
AVENUE

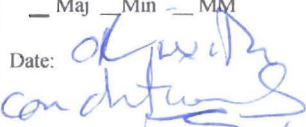

## **Conditions of Approval:**

1. This permit is being approved based upon the submitted plans for a 12' x 12' detached shed.
2. The current principal use of the property is a single family dwelling. Any change of use shall require a separate review and approval.
3. Section R105.2 of the International Residential Code states that structures 200 square foot or under is exempt from building code review. This structure has not been reviewed for codes or safety under the Building Codes. The owner takes full responsibility for structural integrity.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-06-1390-ALTR	Date Applied: 6/13/2011	CBL: 377 - - E - 013 - 001 - - - - -	
Location of Construction: 59 BRAMBLEWOOD DR	Owner Name: ROGER CILLEY	Owner Address: 59 BRAMBLEWOOD DR PORTLAND, ME - MAINE 04103	Phone: 799-0363
Business Name:	Contractor Name: Owner	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type:	Zone: R-2
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling - to install a 12' x 12' shed	Cost of Work: \$2000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: Type: N/A
		Signature: 	Signature: 
Proposed Project Description: 12' 12' shed		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Gayle	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: 	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 
	<b>CERTIFICATION</b> 6/15/11		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHON
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# 2011 06 1390 60 6/14/11



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>59 Bramblewood Drive, PORTLAND</u>		
Total Square Footage of Proposed Structure/Area <u>144'</u>	Square Footage of Lot <u>17,144</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>377 E 013 SF 28</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>Rodger S. Cilley</u> Address <u>59 Bramblewood Dr.</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>797-0363</u>
Lessee/DBA (If Applicable) <b>RECEIVED</b> JUN 13 2011 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip <u>in Q</u>	Cost Of Work: \$ <u>2000.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>40.00</u>
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>I'm proposing to build a 12' x 12' Salt Box Shed in my backyard for storage of garden/lawn materials.</u> <u>17,144</u>		
Contractor's name: <u>Rodger Cilley</u> Address: <u>59 Bramblewood Drive</u> City, State & Zip <u>Portland, ME 04103</u> Telephone: <u>797-0363</u> Who should we contact when the permit is ready: <u>Rodger Cilley</u> Telephone: <u>797-0363</u> Mailing address: <u>same as above</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

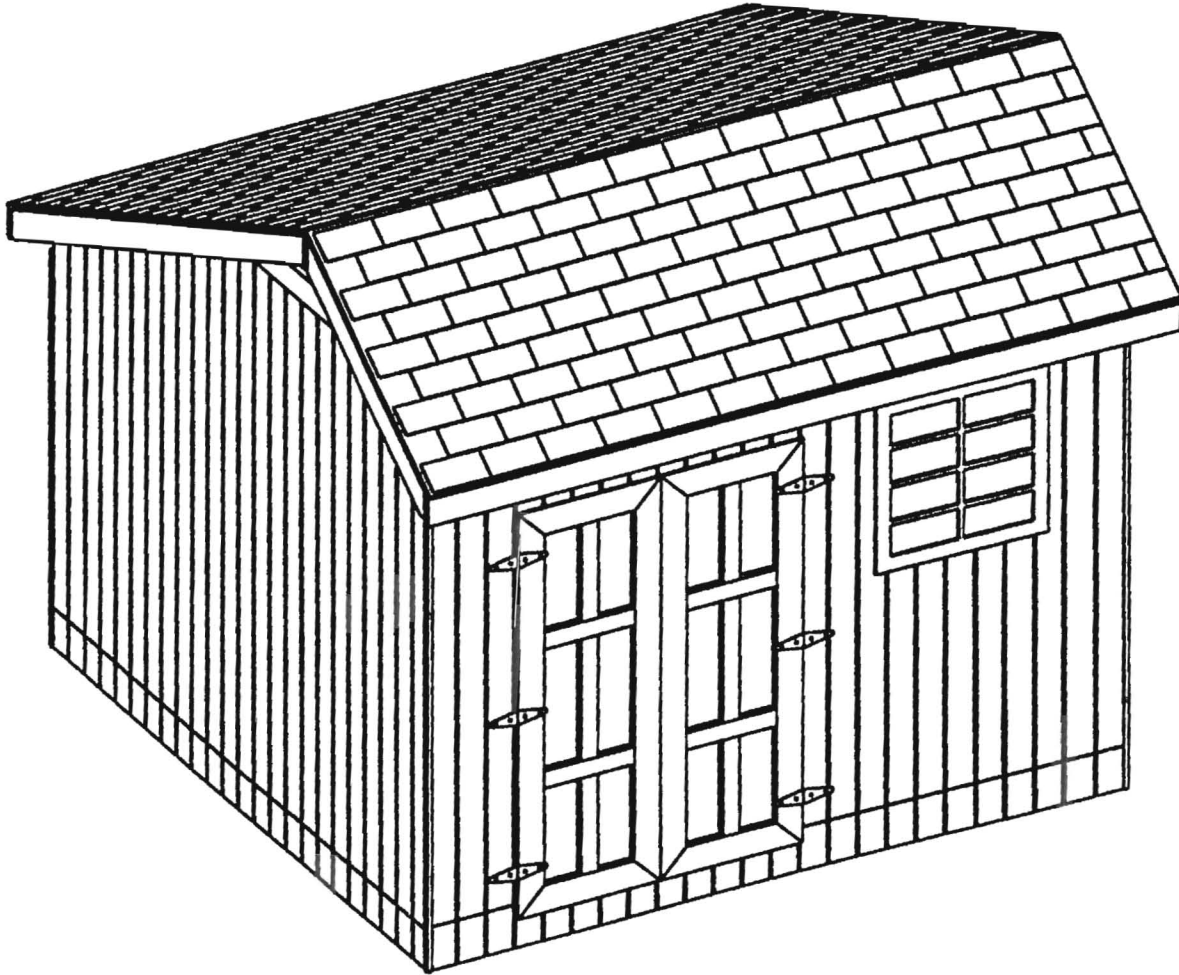
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: June 13, 2011

**This is not a permit; you may not commence ANY work until the permit is issued**

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# 12' X 12' SALT BOX SHED

12 x 12 Utility  
Shed

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# BILL OF MATERIAL

## FOUNDATION

GRAVEL, CONCRETE, REINFORCING STEEL AS REQUIRED FOR FOUNDATION OPTION (SEE FOUNDATION OPTIONS)  
4X4 SKIDS MINIMUM REQUIRED WITH CONCRETE BLOCKS EVERY 3 FEET OF SHED LENGTH.

## FRAMING AND SIDING

(INCLUDES HOMEMADE DOOR, DOES NOT INCLUDE OPTIONAL RAMP)  
ALL EXTERIOR EXPOSED WOOD SHALL BE PRESSURE TREATED.

15	2X6X144 FOR FLOOR FRAME, PRESSURE TREATED LUMBER ONLY
5 SHTS	4X8 3/4" PLYWOOD FLOORING
48	2X4X96
11	2X4X144
12	2X6X96
22	2X6X144
3	2X6X156
22 SHTS	4X8 DECORATIVE T11 OR OTHER OUTSIDE GRADE DECORATIVE SHEATHING
12	1X4X10' DECORATIVE CEDAR TRIM OR OTHER MATERIAL FOR WALL AND CORNERS
2	1X8X8' DECORATIVE CEDAR TRIM FASCIA FOR OUTSIDE FASCIA (OPTIONAL)

## ROOFING

8 PIECES	4X8 SHEETS OF PLYWOOD SHEATHING
225 SQ FT	ASPHALT SHINGLES
225 SQ FT	15# BUILDING PAPER
32 FT	METAL DRIP EDGE (ALONG GABLE EDGES)
2 PCS	ROOF VENTS (OPTIONAL)

## PURCHASED FINISHED COMPONENTS

1 PCS	PURCHASED DOOR SIZED FOR ROUGH OPENING, WITH FRAMING AND PURCHASED HARDWARE
1 PCS	PURCHASED WINDOW SIZED FOR ROUGH OPENING, WITH FRAMING AND PURCHASED HARDWARE
4 PCS	SOFFIT VENTS
100 FEET	Z FLASHING (TWICE AROUND SHED PERIMETER WILL BE NEEDED)
18 FEET	DOOR AND WINDOW FLASHING, 18 GAUGE

## FASTENERS

16 LBS	16d FRAMING NAILS
1 LB	10d COMMON NAILS
1 LB	10d GALVANIZED CASING NAILS
1/2 LB	8d COMMUN NAILS
3 LBS	8d BOX NAILS
1 1/2 LBS	8d GALVANIZED BOX NAILS
7 LBS	8d GALVANIZED FINISH NAILS
1/4 LB	3d GALVANIZED BOX NAILS
2 LBS	7/8" GALAVANIZED ROOFING NAILS
1 LB	1 1/2" HOIST HANGER NAILS
1 LB	1/4, 2 1/2, 3, AND 3 1/2 DECK WOOD SCREWS
1 TUBE	SILICONE CAULK

Note: Bill of Material does not include foundation materials or ramp materials, or other optional features.  
Bill of material is primarily for framing and basic materials. You must decide from foundation options, and other options, and calculate concrete and materials required

Bills of Materials are estimates and can be affected greatly by construction technique. Recommendation is to purchase no more than half of the estimated material up front, and then purchase the remaining material after construction is halfway complete. We are not responsible for bill of material errors or omissions. Bills of Material are for cost estimation only.

BILL OF MATERIAL

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To the best of our knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. ADVPLANS is not liable for errors before or after construction. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/ OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.

ELECTRICAL SYSTEM CODE: SEC.2701

MECHANICAL SYSTEM CODE: SEC.2801

PLUMBING SYSTEM CODE: SEC.2901

OTHER NOTES:

- Follow all industry standard safety precautions and procedures. Nothing in this plan shall override standard construction building techniques and safety methods.

—A word about nominal dimensions and actual dimensions: The dimensions shown in this plan are what are called nominal. The product shown here has been designed using the latest CAD software available. There is a difference between perfect, or nominal dimensions, and real world dimensions. The computer output shown here are perfectly calculated dimensions. When you cut a part, you may be off a tad, simply due to things such as human error, thickness of the blade, accuracy of your tape measure, etc. This does not mean that your part is bad. What this may mean though, is that other parts you make, may not fit together as intended, depending on how much you are off. That's ok. You may have to make adjustments to other dimensions of other mating parts as you proceed. The old adage, measure twice, cut once, applies here.

-You should have a basic understanding of accepted construction techniques and have basic construction knowledge. You should know basic wood joining techniques, and have a general understanding of a safe way to erect a structure. This plan was put together with a focus on the actual design. Minute details such as exact locations of brackets, screws nails, and the amounts required, are up to the builder to determine the appropriate amount.

-You should understand the proper order of assembly of how to build a complex structure. You must use your own intuition in making these construction decisions. You must agree to be fully responsible for the safety of the structure, during and after completion of construction, in order to use this plan.

-You should have an understanding of building codes in your area and what you must do to comply with them. While every effort has been made to provide a sound design, certain areas due to climate or seismic conditions or other reasons, may have stricter building requirements than other areas, therefore, we make no claims that this design is in compliance with every building code out there, and you may need to make certain adjustments and provide such documentation to your local building code department. This is your responsibility. We do not offer any post sales support or any requested design modifications to meet any building code in any region. This design is not certified by a professional engineer. If professional certification is required for your region, it is your responsibility to submit the design for certification and incur all costs.

-If you are unsure about any construction technique that is called for, it is your responsibility to realize that fact and consult with a construction expert.

-By using this plan, you must agree to take on full responsibility for your safety during construction, and the safety of users after construction. You must agree to hold ADV Plans harmless for any injury during construction, or during product use after construction. It is your responsibility to ensure the safety of your finished product and that proper construction techniques were used. ADV Plans cannot be held responsible for injury resulting from innocent omissions in plans. We accept zero liability from any result of anyone using these plans.

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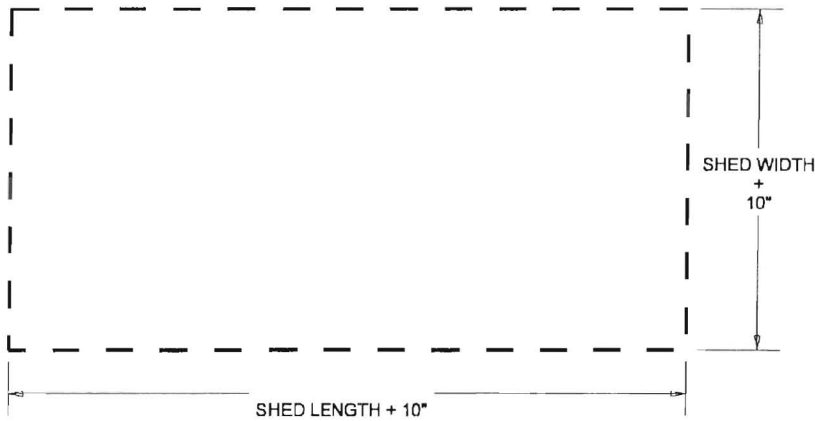


## PLAN INSTRUCTIONS

—EXCAVATE THE BUILDING SIDE AND ADD A 4" LAYER OF COMPACTIBLE GRAVEL.

—PICK DESIRED FOUNDATION. YOUR CHOICE OF FOUNDATION DEPENDS ON YOUR LOCAL BUILDING CODES AND YOUR INTENDED USE OF THE SHED. IF YOUR USE AND CODES ALLOW, YOUR SHED MAY ALSO BE BUILT ON 4X4 LUMBER SKIDS PLACED ALONG THE LONGEST LENGTH OF THE SHED ACROSS THE FLOOR JOISTS. IF THIS IS YOUR INTENTION, IGNORE FOUNDATION DETAILS ON THE FOUNDATION DETAILS PAGES. IN THIS CASE, PLACE 4X4 SKIDS ON TO GRAVEL DIRECTLY OR ON TO CONCRETE BLOCKS. ENSURE SKIDS ARE LEVEL AND THE GROUND IS SUITABLE TO SUPPORT THE WEIGHT OF THE SHED. BUILD YOUR FLOOR FRAMING DIRECTLY ON TO THE 4X4 SKIDS AND TOENAIL INTO PLACE. USE A MINIMUM OF THREE 4X4'S FOR SHEDS UP TO 12' WIDE AND 4 OR MORE FOR SHEDS OVER 12 FEET WIDE. CONSULT WITH YOUR LOCAL BUILDING CODES DEPARTMENT FOR CLARIFICATION IF NEEDED.

—IF BUILDING ON A FOUNDATION, POUR FOUNDATION LARGER THAN THE SHED SIZE DESIRED BY FOLLOWING THE BELOW DIAGRAM. SEE FOUNDATION DETAILS PAGES FOR DETAILS ON FOUNDATIONS.



## FLOOR FRAMING

1 AFTER FOUNDATION IS CHOSEN, SETUP AND PREPARE GROUND FOR CONCRETE IF USING CONCRETE FOUNDATION AND ALLOW IT TO SET. OR:

1A. EXCAVATE THE TOP SOIL AND GRASS FROM THE BUILDING SITE AND PLACE 4" OF GRAVEL ABOUT 10" LARGER THAN THE SHED DIMS. ADD EXTENSION TO GRAVEL BASE IF DESIRED FOR A RAMP. MAKE SURE GRAVEL IS FLAT AND LEVEL. TAKE THREE 4X4 PRESSURE TREATED LUMBER SKIDS AND CUT THEM TO SAME LENGTH AS SHED. ARRANGE 4X4'S EVENLY SPACED ACROSS WIDTH OF SHED, ENSURE LEVEL.

2. BUILD FLOOR JOIST FRAMING ACCORDING TO FLOOR FRAMING PLAN. CUT EXTERIOR JOISTS AND BUILD THE OUTSIDE FRAME FIRST AND THEN BUILD THE CROSS JOISTS. ASSEMBLE FLOOR JOISTS WITH 16d COMMON FRAMING NAILS. CHECK EACH JOIST FOR CROWING, AND INSTALL EACH JOIST WITH CROWNING EDGE UP.

3. SET FLOOR FRAME ACROSS SKIDS (OR FOUNDATION), AND ENSURE IT IS SQUARE BY MEASURING THE DIAGONALS. ATTACH METAL CLIP ANGLES AT EACH JOIST ALONG THE OUTER 4X4'S USING 1 1/2" JOIST HANGER NAILS AND 16d COMMON NAILS, AND TOENAIL EACH JOIST TO THE CENTER 4X4 WITH 16d NAILS. IF USING CONCRETE FOUNDATION, USE METAL CLIPS ATTACHED TO THE JOISTS AND A CONCRETE NAILING HAMMER TO ATTACH THEM TO THE CONCRETE FOUNDATION.

4. INSTALL PLYWOOD FLOOR ACCORDING TO PLAN. START WITH FULL SHEET IN THE CORNER AND MEASURE YOUR WAY AROUND THE SHED TO CUT ADDITIONAL PIECES. USE 8d NAILS DRIVEN EVERY 6" ALONG THE EDGES AND EVERY 12" IN THE MIDDLE.

5. SECURE THE JOISTS TO THE OUTER SKIDS WITH ANGLES. DRIVE HANGER NAILS INTO THE JOISTS AND 16d NAILS INTO THE SKIDS.

## WALL FRAMING

1 BUILD EACH WALL FRAME ACCORDING TO ENCLOSED PLANS. USE MINIMUM 2 1/2" FRAMING NAILS. ASSEMBLE, RAISE AND BRACE THE WALLS ONE AT A TIME, THEN ADD THE TOP PLATES ACROSS THE TOP OF THE FRAMES.

## ROOF FRAMING

1 CUT SAMPLE RAFTERS TO USE AS A PATTERN FROM THE DRAWINGS. TEST FIT THE RAFTERS WITH A 2X8 SPACER BLOCK TO ENSURE THEY ARE PROPERLY MADE, THEN USE THEM TO TRACE AND CUT THE REMAINING RAFTERS. THE ONES THAT OVERHANG THE ROOF DO NOT HAVE BIRDS MOUTH CUTS.

2. CUT THE RIDGE BOARD PER THE PRINT. MARK RAFTER LOCATIONS ON TOP OF WALLS USING SPACINGS SHOWN. INSTALL THE RAFTERS. REINFORCE THE RAFTERS-WALL CONNECTION WITH METAL ANCHORS ON ALL BUT THE OUTER RAFTERS.

4 CUT THE RAFTER TIES AND CLIP THE CORNERS SO THEY DON'T GO ABOVE THE RAFTERS. POSITION EACH TIE NEXT TO A PAIR OF RAFTERS AS SHOWN IN ELEVATION AND PLAN VIEWS. FACENAIL EACH TIE END TO THE RAFTER WITH AT LEAST THREE 10d NAILS, THEN TOENAIL EACH TIE END TO THE TOP WALL PLATE WITH TWO 8d NAILS.

## DETAIL DESCRIPTION

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5. CUT ADDITIONAL FRAMING IF NEEDED TO REACH FROM GABLE WALLS TO RIDGE. INSTALL THEM SO THAT THEY ARE FLUSH WITH THE WALL SURFACE.

6. CUT RAFTER SLATS TO GO FROM THE OUTER RAFTER ACROSS THE END RAFTER TO THE FIRST MIDDLE RAFTER. YOU WILL NEED TO NOTCH OUT THE END RAFTER FOR THE 2X4 SLAT TO GO ACROSS IT. NAIL IT TO THE OUTER RAFTER AND MIDDLE RAFTER.

INSTALL THE FASCIA, SHEATHING AND ROOFING.

1. CUT AND INSTALL THE SUBFASCIA ALONG THE EAVES. KEEP THE ENDS FLUSH WITH THE OUTSIDES OF THE OVERHANG RAFTERS AND THE BOTTOM EDGES FLUSH WITH THE BOTTOM RAFTER EDGES. USE 16d NAILS.

2. IF DESIRED, INSTALL A 1X8 DECORATIVE FASCIA OVER THE SUBFASCIA AND RAFTERS ALONG THE GABLE OVERHANG AND EAVES.

3. INSTALL THE 1/2" PLYWOOD SHEATHING, STARTING AT THE LOWER CORNERS OF THE ROOF. USE 8d BOX NAILS EVERY 6" ALONG THE EDGES AND EVERY 12" IN THE FIELD OF THE SHEETS.

4. ATTACH A METAL DROP EDGE ALONG THE EAVES, THEN APPLY 15# BUILDING PAPER OVER THE SHEATHING. ADD DRIP EDGE ALONG THE GABLE ENDS, OVER THE PAPER.

5. INSTALL THE ASPHALT SHINGLES, STARTING AT THE EAVE EDGE. IF DESIRED, INSTALL ROOF VENTS.

INSTALL THE SOFFITS AND SIDING AND DOORS

1. CUT 2X4 NAILERS TO FIT BETWEEN THE RAFTERS, AS SHOWN IN THE EAVE DETAIL. FASTEN BETWEEN THE RAFTERS WITH 10d FACENAILS OR 8d TOENAILS.

2. CUT DECORATIVE SIDING TO FIT BETWEEN THE WALL FRAMING AND THE FASCIA. FASTEN THE SOFFITS TO THE RAFTERS WITH 3d GALV. BOX NAILS.

3. CUT HOLES IN SOFFIT PANELING FOR FOUR SOFFIT VENTS, ONE IN EACH CORNER OF THE SHED.

4. INSTALL THE DECORATIVE SIDING, USING 8d GALV FINISHING NAILS. BUTT THE TOP EDGES ALONG THE SOFFITS. AT THE GABLE ENDS, INSTALL Z FLASHING ALONG THE TOP EDGE OF THE SIDING, THEN CONTINUE THE SIDING UP TO THE SOFFITS. INSTALL Z FLASHING BELOW THE SIDING AS WELL, AND SIDING TO THE BOTTOM OF THE SHED NEEDED.

5. BUILD AND INSTALL HOMEMADE DOOR(S). INSTALL WINDOWS PER MANUFACTURER RECOMMENDATIONS. INSTALL RAMP IF DESIRED. INSTALL 1X4 TRIM ALONGSIDE ALL CORNER EDGES OF THE SHED AND ALONG ALL SEAMS AS DESIRED.

6. WATER TEST THE SHED WITH A GARDEN HOSE TO IDENTIFY AND FIX ANY LEAKS IN SIDING OR ROOFING.

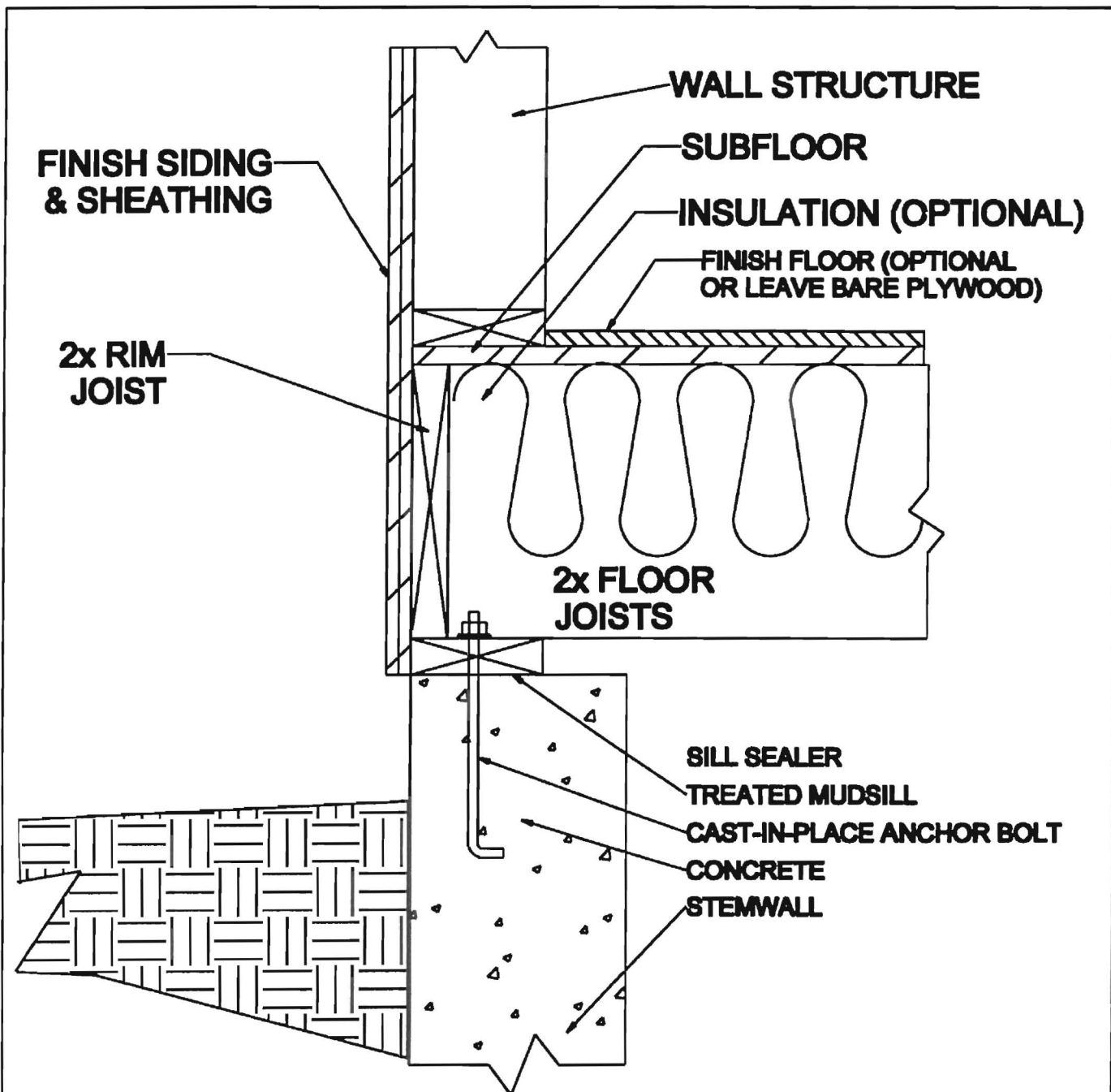
7. PAINT AS DESIRED.

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# Floor on foundation wall details (OPTION)

(NOT TO SCALE)

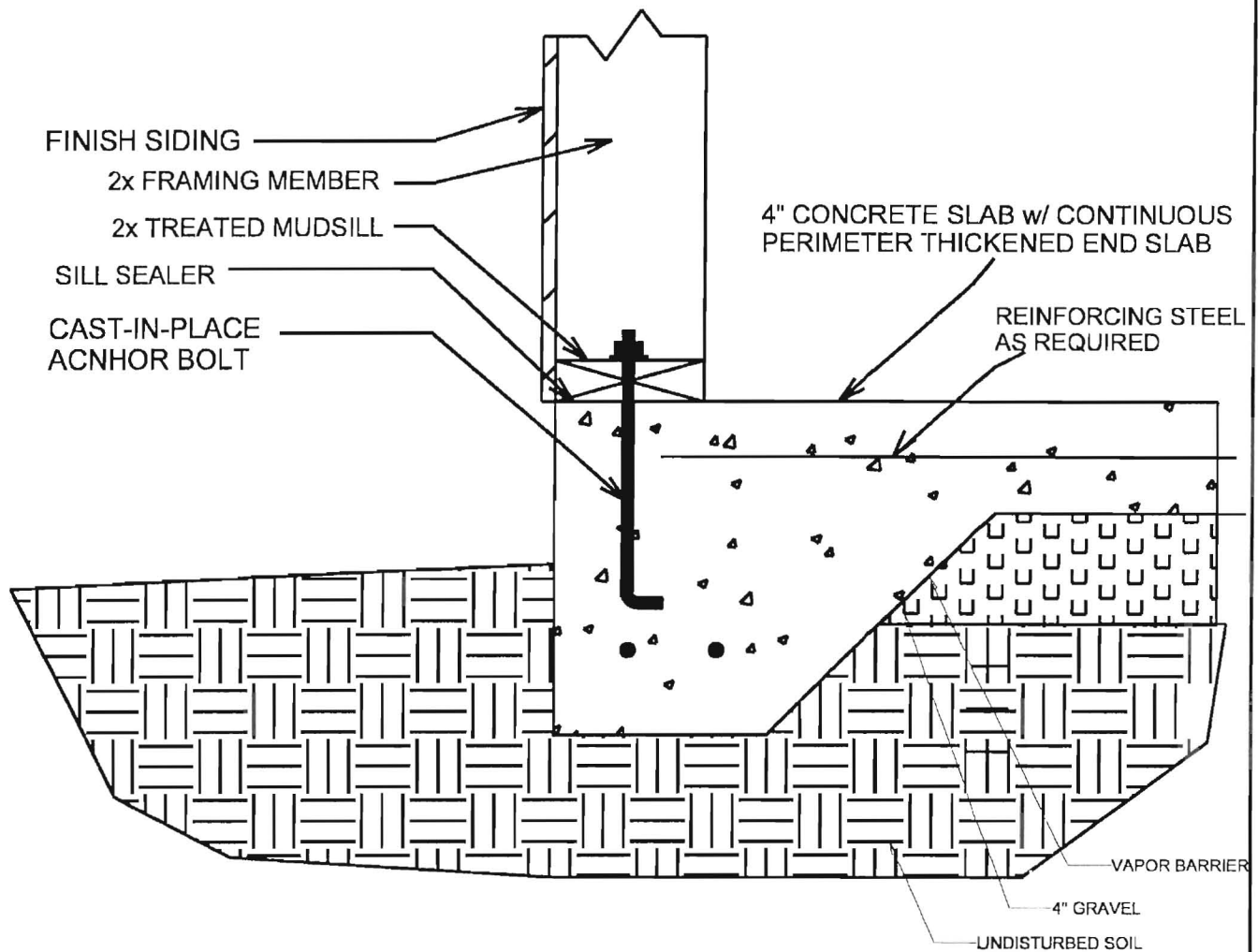
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WALL FOUNDATION OPTIONS

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# Thickened End Slab Foundation (OPTION)

(NOT TO SCALE)

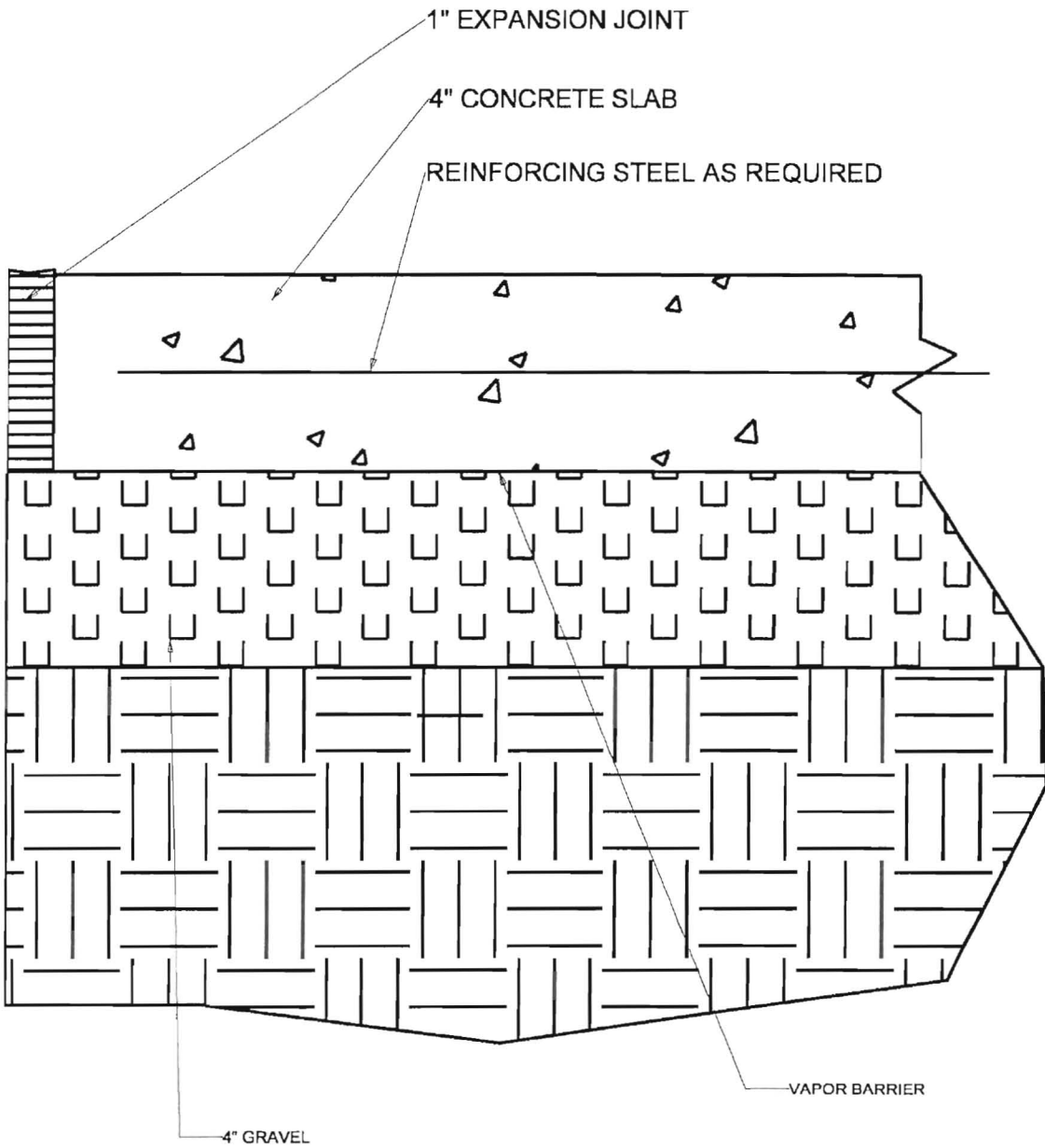
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SLAB FOUNDATION OPTION

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# SOLID SLAB FOUNDATION OPTION

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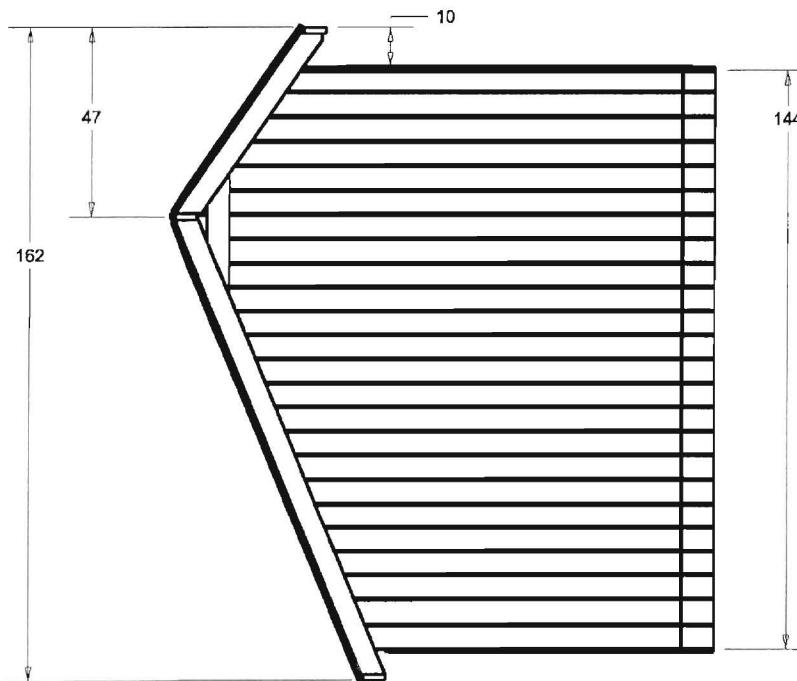
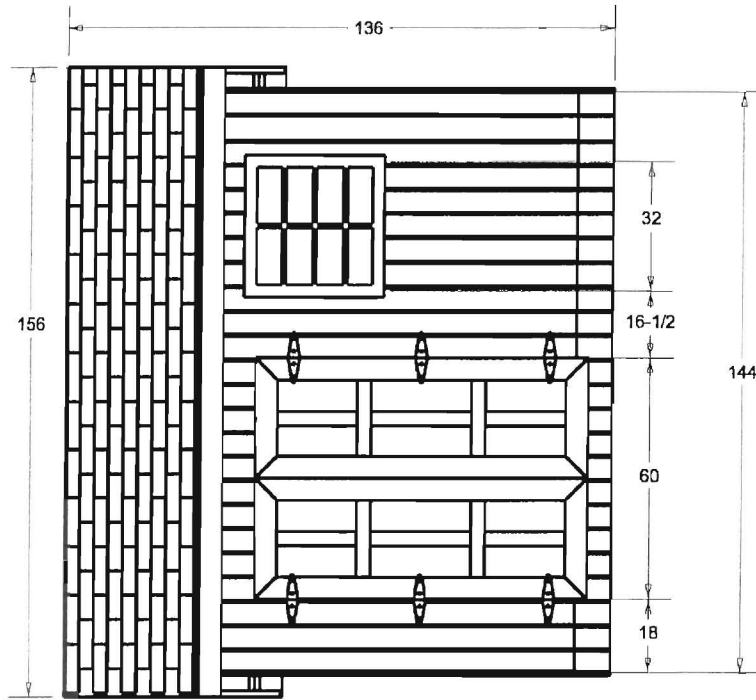
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SOLID SLAB  
FOUNDATION OPTION

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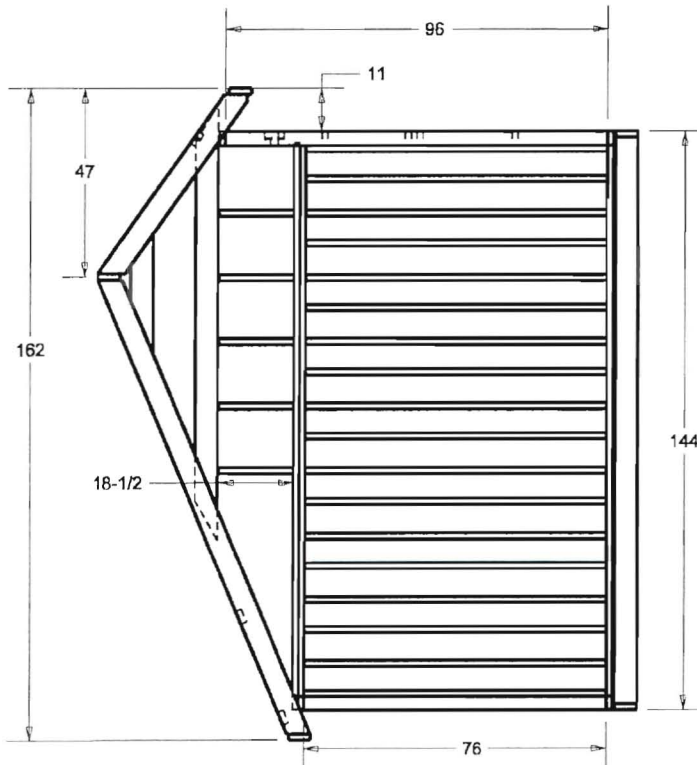
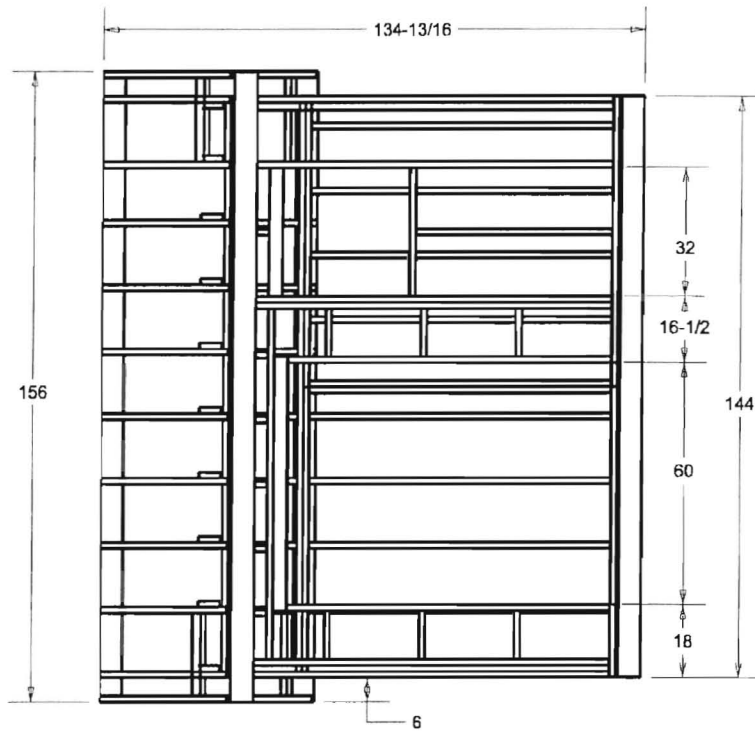
NOTE: Shown with floor joists and floor. If building on a solid concrete foundation, delete 6 1/4" from height to remove 2x8 floor joists and 3/4" plywood floor. Dimensions on this page are approximate for estimation purposes only.

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EXTERIOR  
 ELEVATION

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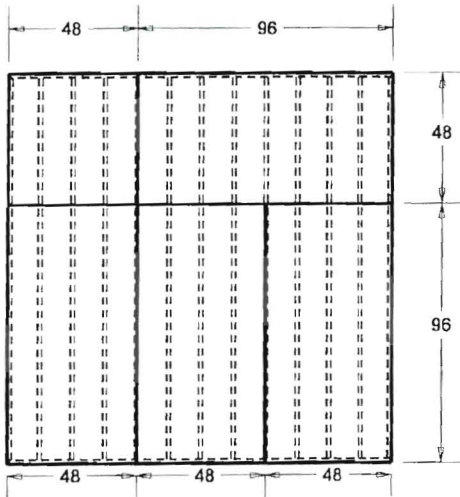


FRAMING  
ELEVATIONS

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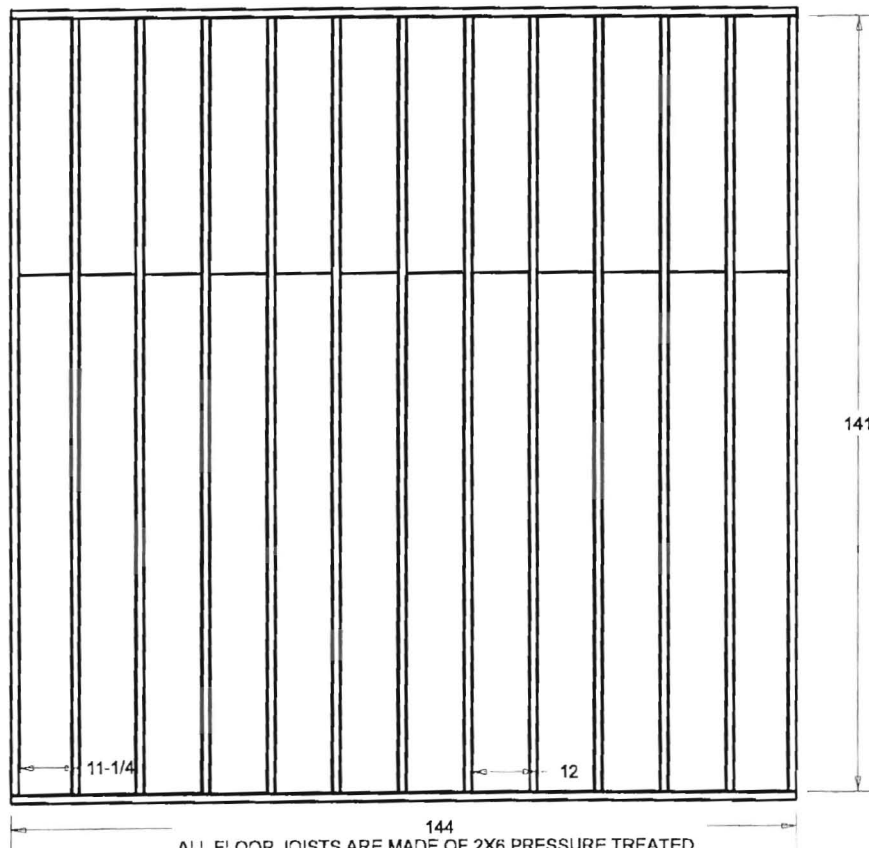
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FLOORING PANELS CUT LIST

USE FOUR UNCUT 4X8 SHEETS OF 3/4" PLYWOOD FOR FLOORING

CUT ONE PIECE INTO 48" X 48"



ALL FLOOR JOISTS ARE MADE OF 2X6 PRESSURE TREATED LUMBER PLACED ON 12 O.C. PLACE THE FIRST JOIST AT 11.25 SO THAT THE REST OF THE PLYWOOD SEAMS ARE OVER THE JOISTS.

NOTE: IF BUILDING ON SOLID CONCRETE FOUNDATION, YOU MAY USE SOLID CONCRETE AS THE FLOOR AND SKIP FLOOR JOIST CONSTRUCTION AS AN OPTION. IN THAT CASE, MARK OUTSIDE WALLS ON CONCRETE AND PLACE WALL FRAMING ON TO CONCRETE. SECURE WALLS TO CONCRETE WITH CONCRETE FRAMING HAMMER.

FLOOR JOIST PLAN

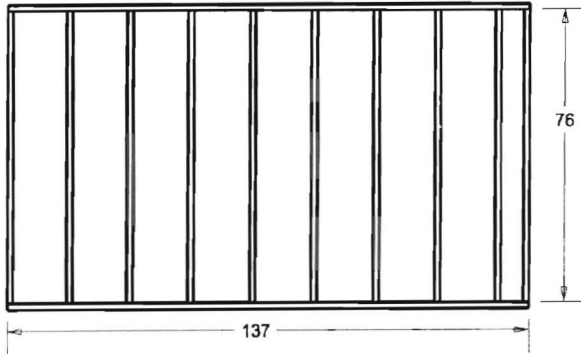
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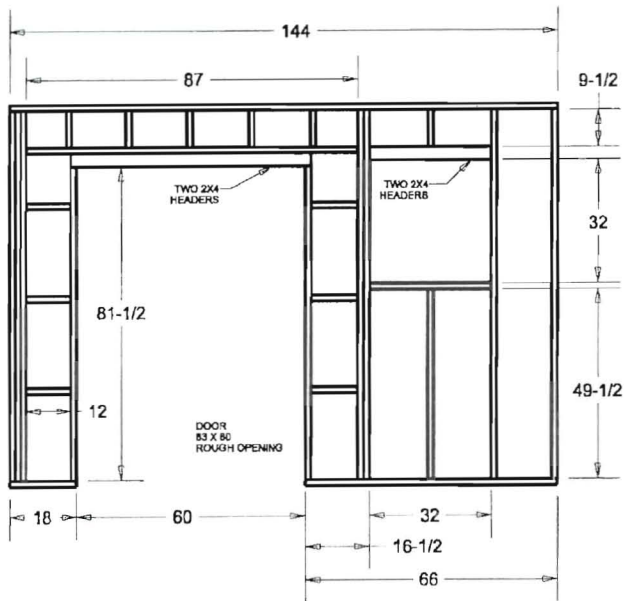
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SIDE WALL  
BUILD TWO



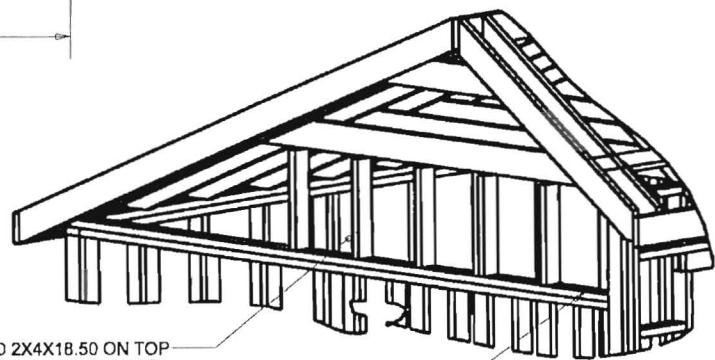
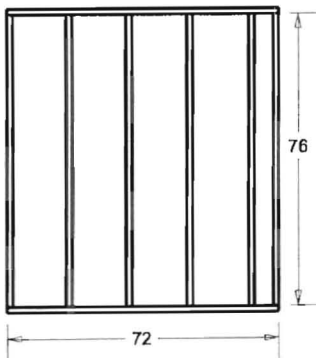
FRONT WALL



1. ASSEMBLE ALL 4 WALLS ONTO FLOOR JOIST FRAMING.
  2. ADD ADDITIONAL SET OF 2X4'S ACROSS TOP OF WALL OVERLAPPING THE WALL FRAMING SEAMS.
  3. ALL WALL FRAMING MEMBERS USE 2X4 LUMBER.
- USE ASSISTANCE IN ASSEMBLING 1 WALL AT A TIME.

REAR WALL

BUILD 2  
AND COMBINE  
TO FORM ONE  
REAR WALL



ADD 2X4X18.50 ON TOP OF SIDE WALLS TO SUPPORT RAFTERS

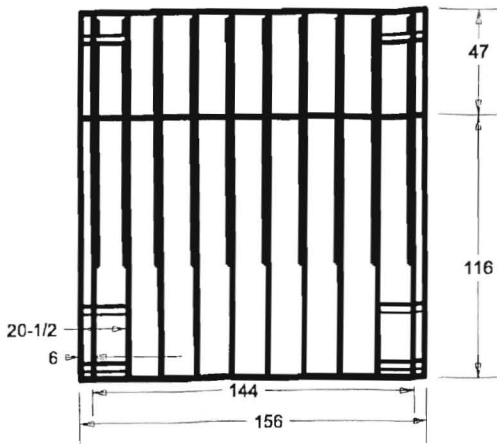
ADD 2X4X141 ON TOP OF SIDE WALLS  
ADD 2X4X137 ON TOP OF REAR WALL

## WALL FRAMING

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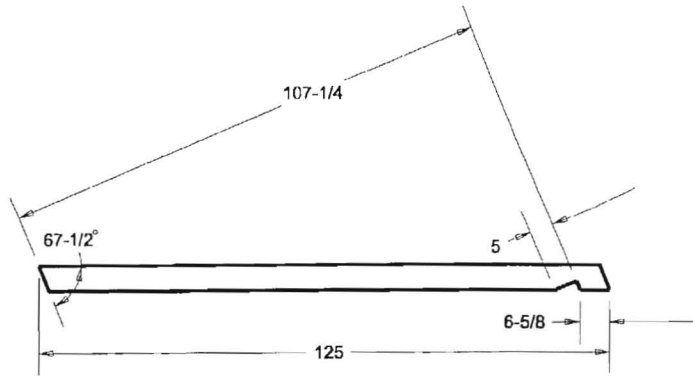
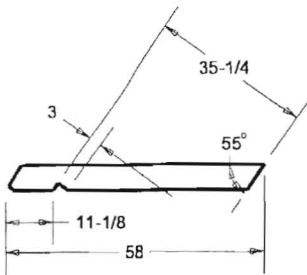


ASSEMBLE 2ND TO LAST SET OF RAFTERS ON EACH SIDE ON TO RIDGE BOARD AND PLACE ON SHED AND TOENAIL INTO PLACE.

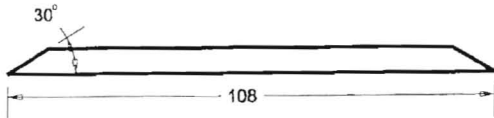
ASSEMBLE REMAINING RAFTERS ON TO SHED OVER WALL STUDS.

ASSEMBLE ROOF JOISTS.

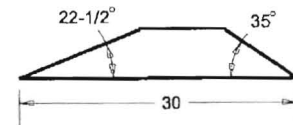
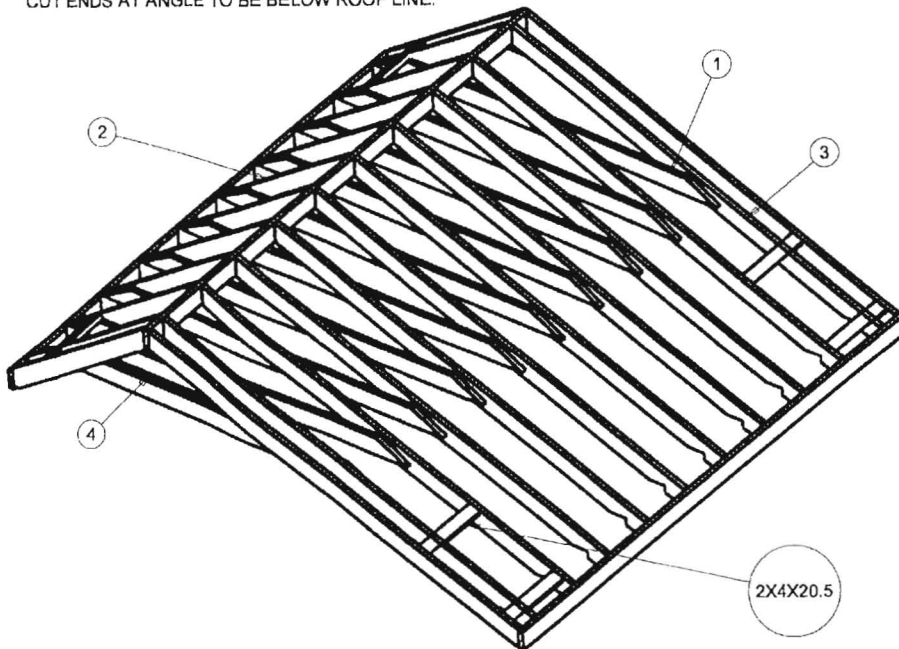
ASSEMBLE 2X4 ROOF SLATS SPANNING FROM OVER HAND RAFTER, OVER 1ST BIRDSMOUTH CUT RAFTER AND TO 1ST INTERMEDIATE RAFTER. YOU WILL HAVE TO NOTCH OUT FIRST AND LAST BIRDSMOUTH RAFTERS IN PLACE.



2 AND 3. 2X6 RAFTER  
MAKE 1 SAMPLE AND USE AS TEMPLATE  
FIRST AND LAST SET OF RAFTERS DO NOT HAVE BIRDSMOUTH CUTS



1 2X6 RAFTER TIES  
CUT ENDS AT ANGLE TO BE BELOW ROOF LINE.



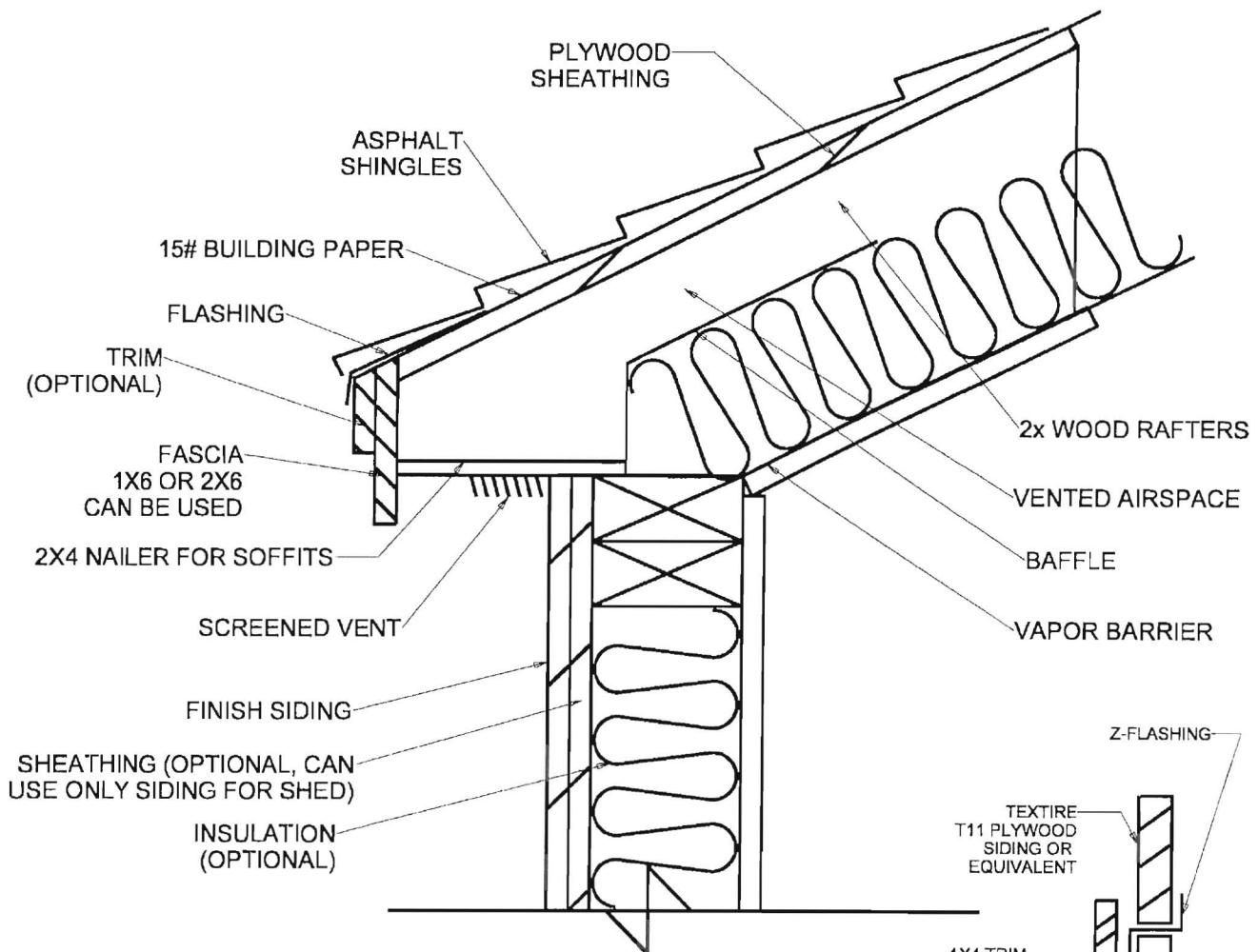
3. GABLE SUPPORT  
(ONE EACH SIDE)

ROOF  
PLAN

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# ABBREVIATED EAVES

SIDING TRIM DETAIL  
(REQUIRED AT  
EACH SIDING SPLIT)

**(NOT TO SCALE)  
GENERIC VIEW SHOWING DETAILS OF CONSTRUCTION**

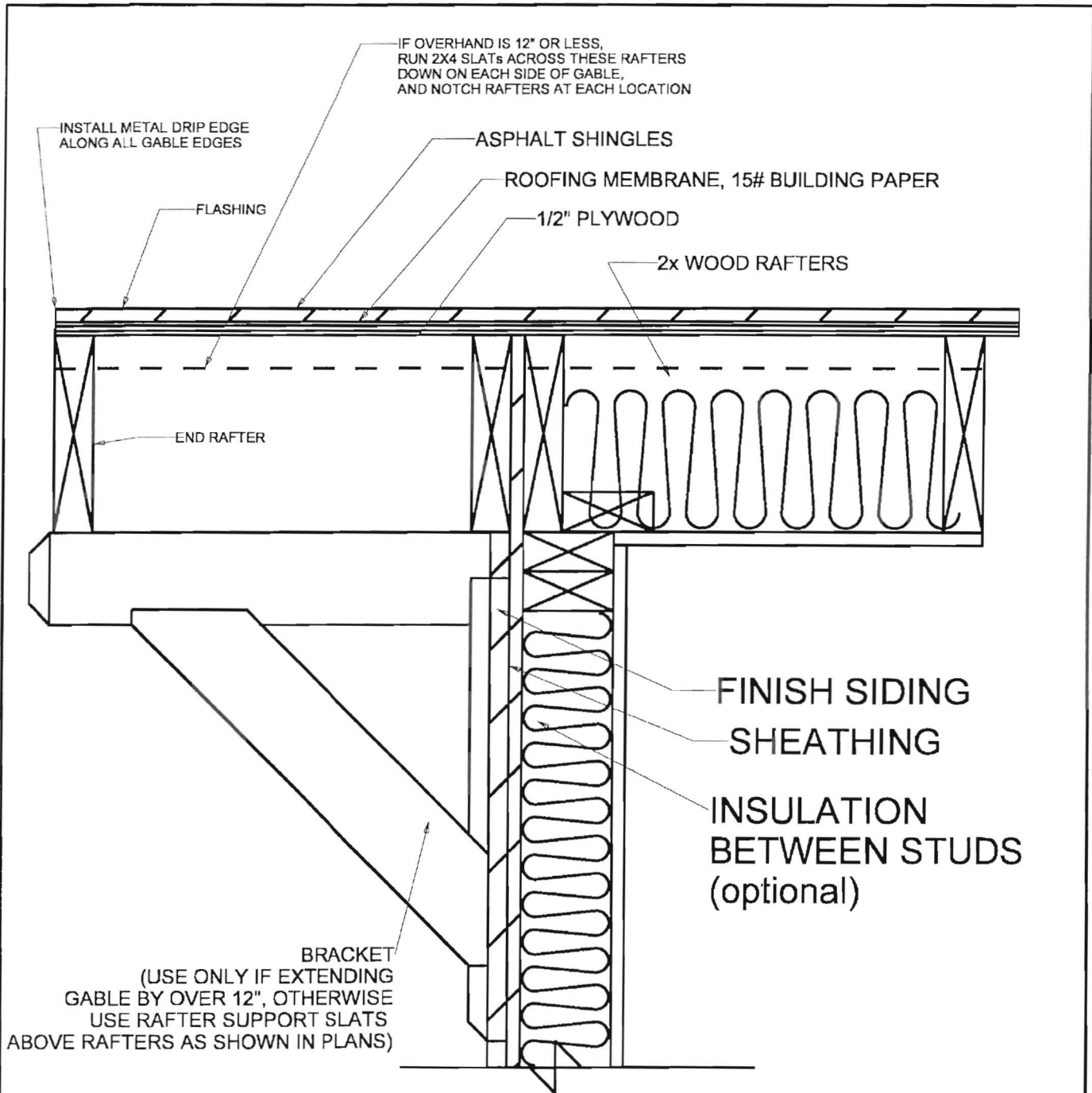
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**ROOF EAVE  
DETAILS**

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# Gable Overhang: Supported By Brackets

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**RAKE OVERHANG  
DETAILS**

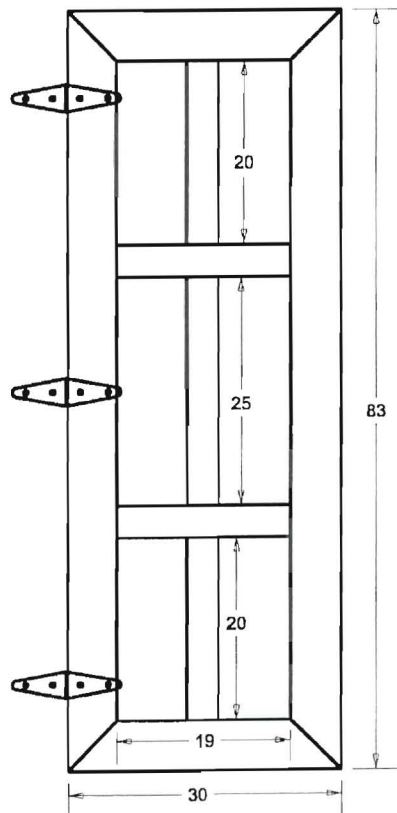
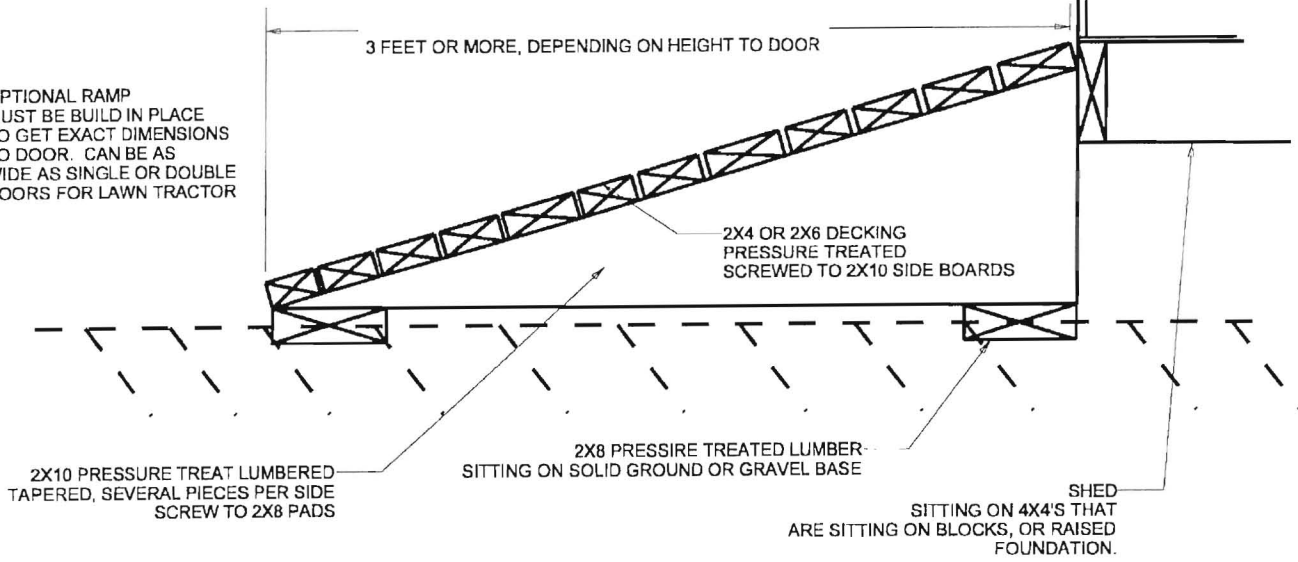
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# RAMP DETAIL

OPTIONAL RAMP  
MUST BE BUILT IN PLACE  
TO GET EXACT DIMENSIONS  
TO DOOR. CAN BE AS  
WIDE AS SINGLE OR DOUBLE  
DOORS FOR LAWN TRACTOR



ASSEMBLE DOORS AFTER ALL SIDING IS INSTALLED.  
BUILD DOOR FRAME FROM 2X6 LUMBER FOR THE OUTSIDE,  
AND 2X4 FOR THE CENTER CROSS PIECES.  
BUILD DOOR BACKING FROM SIDING  
NAILED TO 3X4" PLYWOOD, OR  
REGULAR 3X4 PLYWOOD.  
USE HEAVY DUTY HINGES TO ASSEMBLE  
DOOR TO SHED.  
CUT INTERMEDIATE FRAMES TO FIT.

MISC

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# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

June 13 20 11

Received from Rodger Gilley

Location of Work 59 Bramblewood Dr.

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: \_\_\_\_\_

Building (IL)  Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 277 E 013

Check #: 1766

Total Collected \$ 40.00

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: Jaygo

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

7811

6" to all settings

OK to build *WRP*