

11/26/03 else in checked electric, Framing & Plumbing  
OK to close in JH

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND  
BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 031172  
SEP 24 2003

Please Read Application And Notes, if Any, Attached

This is to certify that Crean Kristen L/Landmark Builders  
has permission to Add 2nd floor over existing addition to room  
AT 10 Braeburn Rd Amendment 7-1-0 376 C003001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is used or otherwise used-in-accordance with the PERMIT REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS  
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

*Janine Bank* 9/24/03  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1172	Issue Date: SEP 2 2003	CBL: 376 C003001
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Location of Construction: 10 Braeburn Rd	Owner Name: Crean Kristen L	Owner Address: 10 Braeburn Rd	Phone:
Business Name:	Contractor Name: Landmark Builders	Contractor Address: 1905 Congress Street Portland	Phone: 2077731805
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone:

Past Use: Single Family	Proposed Use: Single Family w/amendment above addition	Permit Fee: \$93.00	Cost of Work: \$8,000.00	CEO District: 2
Proposed Project Description: Add 2nd floor over existing addition to expand bedroom <i>Amendment to # 03-1120</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>BOCA 1999</i> Signature: <i>JMB 9/24/03</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: jmb	Date Applied For: 09/24/2003	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 9/24/03</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1172	Date Applied For: 09/24/2003	CBL: 376 C003001
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Business Name:	Contractor Name: Landmark Builders	Contractor Address: 1905 Congress Street Portland	Phone (207) 773-1805
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Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family
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Proposed Use: Single Family w/amendment above addition	Proposed Project Description: Add 2nd floor over existing addition to expand bedroom
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Jeanine Bourke      **Approval Date:** 09/24/2003

**Note:** **Ok to Issue:**

**Dept:** Building      **Status:** Approved      **Reviewer:** Jeanine Bourke      **Approval Date:** 09/24/2003

**Note:** **Ok to Issue:**

- 1) See letter submitted from L & L Structural for code requirements to existing floor structure & headers
- 2) Separate permits are required for any electrical or plumbing work.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

# MICRO=LAM® L.V.L. ALLOWABLE LOAD (FLOOR)

TABLE 6 – ALLOWABLE LOAD LBS./LIN. FOOT (PLF)  $45'' \times 1.33 = 59.85 \text{ LBS./LIN. FT.}$

6	305	458	600	865	1353	1419		1984		2539		3192	3990
7	197	295	431	635	903	1043		1570		1995		2455	2983
8	134	201	286	444	629	798	1144	1202		1625		1995	2394
9	95	142	211	317	454	631	837	949		1284		1640	1995
10	70	104	156	234	338	507	629	789	981	1040		1329	1649
11	53	79	118	177	258	387	484	636	760	880	1085	1088	1383
12	41	61	92	138	201	301	379	534	599	722	861	923	1145
13			73	109	160	239	302	454	480	615	694	788	976
14			58	88	129	193	245	387	390	531	586	678	841
15			48	71	105	158	201	301	321	462	468	590	647
16			39	59	87	131	187	250	268	401	390	519	542
17					73	109	140	210	225	338	329	460	458
18					62	93	119	178	191	286	280	410	390
19					53	79	101	152	163	245	240	360	336
20					45	68	87	131	141	211	207	311	290
21					39	59	76	113	122	183	180	270	252
22									107	160	157	236	221
23									94	141	138	207	194
24									83	124	122	183	172
25										109	163	153	229
26										97	145	136	205

1. To size a beam for use in a floor it is necessary to check both live load and total load. Make sure the selected beam will work in both columns.
2. Live load column is based on deflection of L/360. Check local code for other deflection criteria.
3. Total load column limits deflection to L/240.
4. For deflection limits of L/240 and L/480 multiply loads shown in L/360 column by 1.5 and 0.75 respectively.

- NOTES**
- This table is based on uniform loads and simple spans.
  - Table is for one beam. When properly fastened together, double the values for two beams, triple for three, etc. When top loaded, fasten together with a minimum of two rows of 16d nails at 12" o.c. Use three rows of 16d nails at 12" o.c. for 14", 16" and 18" beams. For side loaded beams, see Table 7.
  - MICRO=LAM® L.V.L. beams are made without camber and will deflect under load.
  - Assumes continuous lateral support of the top edge of beam.
  - Lateral support required at bearing points.
  - Bearing area to be calculated for specific application. See page 16.
  - 16" and 18" deep beams are to be used in multiple member units only.

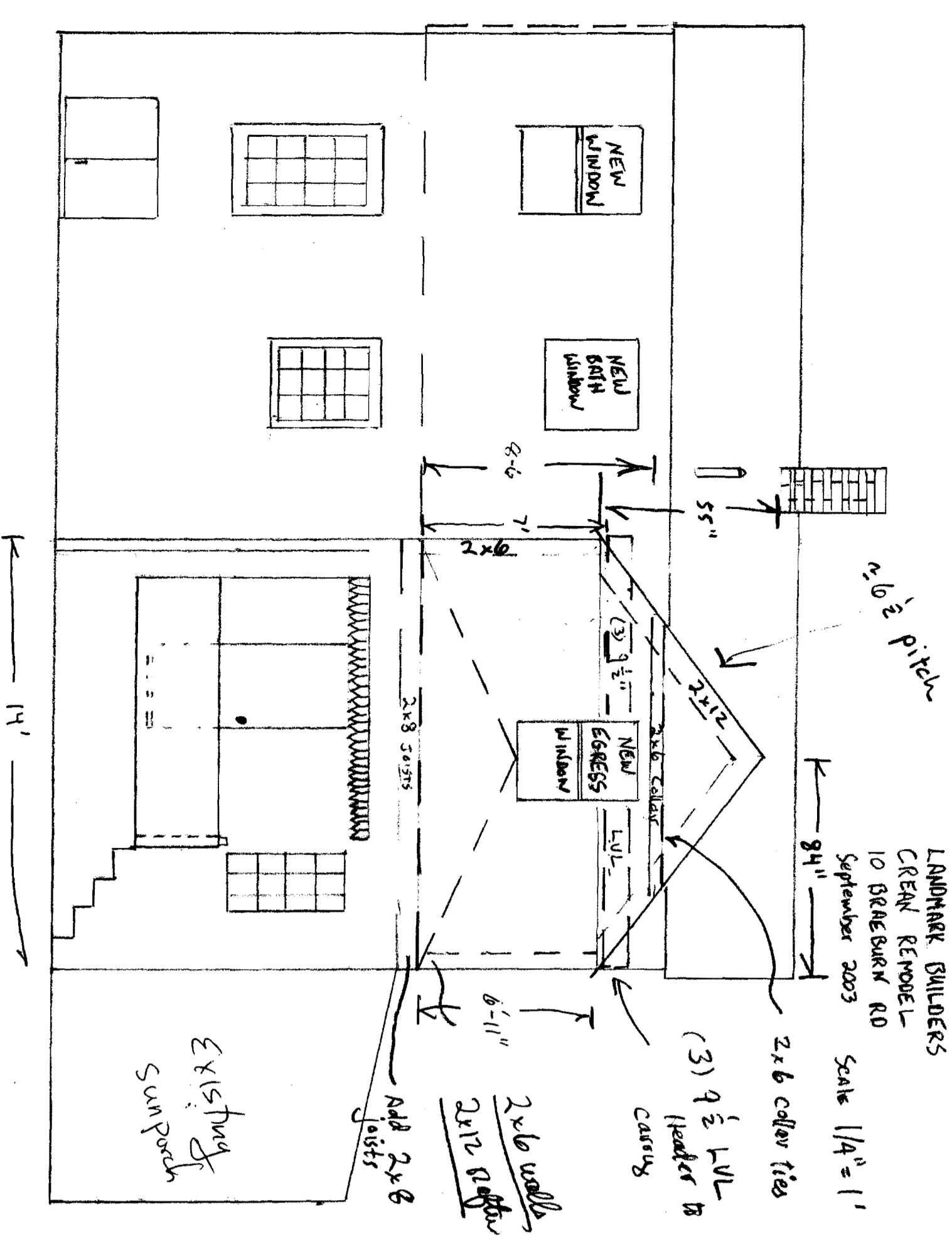
3-@ 1 3/4 x 9 1/2  
for 14' span @ Roof load in Room

TABLE 7 – SIDE LOADED MICRO=LAM® L.V.L. CONNECTION FOR MULTIPLE MEMBER UNITS

2	420	630	580	1180	2320
3	320	480	440	880	1760
4	<b>NOT RECOMMENDED</b>		<b>Should only be used when loads are applied to both sides of the members.</b>		
			390	780	1560

- NOTES**
- Verify adequacy of beam in Table 6 or Table 8.
  - Values listed are for 100% stress level. Increase 15% for snow loaded roof conditions; increase 25% for non-snow roof conditions.
  - Other connections are possible with specific design by the design professional.
- (1) For a three-piece member, the nailing specified is from each side for a total of 6 nails/foot (3 from each side).  
 (2) Bolt holes are to be the same diameter as the bolt and located 2" from the top and bottom of the member.

LANDMARK BUILDERS  
CREAM REMODEL  
10 GRAEBURN RD  
September 2003  
Scale 1/4" = 1'



2/12 pitch

8'-4"

2x6 collar ties

(3) 2x6 LVL  
header in  
ceiling

NEW  
WINDOW

NEW  
EGRESS  
WINDOW

4'-6"

7'-0"

2'-6"

2'-8"

2x8 joists

2x6 walls

2x12 rafters

Add 2x6  
joists

6'-11"

EXISTING  
SUN PORCH

14'

**L & L STRUCTURAL**  
ENGINEERING SERVICES, INC.  
Six Q Street  
South Portland, ME 04106  
Phone: (207) 767-4830  
Fax: (207) 799-5432

September 23, 2003

Mr. William Linnell  
**Landmark Builders**  
1905 Congress Street  
Portland, Maine 04102

Subject: Structural Review Proposed Second Floor Framing at  
10 Braeburn Road, Portland, Maine

Dear Mr. Linnell,

As per your request we have reviewed and analyzed the existing ceiling framing above the kitchen to be utilized as floor framing for the building located at 10 Braeburn Road, Portland, Maine. Our analysis and review of the structure was performed utilizing the 1999 BOCA National Building Code and the 2000 International Building Code (IBC) adopted by the City of Portland. The analysis considered the Building Code Requirements for Wood Construction (NDS-latest edition) published by the National Forest Products Association.

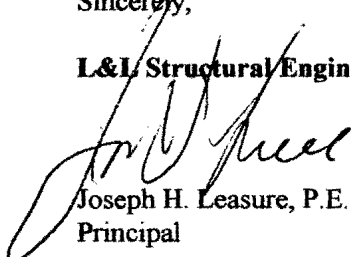
The existing ceiling joists that are proposed to be utilized as second floor joists are 2x8 (1 5/8" x 7 1/2") @ 18" on center spanning approximately 14'-0" between the existing exterior walls. The existing joists are incapable of supporting the code stipulated live loading of 40 PSF in addition to the dead load (weight of building materials). The existing joists shall be reinforced with additional 2x8@18" on center (i.e. double 2x8 at 18" on center total) to support the required loading. The contractor shall also provide a continuous 2x8 rim-board or solid 2x8 blocking at the ends of the joists (above the exterior walls). Furthermore a row of solid 2x8 blocking shall be installed at the center of the 14-foot joist span staggered and fastened to each joist with (2) 16d end nails typically.

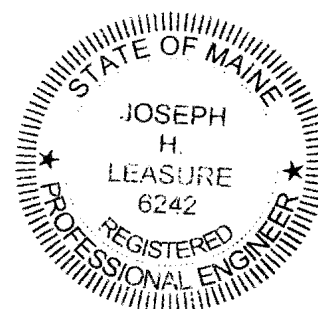
In addition, we understand that there are some window openings on the second floor that require headers above to support the anticipated roof loads. A (3) 2x8 header with a 2x6 jack stud plus a 2x6 king stud at both ends shall be utilized for any rough openings up to 3'-6".

If you have any further questions or require any additional information and/or technical assistance, please do not hesitate to call.

Sincerely,

**L&L Structural Engineering Services, Inc.**

  
Joseph H. Leasure, P.E.  
Principal



**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1120	Issue Date: SEP 16 2003	CBL: 376 C003001
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Location of Construction: 10 Braeburn Rd	Owner Name: Crean Kristen L.	Owner Address: 10 Braeburn Rd CITY OF PORTLAND	Phone: 2077731805
Business Name:	Contractor Name: Landmark Builders	Contractor Address: 1905 Congress Street Portland	Phone: 2077731805
Lessee/Buyer's Name:	Phone:	Permit Type: Alterations - Dwellings	Zone: R-3

Past Use: single family	Proposed Use: single family -change roof line from cape to saltbox	Permit Fee: \$165.00	Cost of Work: \$16,000.00	CEO District: 2
Proposed Project Description: change roof line from cape to saltbox		FIRE DEPT: Approved Denied	INSPECTION: Use Group: R-3 Type: SB BOCA 99	
		Signature:	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: tmm	Date Applied For: 09/16/2003	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 9/16/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 9/16/03	

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	376 C003001
<b>Location</b>	10 BRAEBURN RD
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	CREAN KRISTEN L 10 BRAEBURN RD PORTLAND ME 04103
<b>Book/Page</b>	14244/252
<b>Legal</b>	376-C-3 BRAEBURN RD 6-12 BROOK RD 8075 SF



**Valuation Information**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$32,870	\$56,800	\$89,670

**Property Information**

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
1941	Cape	1	1076	0.185	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>
4	1		7	Part Finsh	Full

**Outbuildings**

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
GARAGE-WD/CB	1	1941	12X20	D	A

**Sales Information**

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
10/26/1998	LAND + BLDING	\$118,000	14244-252
06/07/1991	LAND + BLDING	\$93,000	07565-123

**Picture and Sketch**

[Picture](#)      [Sketch](#)

[Click here](#) to view Tax Roll Information.

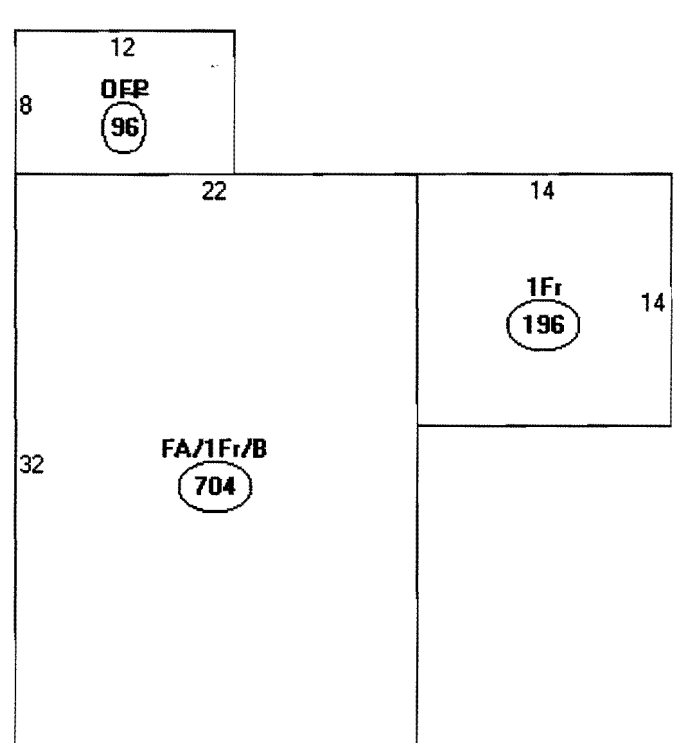
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.





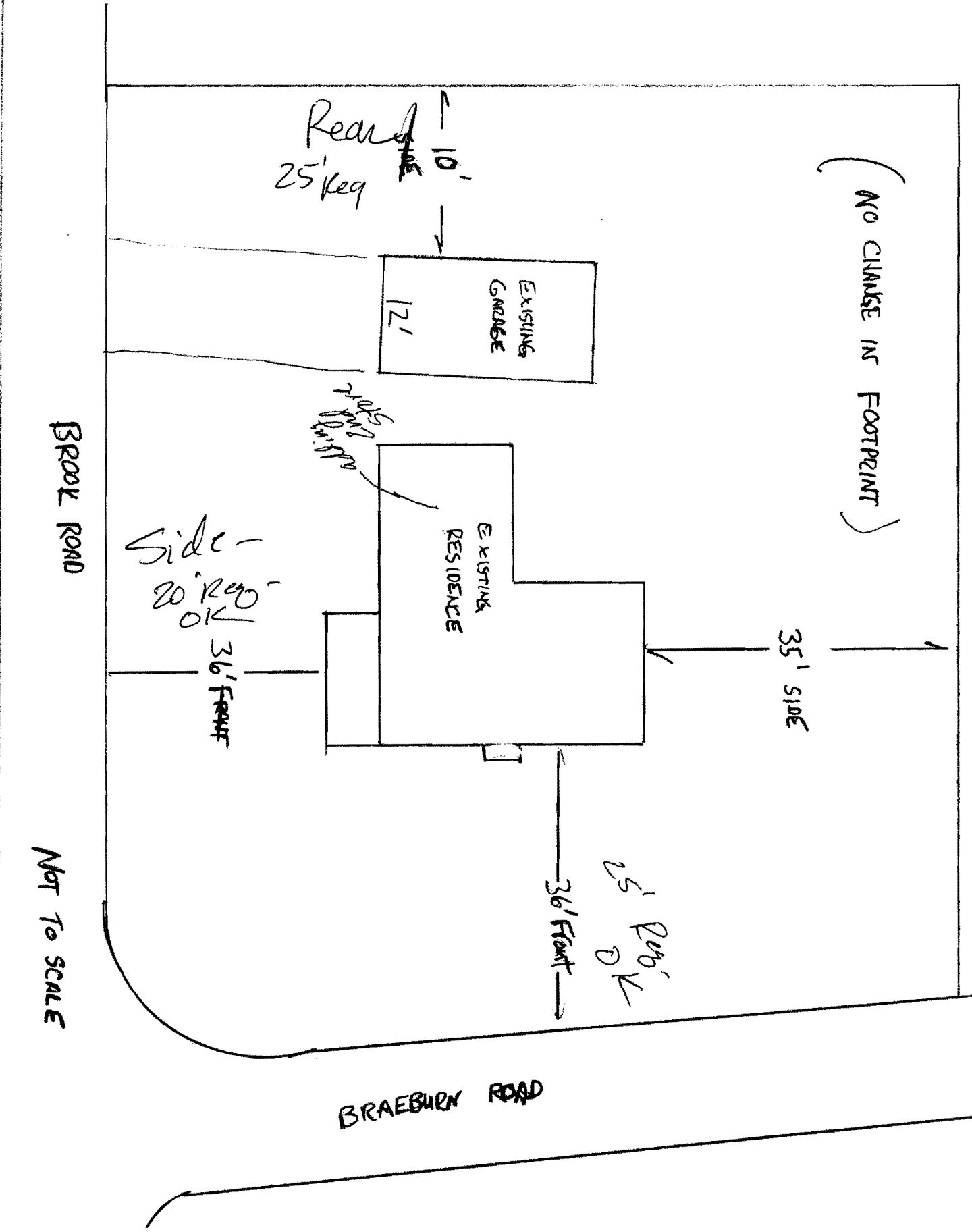
<http://www.portlandassessor.com/images/pictures/02206901.jpg>

9/16/03

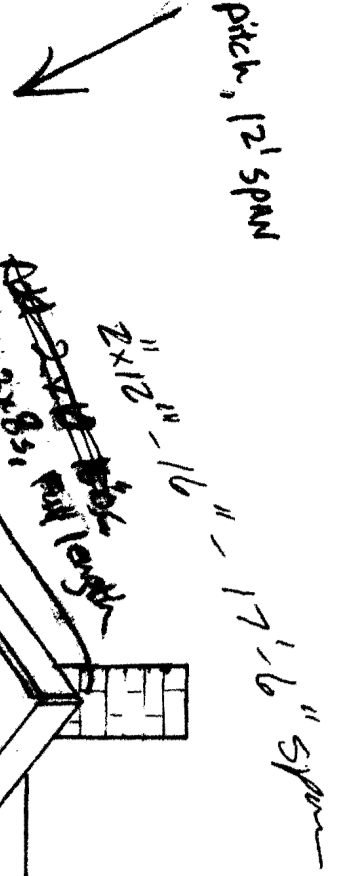


Descriptor/Area  
A: FA/1Fr/B  
704 sqft  
B: OFF  
96 sqft  
C: 1Fr  
196 sqft

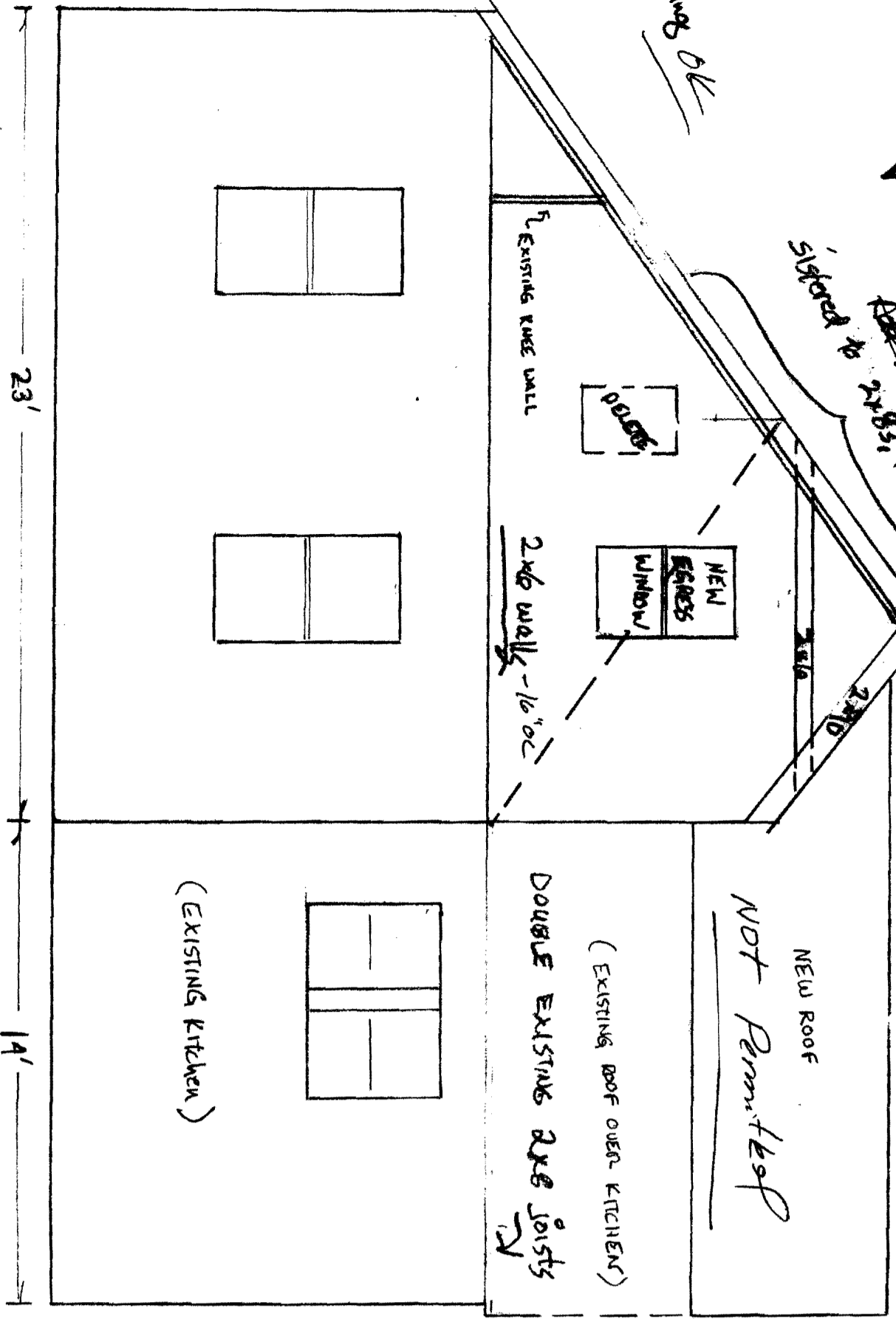
LANDMARK BUILDERS  
CREAN REMODEL - SET BACKS  
September 2003



8/12 pitch, 12' span



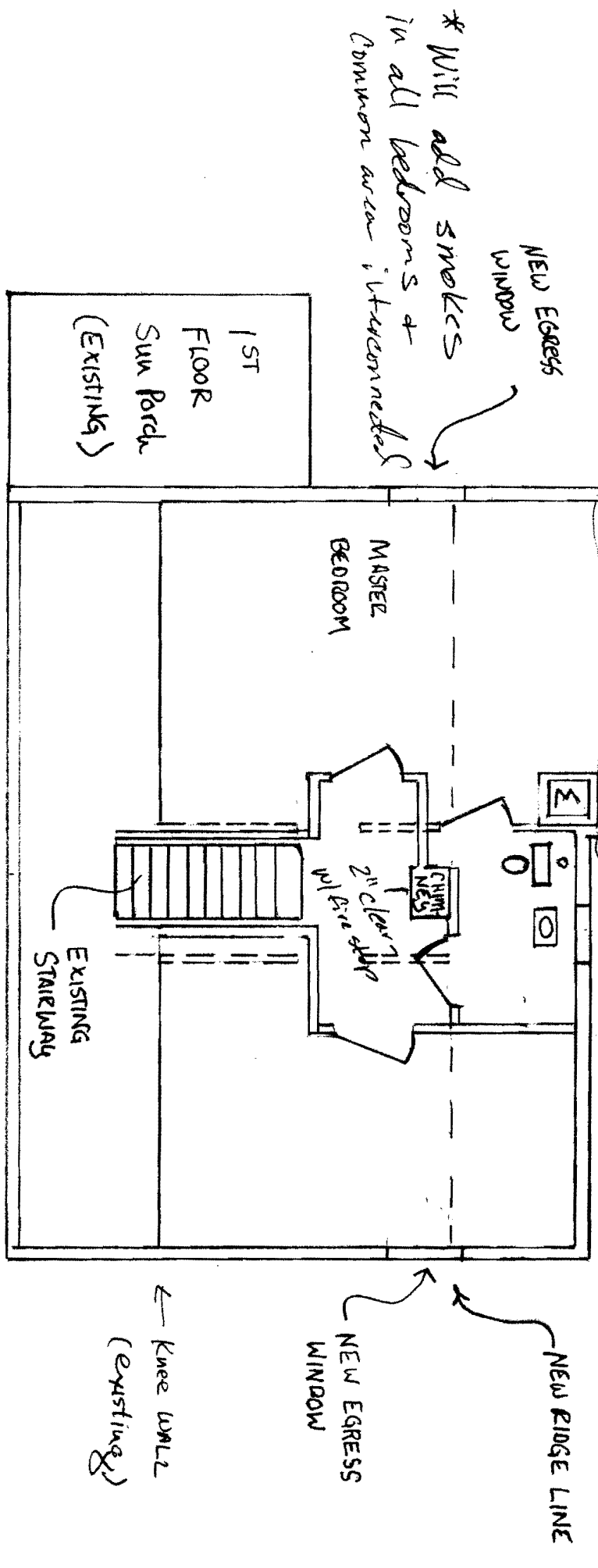
LANDMARK BUILDERS  
 CREAN REMODEL CARE → SAGEBY  
 10 GRAEBURD RD  
 September 2003 Scale 1/4" = 1'



5.5'  
 6'

*John*

LANDMARK BUILDERS  
CREAM REMODEL - 2ND FLOOR PLAN  
September 2003  
SCALE = 1"



\* Will add smoke detectors in all bedrooms + common areas - interconnect

NEW EGRESS WINDOW

NEW EGRESS WINDOW

WASHER + DRYER + LOCK-UPS

NEW 1/2 BATH

3-2x10 Headers

NEW RISE LINE

NEW EGRESS WINDOW

← Knee WALL (EXISTING)

EXISTING STAIRWAY

1ST FLOOR Sun Porch (EXISTING)

MAJESTIC BEDROOM

2nd floor w/ Brd

CLIMB



Department of Building Inspections

Sept 24 2003

Received from Landmark Builders

Location of Work 10 Braeburn

Cost of Construction \$ 8,000.

Permit Fee \$ 93.00

Building (I1)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 376-C-3

Check #: 4059 Total Collected \$ 93.00

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB BOCA 1999 Signature: JMB 9/24/03	
Signature: _____ PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
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Add 2nd floor over existing addition to expand bedroom  
*Amendment to # 03-1120*

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		<i>Approved orig permit 03-1120</i>		

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