

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1069	Issue Date: SEP 18 2002	CBL: 376 C001001
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Location of Construction: 24 Woodmere Rd	Owner Name: Bradford Whitney E	Owner Address: 24 Woodmere Rd	Phone: 707-3604
Business Name:	Contractor Name: Don Densmore	Contractor Address: 942 Mayall Road New Gloucster	Phone: 2079264609
Lessee/Buyer's Name	Phone:	Permit Type:	Zone: R-3

CITY OF PORTLAND

Past Use: Single Family	Proposed Use: Single Family	Permit Fee:	Cost of Work: \$29,000.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB	

Proposed Project Description:
15 X 20 family room addition & relocate existing deck. Has to reduce 12 X 12 deck in order to meet side setback

Signature: _____ Signature: **JMB 9/18/02**

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 09/18/2002	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone N/A <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 9/18/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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All Purpose Building Permit Application for ~~Demolition~~

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 24 Woodmere

Total Square Footage of Proposed Structure <u>300</u>	Square Footage of Lot <u>6,792</u>
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Tax Assessor's Chart, Block & Lot Chart# <u>376</u> Block# <u>C</u> Lot# <u>001</u>	Owner: <u>Allen & Whitney Bradford</u>	Telephone: <u>797-6641</u>
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Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Don Densmore</u> <u>926-4609 942 Mayall Rd</u> <u>310-0526 New Gloucester, ME</u>	Cost Of Work: \$ <u>29</u> 28,000/30,000 Fee: \$ <u>226-</u>
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Current use: Residential

If the location is currently vacant, what was prior use: _____

Approximately how long has it been vacant: _____ Existing

Project description: Family room Addition 15x20 - relocate Deck ~~to~~ addition - Reduce to 9x12'

~~DEMOLITION CALL LIST MUST BE SUBMITTED WITH THIS APPLICATION~~

Contractor's name, address & telephone: Don Densmore 942 Mayall Rd New Gloucester ME
207-926-4609

Who should we contact when the permit is ready: Don Densmore cell# 310-0526

Mailing address: _____
926-4609

Phone: _____

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Don Densmore</u>	Date: <u>9/6/02</u>
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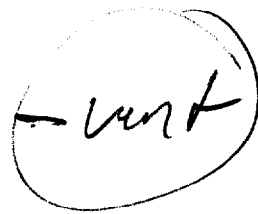
This is not a permit, you may not commence ANY work until the permit is issued. This is for residential demolition. Commercial demolition will require other types of permitting along with this permit, please inquire with support staff

Foundation

2 lower units
operational from outside only

8" thick concrete wall

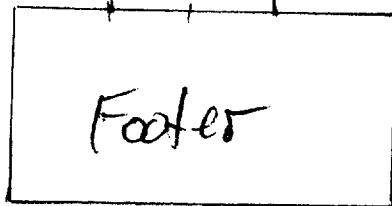
Front left
corner approx
2' down to grade



Back corner
3 ft -
To top of wall
from Grade

New wall pinned
to old wall

4 ft
Frost
wall



2'

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	376 C001001
Location	24 WOODMERE RD
Land Use	SINGLE FAMILY
Owner Address	BRADFORD WHITNEY E 24 WOODMERE RD PORTLAND ME 04103
Book/Page	14904/349
Legal	376-C-1 WOODMERE RD 20-26 BRAEBURN RD 20-22 6792 SF

Valuation Information

Land	Building	Total
\$31,920	\$55,760	\$87,680

Property Information

Year Built 1943	Style Cape	Story Height 1.5	Sq. Ft. 1155	Total Acres 0.156		
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 6	Attic None	Basement Full	

Outbuildings

Type GARAGE-WD/CB	Quantity 1	Year Built 1941	Size 11X19	Grade C	Condition A
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Sales Information

Date 07/15/1999 05/06/1992	Type LAND + BLDING LAND + BLDING	Price \$75,150	Book/Page 14904-349 10049-313
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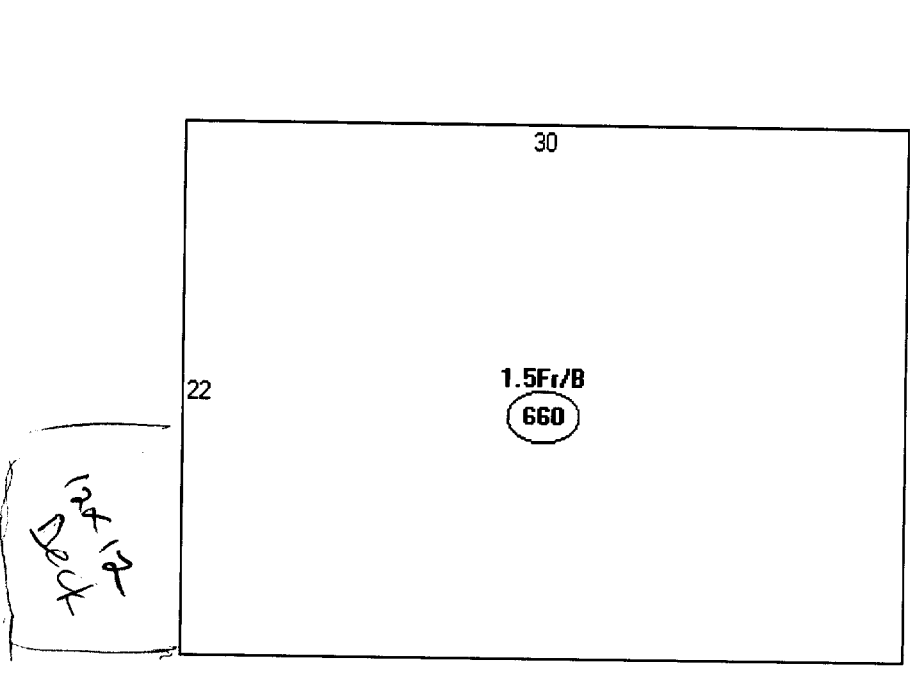
Picture and Sketch

[Picture](#) [Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).





Descriptor/Area
 A: 1.5Fr/B
 660 sqft

660
 209

 869

> existing

Lot 6,792 SF
 X .25%

 1,698

180
 96

 276

1,145

OK

9/18/02

Woodmere Row is 50' per PDW

The road is 28' 6" from curb to curb
Therefore from ϕ of woodmere ^{14' 3"} 25' to
Towards house, then from that point
it is 26' to proposed addition.

Inspector

Verify with pins as well
at front setback and sides. JB

Don Deussner
Singer Builder

926-4609

310-0526

Don Deussner

Reattaching Deck w L
12x9

Includes:

2x8 Joists pressure treated 16" OC

5/4x6 Decking pressure treated

Doubled 2x8 carrier with 3 post onto (6" overhang)

10" or 8" sma tubes with mushroom footers

2x8 ledger lag bolted onto rim joist

of addition. 2 6" lags ever 16" 3/8" lag bolts

Don Deussner
Don Deussner

✓ 2x8 rafters 16" OC
or Truss will submit spec

Storage access from existing BR

GPI 65
or
Truss cord @ 42 PSI

✓ 7' opening into house
2- 1 3/4 x 11 7/8 LVL Beams

1 story
Family Room

Open Floor
Plan

3 2x10 Header
32" x 48" Double
hugs

32" x 48"
Double
hugs

6' x 80"
Slider

20' 3 2x10 Header

- Floor 11 7/8" x 20"
- ✓ GPI 65 16" OC
- 3/4" T+G Advantec
- 2x6 wall studs 16" OC
- ✓ GPI 65 ceiling Joists 16" OC
- ^{Rd Spf} 2x8 16" OC rafters
- ^{4x8 sheets} 5/8" T+G Advantec
- Roof sheathing
- R-19 walls
- R-30 ceiling
- 3-2x10 header material
- Exterior wall sheathing 1/2" Advantec
- Vynle siding
- 30 yr Asphalt shingles on roof

SYSTEM PERFORMANCE

The ultimate goal in the design of a floor or roof system is the end user's safety and satisfaction. **Although joists used at spans indicated in this guide meet or exceed minimum code criteria and will safely support the loads imposed on them, judgement must be used to adequately meet user expectation levels.** These expectations may vary from one user to another.

- The specifier should consider the meaning of a given deflection limit in terms of allowable deflection and the effects this could have on the system. For example, L/360 (span/360) for a 30' span is 1" of deflection. L/240 would be 1 1/2" and L/180 would be 2" of deflection. Consideration might also be given to cases in which a joist with a long span parallels a short span or a foundation end wall. For example, a 30' span with up to 1" of allowable live load deflection could be adjacent to an end wall with no deflection, causing a noticeable difference in floor levels under full design load.
- **A stiffer floor will result from using a live load deflection limit of L/480 versus the code minimum L/360.** A roof system with less total load deflection than the code required L/180 may be achieved by using a criterion of L/240.
- In addition to more stringent deflection limits, several other factors may improve overall floor performance. **Reducing joist spacing and/or**

Increasing the subfloor thickness will lessen deflection between adjacent joists and increase load sharing. Floor stiffness can be improved by **gluing the subfloor to the joists** before nailing or screwing rather than nailing alone. For additional stiffness, glue tongue and groove joints. Surfaces must be clean and dry before gluing.

- As with any construction, it is essential to follow proper installation procedures. Joists must be plumb and anchored securely to supports before system sheathing is attached. Supports for multiple span joists must be level. To minimize settlement when using hangers, joists should be firmly seated in the hanger bottoms. Leave a 1/8" gap between joist end and header.
- **Vibrations may occur in floor systems with very little dead load,** as in large empty rooms. A ceiling attached to the bottom of the joists will generally dampen vibration as will interior partition walls running perpendicular to the joists. If a ceiling will not be attached to the bottom of the joists, vibration can be minimized by nailing a continuous 2x4 perpendicular to the bottom of the joists at midspan running from end wall to end wall. Where future finishing of the ceiling is likely, x-bridging or Wood I Beam blocking panels may be used in place of the 2x4.

WI AND GPI SERIES JOISTS—RESIDENTIAL FLOOR SPAN CHARTS

Span Illustrations



40 PSF Live Load + 10 PSF Dead Load

Improved Performance⁽¹⁾ (L/480)

Joist	Joist Depth	Spacing (Simple Span)				Spacing (Multiple Span)				PRI 400 Depth & Series
		12" o.c.	16" o.c.	19.2" o.c.	24" o.c.	12" o.c.	16" o.c.	19.2" o.c.	24" o.c.	
60 Series WI or GPI	9 1/2"	19'-00"	17'-04"	16'-04"	15'-04"	20'-08"	18'-10"	17'-09"	16'-05"	9 1/2" PRI 60
	11 1/2"	22'-08"	20'-08"	19'-06"	18'-03"	24'-08"	22'-06"	21'-02"	19'-01"	11 1/2" PRI 60
	14"	25'-09"	23'-06"	22'-02"	20'-09"	28'-01"	25'-07"	23'-08"	19'-09"	14" PRI 60
	16"	28'-07"	26'-01"	24'-07"	23'-00"	31'-02"	28'-01"	24'-09"	19'-09"	16" PRI 60

40 PSF Live Load + 20 PSF Dead Load

Improved Performance⁽¹⁾ (L/480)

Joist	Joist Depth	Spacing (Simple Span)				Spacing (Multiple Span)				PRI 400 Depth & Series
		12" o.c.	16" o.c.	19.2" o.c.	24" o.c.	12" o.c.	16" o.c.	19.2" o.c.	24" o.c.	
60 Series WI or GPI	9 1/2"	19'-00"	17'-04"	16'-04"	15'-01"	20'-08"	18'-05"	16'-09"	14'-02"	9 1/2" PRI 60
	11 1/2"	22'-08"	20'-08"	19'-06"	17'-05"	24'-08"	21'-04"	19'-05"	16'-05"	11 1/2" PRI 60
	14"	25'-09"	23'-06"	21'-08"	19'-04"	27'-04"	23'-08"	20'-07"	16'-05"	14" PRI 60
	16"	28'-07"	25'-09"	23'-06"	19'-10"	29'-08"	24'-09"	20'-07"	16'-05"	16" PRI 60

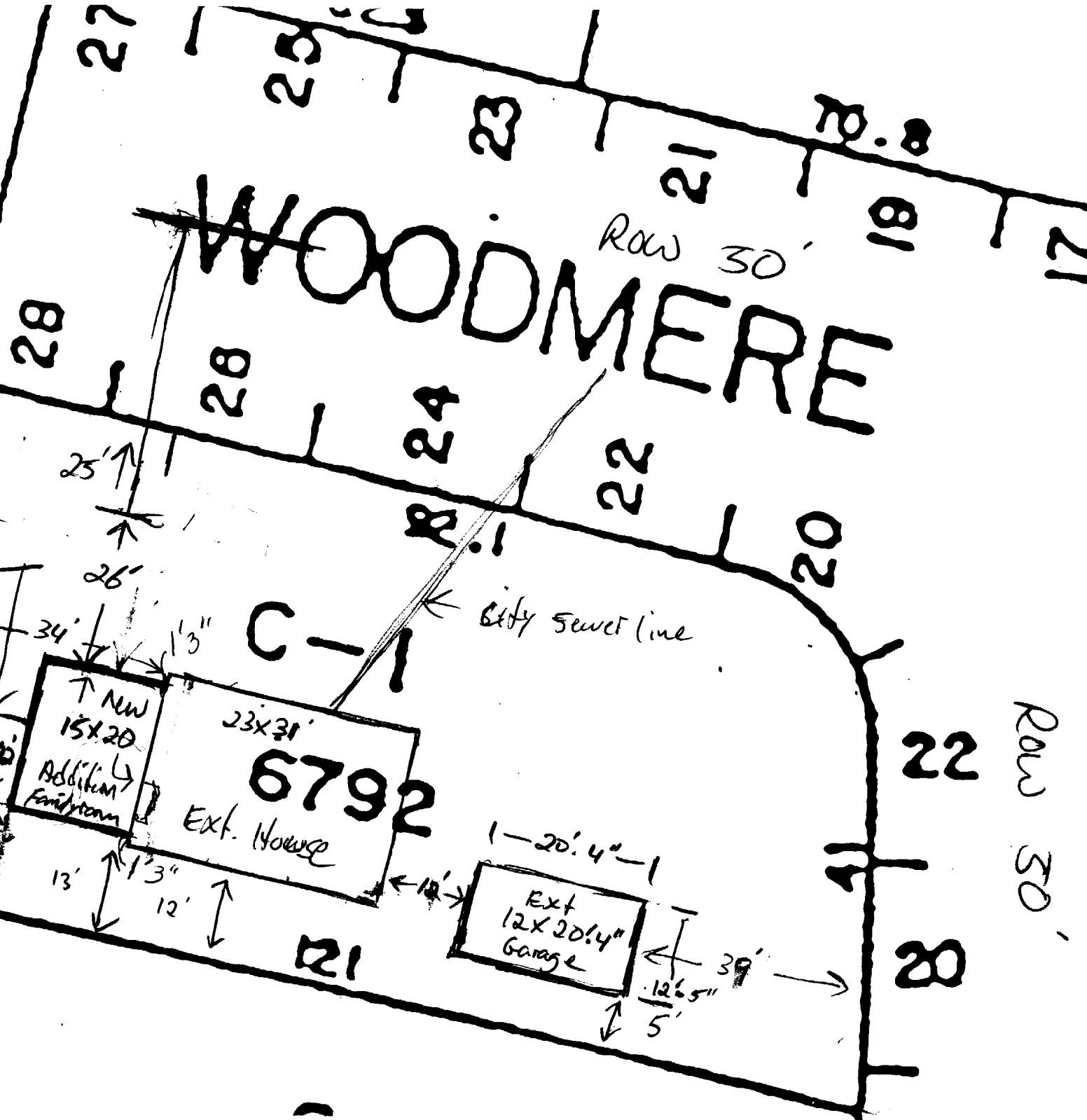
**There is no GPI 80 Series Joist.

NOTES:

1. These span charts are based on uniform loads, as noted above; live load deflection is limited to L/480 for better performance. Floor performance is greatly influenced by the stiffness of the floor joists. Experience has shown that joists designed to the code minimum live load deflection (L/360) will result in a floor which may not meet the expectations of some end users. G-P strongly recommends floor spans for Wood I Beam joists be limited to those given above, which are based on L/480 live load deflection. (One-third stiffer than required by code.)
2. Spans are clear distances between supports, and are based on composite action with glued-nailed APA Rated Sheathing or Sturd-I-Floor of minimum thickness

3. **1 1/2"** (40/20 or 20 oc) for joist spacing of 19.2" or less, or **3/2"** (48/24 or 24 oc) for a joist spacing of 24". Adhesive must meet APA AFG-01 or ASTM D3498. If sheathing is nailed only (not recommended), reduce spans by 12".
3. **Minimum end bearing length is 1 1/2"; Minimum intermediate bearing length is 3 1/2";**
4. End spans of multiple-span joists must be at least 40% of the adjacent span.
5. For loading other than that shown above, refer to Uniform Load Tables, use G-P FASTBeam® selection software, or contact G-P Engineered Lumber Technical Services.
6. Not all products are available at all distribution centers; contact G-P for availability.

9/16" = 10'



Existing Deck to be reattached and meet 8' side setback

R-3 Zone

Front: Req. 25' Shown 26'

Rear: 25' Req. Sec. 14-433 allows reduction TO 5' Shows 13'

Side Req 8' Shows 8'

City Sewer line

Row 30'

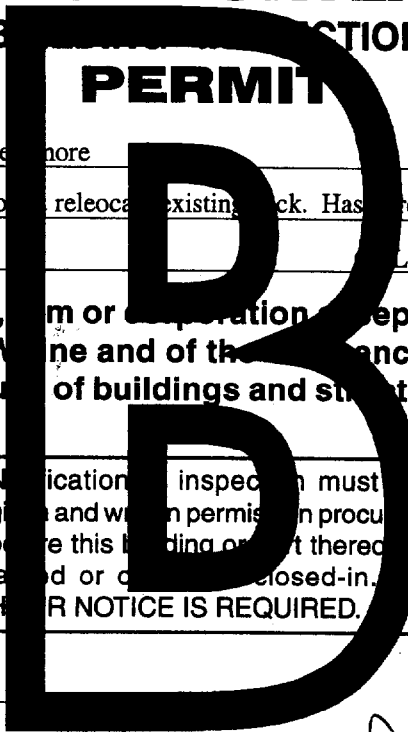
DISPLAY THIS CARD ON PRINCIPAL FRONTAGE
CITY OF PORTLAND

PERMIT ISSUED
SEP 18 2002
Permit Number: 021069
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT



This is to certify that Bradford Whitney E/Don De more
has permission to 15 X 20 family room addition relocate existing deck. Has to reduce 12 X 12 deck in order to meet side setba
AT 24 Woodmere Rd L 376 C001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit in progress before this building or part thereof is opened or closed-in.
HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Janie Bonke 9/18/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

DD **Footing/Building Location Inspection:** Prior to pouring concrete

NA **Re-Bar Schedule Inspection:** Prior to pouring concrete

NA **Foundation Inspection:** Prior to placing ANY backfill

DD **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

DD **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a ~~\$75.00 fee per~~ inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

* **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of applicant/designee

James Burke

Signature of Inspections Official

Date

9/18/02

Date

CBL: 376-C-1 Building Permit #: 02-1069

Application ID Number: 2-1069

Delete Review Save Close

Department: Zoning

Status: Approved with Conditions

Reviewer: Jeanine Bourke

Comments:

Approval Date: 09/18/2002

Given On Date: 09/18/2002

OK to Issue Permit Name: Jeanine Bourke Date: 09/18/2002 Date 2:

Conditions Section:

Add New Condition From Default List

Add New Condition

Delete Condition

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

The front setback was established based on information on the street ROW dimensions. The contractor says that there are pins locating the property lines. Please verify on site

Create Date: 09/18/2002 By: gg

Update Date: 09/18/2002 By: gg

Application ID Number: 2-1069

Delete Review Save Close

Department: Building Status: Approved Reviewer: Jeanine Bourke

Comments: Approval Date: 09/18/2002

Given On Date: 09/18/2002

OK to Issue Permit Name: Jeanine Bourke Date: 09/18/2002 Date 2:

Conditions Section: Add New Condition From Default List Add New Condition Delete Condition

Existing deck will be altered in order to meet side setback requirements. The contractor will add 3 - 4ft. Sona footings to relocate deck. There are no stairs currently off the deck

Create Date: 09/18/2002 By: gg Update Date: 09/18/2002 By: gg

2
163272

CITY
3
142,784

SHEET 379-B

PORTLAND WATER DISTRICT
R/W

SHINGLE WAY

PORCH STREET

COTTAGE PARK ROAD

WOODMERE ROAD

ROAD

BROOK

SHEET 375-A ROAD

AVENUE

AVENUE

49
COMMON AREA 17,229
ACTIVE RECREATION AREA
DRAINAGE/ICE SKATING POND
ROAD 77,667 SF

DRAINAGE POND and
PEDESTRIAN EASEMENT
23,576

SHEET 379-C

SHEET 375-A

CITY OF PORTLAND
ASSESSORS PLAN
SCALE 1" = 50'

REDRAWN 6-76

