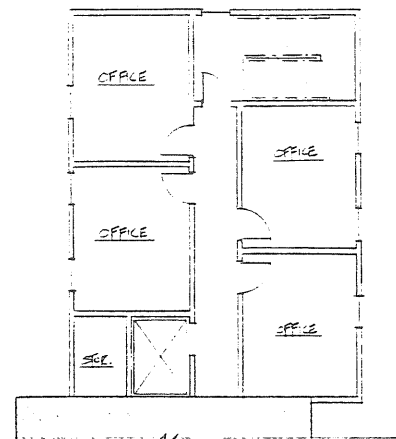


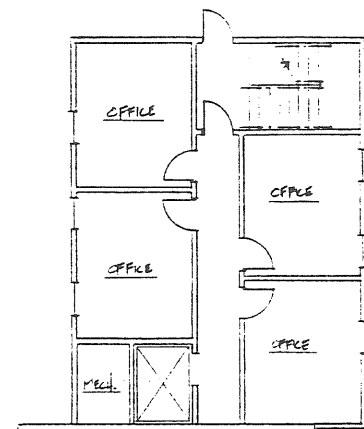
376-B-4

899 Riverside St

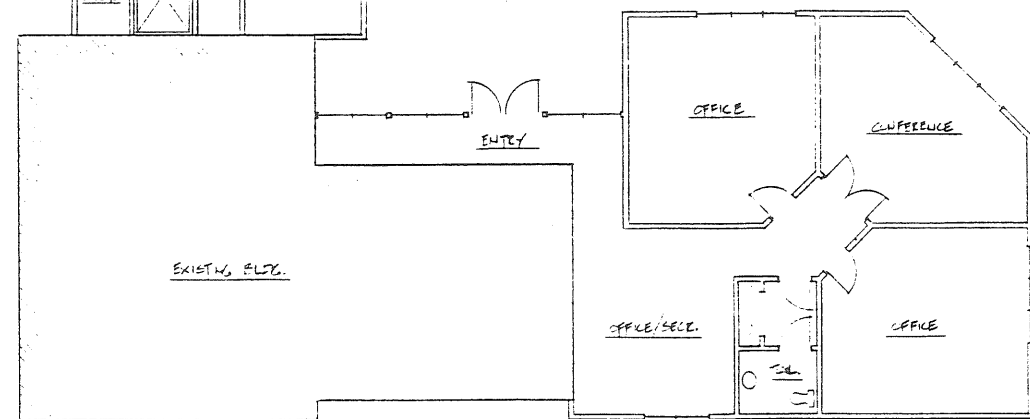
Sportink School



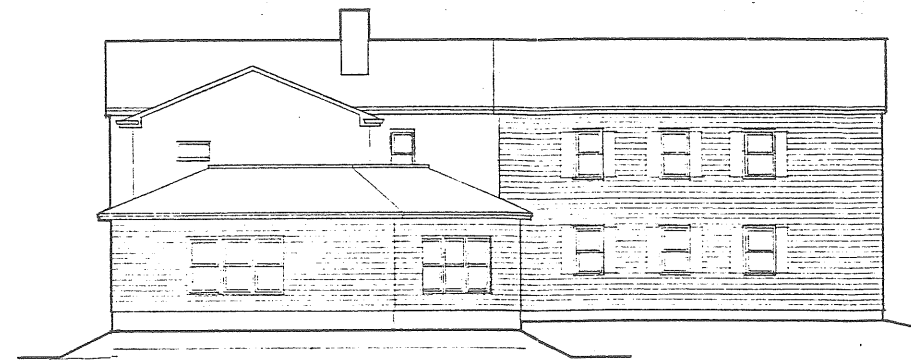
SECOND FLOOR PLAN 1/8"=1'-0"



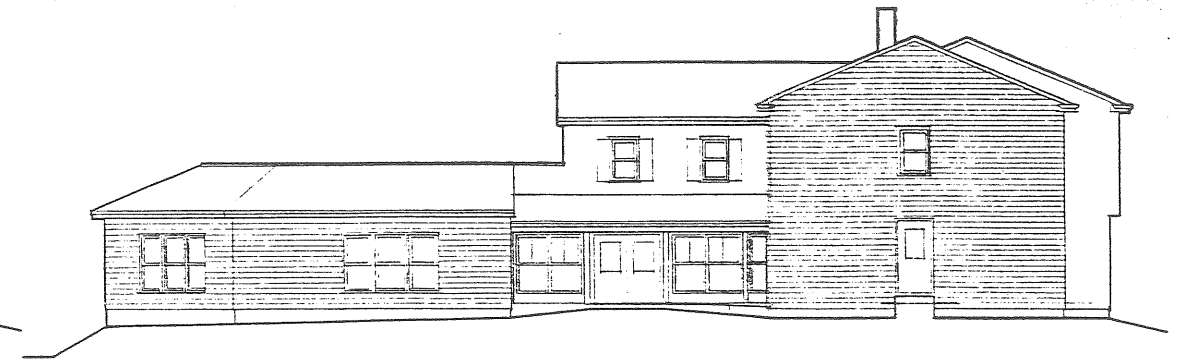
SECOND FLOOR PLAN 1/8"=1'-0"



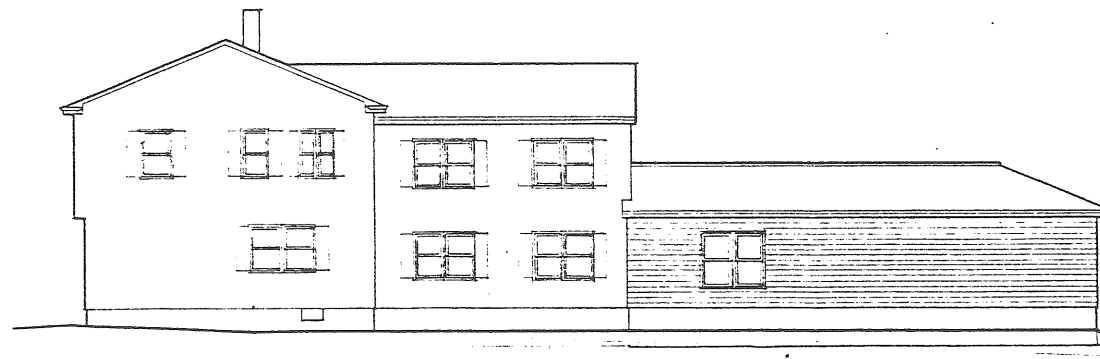
GROUND FLOOR PLAN 1/8"=1'-0"



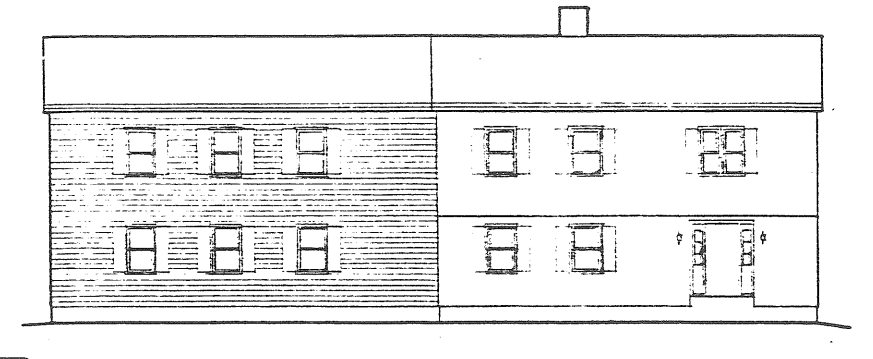
EAST ELEVATION 1/8"=1'-0"



NORTH ELEVATION 1/8"=1'-0"



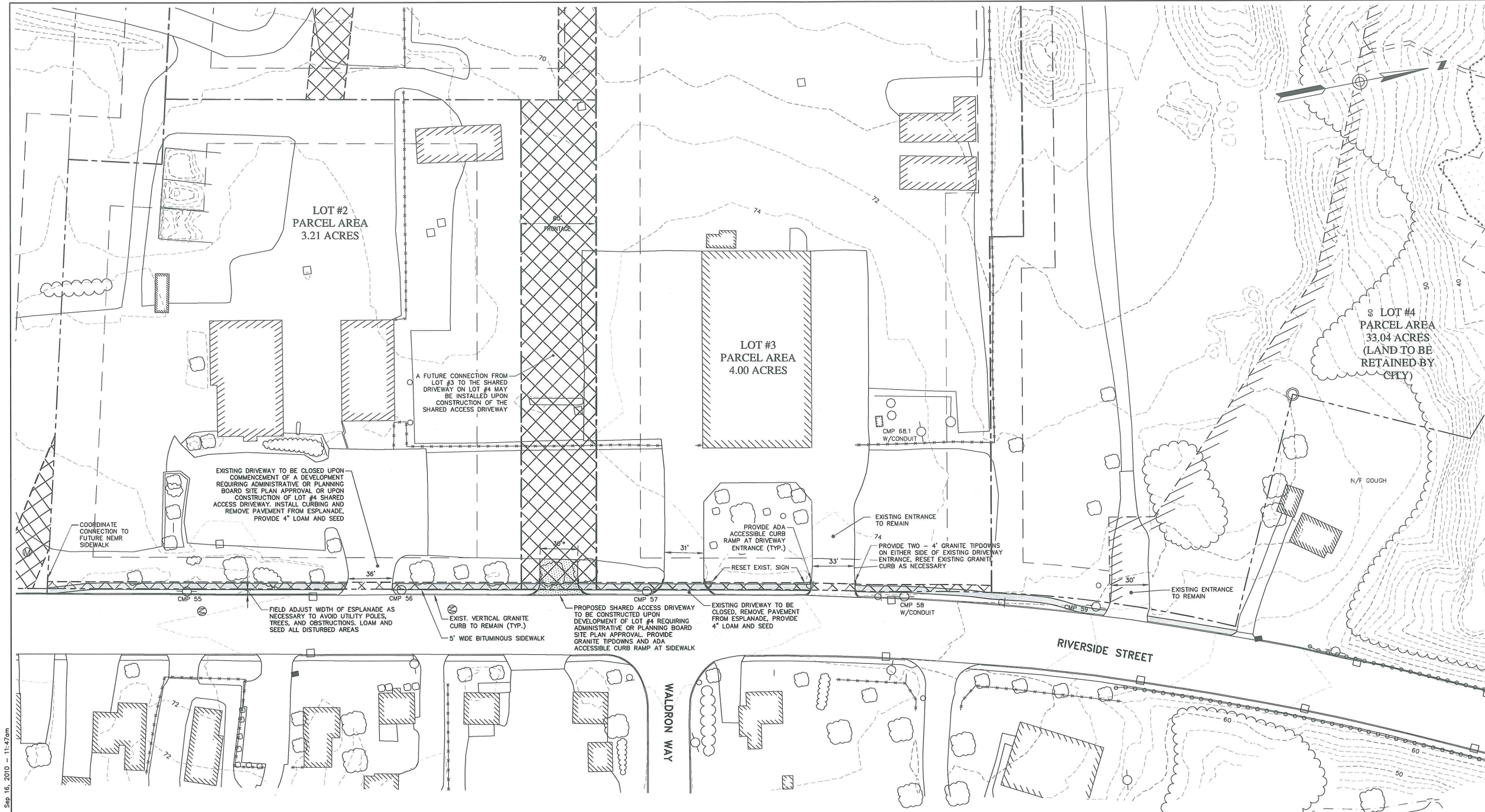
SOUTH ELEVATION 1/8"=1'-0"



WEST ELEVATION 1/8"=1'-0"

MATERIAL SELECTIONS	
SIDING	- MATCH EXISTING WOOD SHINGLE SIDING - PAINT LIGHT GREEN TO MATCH
TRIM	- MATCH EXISTING WOOD TRIM - PAINT WHITE TO MATCH - DOORS DARK GREEN.
ROOFING	- MATCH EXISTING ASPHALT SHINGLES DARK GREY TO MATCH.

Registration Stamp	Title
	Project Sourwink School - Institute Bldg. Addition Riverside Street, Portland, Maine
Scale	FORSTER ASSOCIATES ARCHITECTS P.O. Box 6650 Portland, Maine 04101 (207) 772-4073
Date	Drawing No.



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 PORTLAND, MAINE 04102
 800.456.6262 | www.woodardcurran.com

WOODARD & CURRAN
 COMMITMENT & INTEGRITY DRIVE RESULTS

LDD PROJECT NAME:
 DRAWING NAME: 222804.02-C001.DWG
 FIELD BOOK USED:

REFERENCES:

DESIGNED BY: DLC	DRAWN BY: JBC	CHECKED BY: DLC	SCALE: 1"=40'	DATE: 9/16/2010
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RIVERSIDE SUBDIVISION
 SIDEWALK AND DRIVEWAY PLAN

CITY OF PORTLAND, MAINE
 PUBLIC SERVICES DEPARTMENT
 ENGINEERING SECTION



SHEET # 2
 PLAN NUMBER

EXISTING DRIVEWAY TO BE CLOSED UPON COMMENCEMENT OF A DEVELOPMENT REQUIRING ADMINISTRATIVE OR PLANNING BOARD SITE PLAN APPROVAL OR UPON CONSTRUCTION OF LOT #4 SHARED ACCESS DRIVEWAY. INSTALL CURBING AND REMOVE PAVEMENT FROM ESPLANADE. PROVIDE 4" LOAM AND SEED

COORDINATE CONNECTION TO FUTURE NEMR SIDEWALK

A FUTURE CONNECTION FROM LOT #3 TO THE SHARED DRIVEWAY ON LOT #4 MAY BE INSTALLED UPON CONSTRUCTION OF THE SHARED ACCESS DRIVEWAY

LOT #3 PARCEL AREA 4.00 ACRES

LOT #4 PARCEL AREA 33.04 ACRES (LAND TO BE RETAINED BY CITY)

FIELD ADJUST WIDTH OF ESPLANADE AS NECESSARY TO AVOID UTILITY POLES, TREES, AND OBSTRUCTIONS. LOAM AND SEED ALL DISTURBED AREAS

EXIST. VERTICAL GRANITE CURB TO REMAIN (TYP.)
 5' WIDE BITUMINOUS SIDEWALK

PROPOSED SHARED ACCESS DRIVEWAY TO BE CONSTRUCTED UPON DEVELOPMENT OF LOT #4 REQUIRING ADMINISTRATIVE OR PLANNING BOARD SITE PLAN APPROVAL. PROVIDE GRANITE TIPDOOMS AND ADA ACCESSIBLE CURB RAMP AT SIDEWALK

EXISTING DRIVEWAY TO BE CLOSED, REMOVE PAVEMENT FROM ESPLANADE, PROVIDE 4" LOAM AND SEED

EXISTING ENTRANCE TO REMAIN
 PROVIDE TWO - 4" GRANITE TIPDOOMS ON EITHER SIDE OF EXISTING DRIVEWAY ENTRANCE. RESET EXISTING GRANITE CURB AS NECESSARY

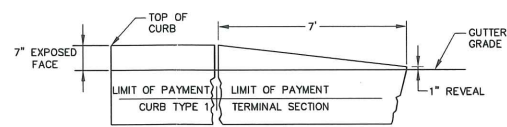
EXISTING ENTRANCE TO REMAIN

DRIVEWAY WIDTH NOTES:
 1. DRIVEWAY WIDTHS WILL BE REVIEWED BY THE CITY OF PORTLAND FOR FUTURE DEVELOPMENTS REQUIRING ADMINISTRATIVE OR PLANNING BOARD SITE APPROVALS. THE CITY OF PORTLAND MAY REQUIRE THAT THESE DRIVEWAYS BE ADJUSTED AS PART OF THE FUTURE SITE DEVELOPMENT IF THE CITY TRANSPORTATION ENGINEER DETERMINES THAT SUCH CHANGES ARE REQUIRED.

PLAN REFERENCES:
 1. BOUNDARY SURVEY PROVIDED BY CITY OF PORTLAND, MAINE, PUBLIC WORKS DEPARTMENT, ENGINEERING SECTION, DATED DECEMBER 16, 2005 AND REVISED APRIL 11, 2006, NUMBERED 1 OF 2, TITLED "STANDARD BOUNDARY SURVEY OF LUCAS TREE COMPANY SITE, RIVERSIDE STREET, PORTLAND, MAINE".
 2. TOPOGRAPHIC PLAN PROVIDED BY CITY OF PORTLAND, MAINE, PUBLIC WORKS DEPARTMENT, ENGINEERING SECTION, DATED DECEMBER 16, 2005 AND REVISED MARCH 30, 2007, NUMBERED 2 OF 2, TITLED "TOPOGRAPHIC PLAN OF LUCAS TREE, COMPANY SITE, RIVERSIDE STREET, PORTLAND, MAINE".
 3. CONSERVATION EASEMENT PROVIDED BY THE CUMBERLAND COUNTY REGISTRY OF DEEDS, RECEIVED MARCH 31, 2010 AT 9:51 AM AND RECORDED IN PLAN BOOK 210, PAGE 129. PLAN TITLED "CONSERVATION EASEMENT PLAN FOR THE TRUST FOR PUBLIC LAND, 116 NEW MONTGOMERY STREET, SAN FRANCISCO, CA 94106, EASEMENT LOCATED RIVERSIDE STREET PORTLAND MAINE", DATED MARCH 3, 2010.

CURB TYPE 1 ON CURVES

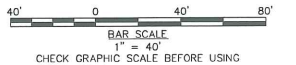
TYPE	RADIUS OF CURVE	LENGTH	STONE IS CUT OR CAST
1	0' TO 60' INCL.	4' MIN.	ARC TO FIT CURVE
	OVER 60' TO 160'	4' TO 6'	STRAIGHT PIECES



TERMINAL SECTION TYPE "1"
 N.T.S.

LEGEND

--- 40 ---	EXISTING CONTOUR (INDEX)
--- 38 ---	EXISTING CONTOUR (INTERVAL)
.....	100' YEAR FLOOD BOUNDARY
---	ZONE LINE
	CONSERVATION EASEMENT
---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	SETBACK LINE
---	GRAVEL
---	EXISTING TREELINE
---	WETLAND
---	EXISTING PAVEMENT
---	PROPOSED PAVEMENT
---	FUTURE SHARED ACCESS DRIVE PAVEMENT
---	EXISTING BUILDING
---	PROPOSED EASEMENT

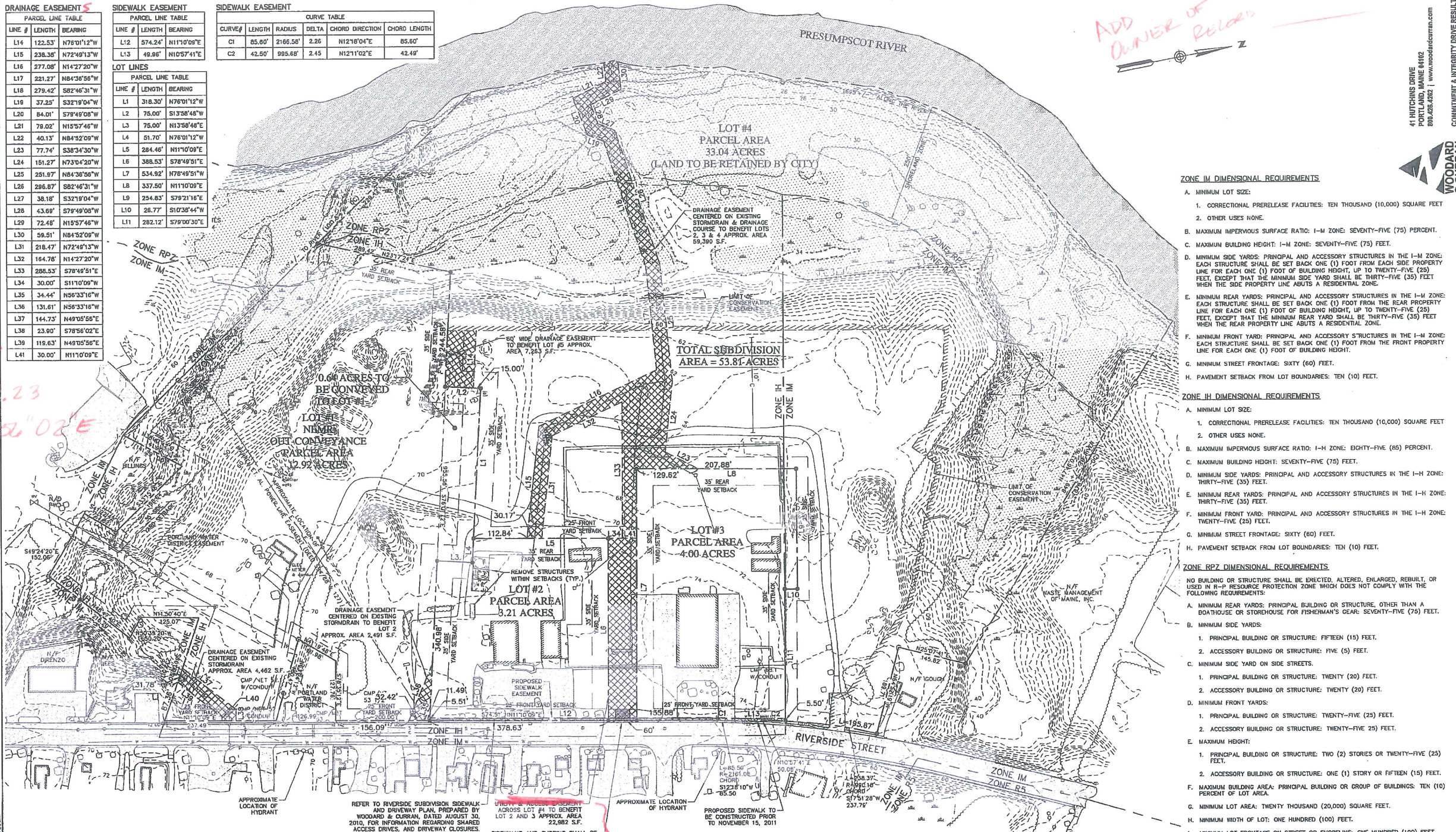


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9-16-2010

DRAINAGE EASEMENT			SIDEWALK EASEMENT			SIDEWALK EASEMENT		
LINE #	LENGTH	BEARING	LINE #	LENGTH	BEARING	CURVE#	LENGTH	RADIUS
L14	122.53'	N78°01'12"W	L1	318.30'	N78°01'12"W	C1	85.00'	2166.58'
L15	238.35'	N72°49'13"W	L2	75.00'	S13°58'48"W	C2	42.50'	995.68'
L16	277.08'	N14°27'20"W	L3	75.00'	N13°58'48"E			
L17	221.27'	N84°35'56"W	L4	51.70'	N78°01'12"W			
L18	279.42'	S82°45'31"W	L5	284.48'	N11°00'09"E			
L19	37.25'	S32°19'04"W	L6	388.53'	S78°49'51"E			
L20	84.01'	S79°49'08"W	L7	534.92'	N78°49'51"W			
L21	78.02'	N15°57'46"W	L8	337.50'	N11°00'09"E			
L22	40.13'	N84°32'09"W	L9	234.83'	S79°21'16"E			
L23	77.74'	S38°34'30"W	L10	28.77'	S10°38'44"W			
L24	151.27'	N73°04'20"W	L11	282.12'	S79°00'30"E			
L25	251.87'	N84°36'59"W						
L26	286.87'	S82°46'31"W						
L27	38.18'	S32°18'04"W						
L28	43.69'	S79°49'08"W						
L29	72.48'	N15°57'46"W						
L30	58.51'	N84°32'09"W						
L31	218.47'	N72°49'13"W						
L32	164.78'	N14°27'20"W						
L33	288.53'	S78°49'51"E						
L34	30.00'	S11°00'09"W						
L35	34.44'	N56°33'16"W						
L36	131.61'	N56°33'16"W						
L37	144.73'	N49°05'56"E						
L38	23.90'	S78°58'02"E						
L39	119.63'	N49°05'56"E						
L41	30.00'	N11°00'09"E						

*L40: 9.23
S78°58'02"E*



PRE-2005 IMPERVIOUS AREAS	
LOT	IMPERVIOUS AREAS (ACRES)
1	0.63
2	2.81
3	3.51
4	2.61

APPROVED BY CITY OF PORTLAND PLANNING BOARD:
DATE: _____

LEGEND	
	EXISTING CONTOUR (INDEX)
	EXISTING CONTOUR (INTERVAL)
	100' YEAR FLOOD BOUNDARY
	ZONE LINE
	250' SHORELAND ZONE LINE
	CONSERVATION EASEMENT
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	SETBACK LINE
	FORMER LOT LINE
	CAPPED IRON ROD TO BE SET
	GRAVEL
	EXISTING TREELINE
	WETLAND
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	EXISTING BUILDING
	PROPOSED EASEMENT
	PROPOSED ACCESS DRIVE

PLAN REFERENCES:
1. BOUNDARY SURVEY PROVIDED BY CITY OF PORTLAND, MAINE, PUBLIC WORKS DEPARTMENT, ENGINEERING SECTION, DATED DECEMBER 16, 2005 AND REVISED APRIL 11, 2006, NUMBERED 1 OF 2, TITLED "STANDARD BOUNDARY SURVEY OF LUCAS TREE COMPANY SITE, RIVERSIDE STREET, PORTLAND, MAINE."
2. TOPOGRAPHIC PLAN PROVIDED BY CITY OF PORTLAND, MAINE, PUBLIC WORKS DEPARTMENT, ENGINEERING SECTION, DATED DECEMBER 16, 2005 AND REVISED MAY 7, 2010, NUMBERED 2 OF 2, TITLED "TOPOGRAPHIC PLAN OF LUCAS TREE COMPANY SITE, RIVERSIDE STREET, PORTLAND, MAINE."
3. CONSERVATION EASEMENT PROVIDED BY THE CUMBERLAND COUNTY REGISTRY OF DEEDS, RECEIVED MARCH 31, 2010 AT 9:51 AM AND RECORDED IN PLAN BOOK 210 PAGE 125, PLAN TITLED "CONSERVATION EASEMENT PLAN FOR THE TRUST FOR PUBLIC LAND, 116 NEW MONTGOMERY STREET, SAN FRANCISCO, CA 94106, EASEMENT LOCATED RIVERSIDE, STREET PORTLAND MAINE", DATED MARCH 3, 2010.
4. DRAINAGE INFRASTRUCTURE LOCATED VIA GPS BY THE CITY OF PORTLAND DEPARTMENT OF PUBLIC SERVICES DURING A SITE VISIT ON SEPTEMBER 7, 2010, SUPPLEMENTED WITH CATCH BASIN LOCATIONS SHOWN ON THE FIELD SURVEY PLAN FROM OWEN HASKELL, DATED AUGUST 31, 2010.
WAIVERS:
1. THE APPLICANT REQUESTS A WAIVER OF SECTION 14-496 (A) 15 RELATIVE TO SHOWING PROPOSED FINISH SPOT ELEVATIONS AROUND THE PERIMETER OF THE SUBDIVISION.

ZONE IM DIMENSIONAL REQUIREMENTS
A. MINIMUM LOT SIZE:
1. CORRECTIONAL PRERELEASE FACILITIES: TEN THOUSAND (10,000) SQUARE FEET
2. OTHER USES NONE.
B. MAXIMUM IMPERVIOUS SURFACE RATIO: I-M ZONE: SEVENTY-FIVE (75) PERCENT.
C. MAXIMUM BUILDING HEIGHT: I-M ZONE: SEVENTY-FIVE (75) FEET.
D. MINIMUM SIDE YARDS: PRINCIPAL AND ACCESSORY STRUCTURES IN THE I-M ZONE: EACH STRUCTURE SHALL BE SET BACK ONE (1) FOOT FROM EACH SIDE PROPERTY LINE FOR EACH ONE (1) FOOT OF BUILDING HEIGHT, UP TO TWENTY-FIVE (25) FEET, EXCEPT THAT THE MINIMUM SIDE YARD SHALL BE THIRTY-FIVE (35) FEET WHEN THE SIDE PROPERTY LINE ABUTS A RESIDENTIAL ZONE.
E. MINIMUM REAR YARDS: PRINCIPAL AND ACCESSORY STRUCTURES IN THE I-M ZONE: EACH STRUCTURE SHALL BE SET BACK ONE (1) FOOT FROM THE REAR PROPERTY LINE FOR EACH ONE (1) FOOT OF BUILDING HEIGHT, UP TO TWENTY-FIVE (25) FEET, EXCEPT THAT THE MINIMUM REAR YARD SHALL BE THIRTY-FIVE (35) FEET WHEN THE REAR PROPERTY LINE ABUTS A RESIDENTIAL ZONE.
F. MINIMUM FRONT YARD: PRINCIPAL AND ACCESSORY STRUCTURES IN THE I-M ZONE: EACH STRUCTURE SHALL BE SET BACK ONE (1) FOOT FROM THE FRONT PROPERTY LINE FOR EACH ONE (1) FOOT OF BUILDING HEIGHT.
G. MINIMUM STREET FRONTAGE: SIXTY (60) FEET.
H. PAVEMENT SETBACK FROM LOT BOUNDARIES: TEN (10) FEET.

ZONE IH DIMENSIONAL REQUIREMENTS
A. MINIMUM LOT SIZE:
1. CORRECTIONAL PRERELEASE FACILITIES: TEN THOUSAND (10,000) SQUARE FEET
2. OTHER USES NONE.
B. MAXIMUM IMPERVIOUS SURFACE RATIO: I-H ZONE: EIGHTY-FIVE (85) PERCENT.
C. MAXIMUM BUILDING HEIGHT: SEVENTY-FIVE (75) FEET.
D. MINIMUM SIDE YARDS: PRINCIPAL AND ACCESSORY STRUCTURES IN THE I-H ZONE: THIRTY-FIVE (35) FEET.
E. MINIMUM REAR YARDS: PRINCIPAL AND ACCESSORY STRUCTURES IN THE I-H ZONE: THIRTY-FIVE (35) FEET.
F. MINIMUM FRONT YARD: PRINCIPAL AND ACCESSORY STRUCTURES IN THE I-H ZONE: TWENTY-FIVE (25) FEET.
G. MINIMUM STREET FRONTAGE: SIXTY (60) FEET.
H. PAVEMENT SETBACK FROM LOT BOUNDARIES: TEN (10) FEET.

ZONE RPZ DIMENSIONAL REQUIREMENTS
NO BUILDING OR STRUCTURE SHALL BE ERECTED, ALTERED, ENLARGED, REBUILT, OR USED IN A RESOURCE PROTECTION ZONE WHICH DOES NOT COMPLY WITH THE FOLLOWING REQUIREMENTS:
A. MINIMUM REAR YARDS: PRINCIPAL BUILDING OR STRUCTURE, OTHER THAN A BOATHOUSE OR STOREHOUSE FOR FISHERMAN'S GEAR: SEVENTY-FIVE (75) FEET.
B. MINIMUM SIDE YARDS:
1. PRINCIPAL BUILDING OR STRUCTURE: FIFTEEN (15) FEET.
2. ACCESSORY BUILDING OR STRUCTURE: FIVE (5) FEET.
C. MINIMUM SIDE YARD ON SIDE STREETS:
1. PRINCIPAL BUILDING OR STRUCTURE: TWENTY (20) FEET.
2. ACCESSORY BUILDING OR STRUCTURE: TWENTY (20) FEET.
D. MINIMUM FRONT YARDS:
1. PRINCIPAL BUILDING OR STRUCTURE: TWENTY-FIVE (25) FEET.
2. ACCESSORY BUILDING OR STRUCTURE: TWENTY-FIVE (25) FEET.
E. MAXIMUM HEIGHT:
1. PRINCIPAL BUILDING OR STRUCTURE: TWO (2) STORES OR TWENTY-FIVE (25) FEET.
2. ACCESSORY BUILDING OR STRUCTURE: ONE (1) STORY OR FIFTEEN (15) FEET.
F. MAXIMUM BUILDING AREA: PRINCIPAL BUILDING OR GROUP OF BUILDINGS: TEN (10) PERCENT OF LOT AREA.
G. MINIMUM LOT AREA: TWENTY THOUSAND (20,000) SQUARE FEET.
H. MINIMUM WIDTH OF LOT: ONE HUNDRED (100) FEET.
I. MINIMUM LOT FRONTAGE ON STREET OR SHORELINE: ONE HUNDRED (100) FEET.
J. MINIMUM SHORELINE SETBACK: ALL PRINCIPAL STRUCTURES OTHER THAN PERMITTED PIERS, DOCKS, WHARVES, BREAKWATERS, CAUSEWAYS, BRIDGES, BOATHOUSES AND STOREHOUSES FOR FISHERMAN'S GEAR: SEVENTY-FIVE (75) FEET.

CONFORMANCE OF LOTS:
UPON APPROVAL OF THE PROPOSED SUBDIVISION, THE FOLLOWING SITE MODIFICATIONS SHALL BE PERFORMED TO BRING THE PROPOSED SUBDIVISION LOTS INTO CONFORMANCE WITH ZONING REGULATIONS. ITEMS OF WORK SHALL BE PERFORMED AS SOON AS POSSIBLE, BUT NO LATER THAN JUNE 2011.
a) ALL PAVEMENT WITHIN 10 FEET OF THE LOT BOUNDARIES WILL BE REMOVED.
b) ALL BUILDING OR STORAGE STRUCTURES WITHIN THE SETBACKS WILL BE REMOVED.
c) REMOVAL OF IMPERVIOUS SURFACES AS NECESSARY TO MEET THE MAXIMUM IMPERVIOUS SURFACE RATIO.
d) LANDSCAPING SHALL BE CONSERVED OR PLANTED TO ADDRESS SEC. 14-267(a) "REQUIRED LANDSCAPING FOR PARKING AREAS" FOR DEVELOPED LOTS.

STREET TREES:
1. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED MEETING THE CITY OF PORTLAND LANDSCAPING AND LANDSCAPE PRESERVATION STANDARDS OF THE CITY OF PORTLAND TECHNICAL MANUAL.

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41 HUTCHINGS DRIVE
PORTLAND, MAINE 04102
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COMMITMENT & INTEGRITY DRIVE RESULTS

LOD PROJECT NAME:
DRAWING NAME:
ACAD-222804.02-0001.DWG
FIELD BOOK USED:

DESIGNED BY: DLC
DRAWN BY: JBC
CHECKED BY: DLC
SCALE: 1"=40'
DATE: 09/09/2010

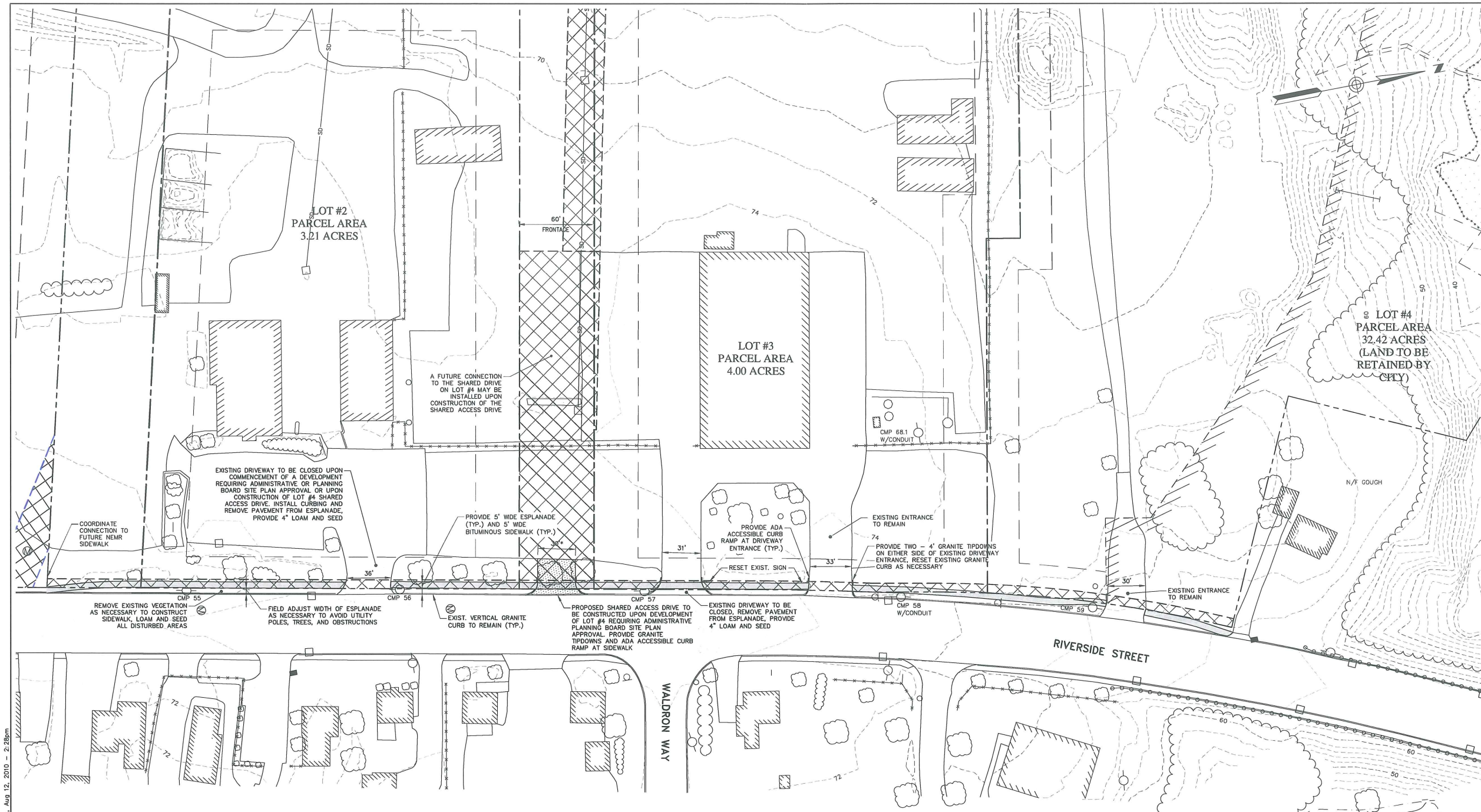
RIVERSIDE SUBDIVISION
SUBDIVISION RECORDING PLAT

CITY OF PORTLAND, MAINE
PUBLIC SERVICES DEPARTMENT
ENGINEERING SECTION

SHEET # 1
PLAN NUMBER

Add conditions of Approval per email from Rick Penobscot dated 9/21

9-24-10



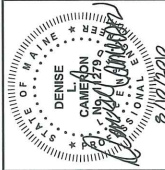
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 PORTLAND, MAINE 04102
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WOODARD & CURRAN
 COMMITMENT & INTEGRITY DRIVE RESULTS

LDD PROJECT NAME:
 DRAWING NAME:
 222804.02-C001.DWG
 FIELD BOOK USED:

REFERENCES:

DESIGNED BY: DLC	DRAWN BY: JBC	CHECKED BY: DLC	SCALE: 1"=40'	DATE: 08/10/2010
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RIVERSIDE SUBDIVISION
 SIDEWALK AND DRIVEWAY PLAN

CITY OF PORTLAND, MAINE
 PUBLIC SERVICES DEPARTMENT
 ENGINEERING SECTION



SHEET # 2
 PLAN NUMBER

EXISTING DRIVEWAY TO BE CLOSED UPON COMMENCEMENT OF A DEVELOPMENT REQUIRING ADMINISTRATIVE OR PLANNING BOARD SITE PLAN APPROVAL OR UPON CONSTRUCTION OF LOT #4 SHARED ACCESS DRIVE. INSTALL CURBING AND REMOVE PAVEMENT FROM ESPLANADE. PROVIDE 4" LOAM AND SEED

COORDINATE CONNECTION TO FUTURE NEMR SIDEWALK

REMOVE EXISTING VEGETATION AS NECESSARY TO CONSTRUCT SIDEWALK, LOAM AND SEED ALL DISTURBED AREAS

FIELD ADJUST WIDTH OF ESPLANADE AS NECESSARY TO AVOID UTILITY POLES, TREES, AND OBSTRUCTIONS

EXIST. VERTICAL GRANITE CURB TO REMAIN

PROPOSED SHARED ACCESS DRIVE TO BE CONSTRUCTED UPON DEVELOPMENT OF LOT #4 REQUIRING ADMINISTRATIVE PLANNING BOARD SITE PLAN APPROVAL. PROVIDE GRANITE TIPDOWNS AND ADA ACCESSIBLE CURB RAMP AT SIDEWALK

EXISTING DRIVEWAY TO BE CLOSED. REMOVE PAVEMENT FROM ESPLANADE, PROVIDE 4" LOAM AND SEED

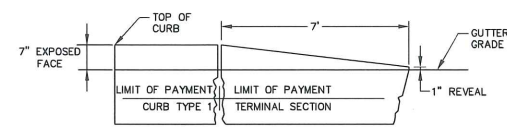
EXISTING ENTRANCE TO REMAIN
 PROVIDE ADA ACCESSIBLE CURB RAMP AT DRIVEWAY ENTRANCE (TYP.)
 RESET EXIST. SIGN

EXISTING ENTRANCE TO REMAIN
 PROVIDE TWO - 4" GRANITE TIPDOWNS ON EITHER SIDE OF EXISTING DRIVEWAY ENTRANCE. RESET EXISTING GRANITE CURB AS NECESSARY

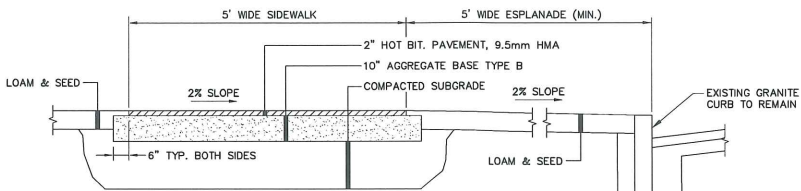
DRIVEWAY WIDTH NOTES:
 1. DRIVEWAY WIDTHS WILL BE REVIEWED BY THE CITY OF PORTLAND FOR FUTURE DEVELOPMENTS REQUIRING ADMINISTRATIVE OR PLANNING BOARD SITE APPROVALS. THE CITY OF PORTLAND MAY REQUIRE THAT THESE DRIVEWAYS BE REDUCED AS PART OF THE FUTURE SITE DEVELOPMENT IF THE CITY TRANSPORTATION ENGINEER DETERMINES THAT THE PROPOSED LAND USE WARRANTS A NARROWER DRIVE.

PLAN REFERENCES:
 1. BOUNDARY SURVEY PROVIDED BY CITY OF PORTLAND, MAINE, PUBLIC WORKS DEPARTMENT, ENGINEERING SECTION, DATED DECEMBER 16, 2005 AND REVISED APRIL 11, 2006, NUMBERED 1 OF 2, TITLED "STANDARD BOUNDARY SURVEY OF LUCAS TREE COMPANY SITE, RIVERSIDE STREET, PORTLAND, MAINE".
 2. TOPOGRAPHIC PLAN PROVIDED BY CITY OF PORTLAND, MAINE, PUBLIC WORKS DEPARTMENT, ENGINEERING SECTION, DATED DECEMBER 16, 2005 AND REVISED MARCH 30, 2007, NUMBERED 2 OF 2, TITLED "TOPOGRAPHIC PLAN OF LUCAS TREE COMPANY SITE, RIVERSIDE STREET, PORTLAND, MAINE".
 3. CONSERVATION EASEMENT PROVIDED BY THE CUMBERLAND COUNTY REGISTRY OF DEEDS, RECEIVED MARCH 31, 2010 AT 9:51 AM AND RECORDED IN PLAN BOOK 210, PAGE 129. PLAN TITLED "CONSERVATION EASEMENT PLAN FOR THE TRUST FOR PUBLIC LAND, 116 NEW MONTGOMERY STREET, SAN FRANCISCO, CA 94106, EASEMENT LOCATED RIVERSIDE STREET PORTLAND MAINE", DATED MARCH 3, 2010.

CURB TYPE 1 ON CURVES			
TYPE	RADIUS OF CURVE	LENGTH	STONE IS CUT OR CAST
1	0' TO 60' INCL.	4' MIN.	ARC TO FIT CURVE
	OVER 60' TO 160'	4' TO 6'	STRAIGHT PIECES



TERMINAL SECTION TYPE "1"
 N.T.S.
TERMINAL CURB SECTION
 N.T.S.

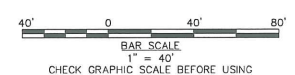


NOTE:
 1. AGGREGATE TYPES PER MDOT SECTION 304.02

BITUMINOUS SIDEWALK DETAIL
 N.T.S.

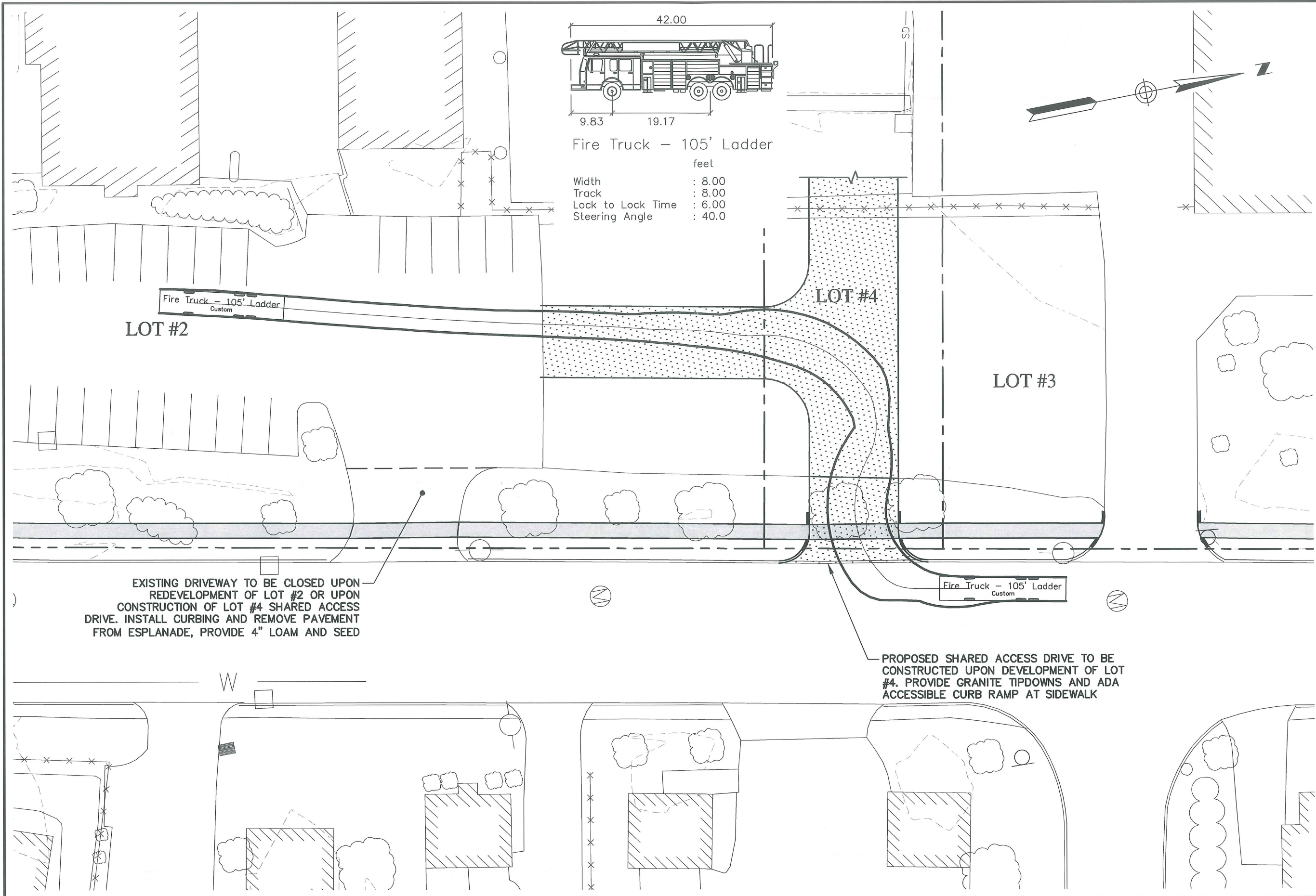
LEGEND

- 40- - - - - EXISTING CONTOUR (INDEX)
- 38- - - - - EXISTING CONTOUR (INTERVAL)
- 100' YEAR FLOOD BOUNDARY
- ZONE LINE
- /// CONSERVATION EASEMENT
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- SETBACK LINE
- GRAVEL
- EXISTING TREELINE
- WETLAND
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- FUTURE SHARED ACCESS DRIVE PAVEMENT
- EXISTING BUILDING
- PROPOSED EASEMENT



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8-26-10



LOT	IMPERVIOUS AREAS (ACRES)
1	0.63
2	2.81
3	3.51
4	2.61

PRE-2005 IMPERVIOUS AREAS

NOTE: ALL TOPOGRAPHY, EXISTING IMPROVEMENTS, OR DEED REFERENCES 1 AND 2, NO FIELD SURVEYING HAS BEEN COMPLETED BY OWEN HASSELL INC. INTERIOR LOT COMPUTATIONS ONLY BY OWEN HASSELL, INC.

DATE: _____

1" = 100'
GRAPHIC SCALE BEFORE USING

APPROVED BY CITY OF PORTLAND PLANNING BOARD.

DESIGNED AND BUILT WITH TROOPMS IN COMPLIANCE WITH THE CITY OF PORTLAND TECHNICAL MANUAL.

ALL CROSSWALKS AND DRIVEWAYS ACCESSORILY EASEMENT TO BE CONSTRUCTED PRIOR TO NOVEMBER 15, 2011.

22,982 S.F.

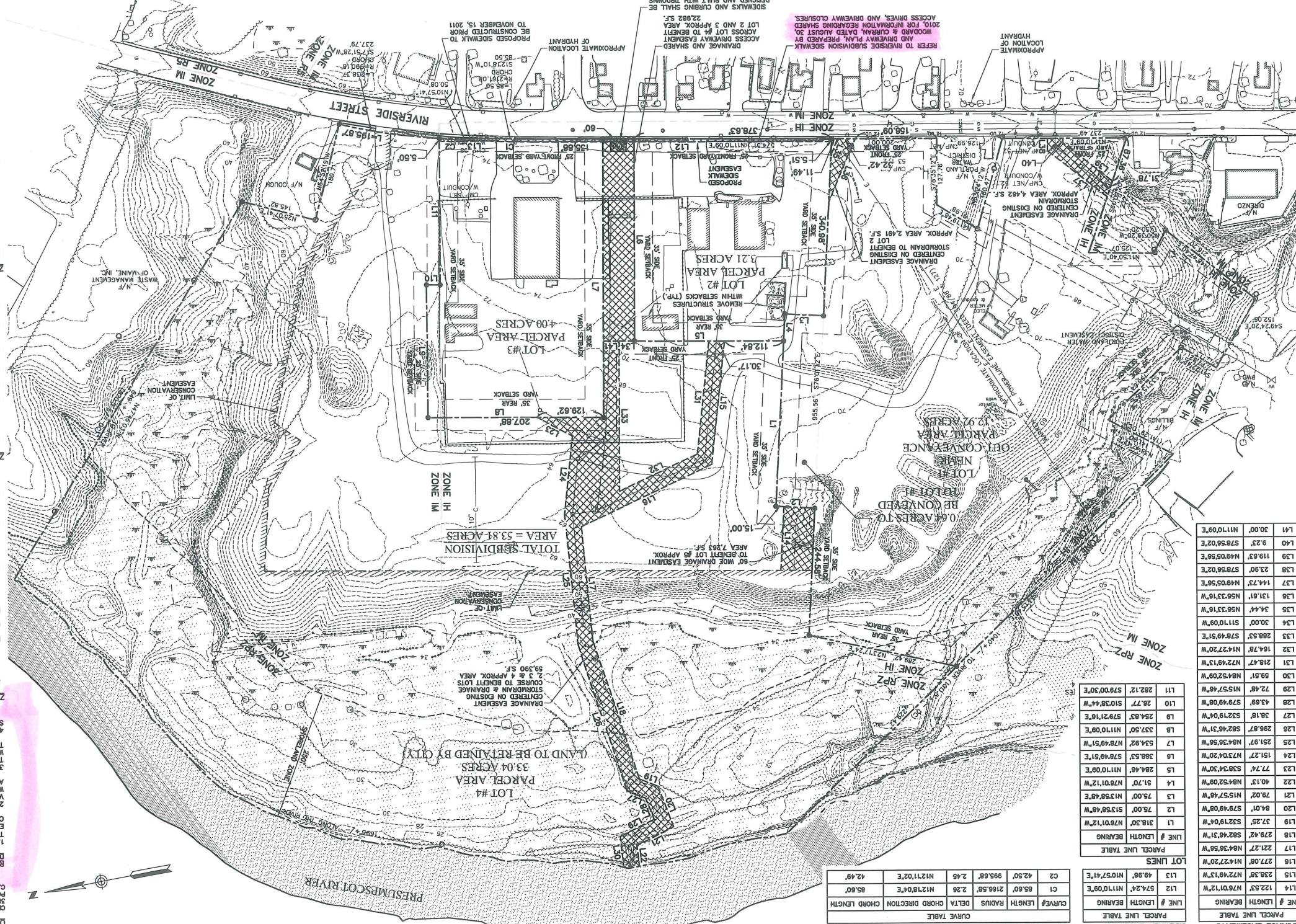
REFER TO RIVERSIDE SUBDIVISION SIDEWALK EASEMENT PLAN DATED AUGUST 30, 2010 FOR INFORMATION REGARDING SHARED WOODRUS & CURRAN DATED AUGUST 30, 2010 AND DRIVEWAY PLAN, PREPARED BY ACCESSORILY EASEMENT TO BE CONSTRUCTED PRIOR TO NOVEMBER 15, 2011.

APPROXIMATE LOCATION OF HYDRANT

DRAINAGE AND SHARED ACCESS LOT #4 TO BENEFIT LOT 2 AND 3 APPROX. AREA 22,982 S.F.

LEGEND

- EXISTING CONTOUR (INTERVAL)
- EXISTING CONTOUR (INFEET)
- 100' YEAR FLOOD BOUNDARY
- ZONE LINE
- 250' SHORELAND ZONE LINE
- EXISTING PAVEMENT
- EXISTING BUILDING
- PROPOSED PAVEMENT
- PROPOSED BUILDING
- PROPOSED EASEMENT
- PROPOSED ACCESS DRIVE
- SETBACK LINE
- FORMER LOT LINE
- CAPPED IRON ROD TO BE SET



PARCEL LINE TABLE

LINE #	LENGTH BEARING	CHORD DIRECTION	CHORD LENGTH
L16	277.08' N14°27'20"W		42.49'
L17	279.42' S82°45'13"W		85.60'
L18	37.25' S32°19'04"W		
L19	84.01' S78°49'08"W		
L20	75.00' S135°48'48"W		
L21	318.30' N78°01'12"W		
L22	51.70' N78°01'12"W		
L23	77.24' S38°34'30"W		
L24	151.27' N73°04'20"W		
L25	251.97' N64°35'56"W		
L26	298.87' S82°45'13"W		
L27	38.18' S32°19'04"W		
L28	43.69' S78°49'08"W		
L29	28.77' S103°38'44"W		
L10	282.12' S78°00'30"E		

SIDEWALK EASEMENT CURVE TABLE

CURVE#	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	85.60'	2166.58'	2.26	N12°11'02"E	85.60'
C2	42.50'	995.68'	2.45	N12°11'02"E	42.49'

OWNER OF RECORD:
CITY OF PORTLAND, MAINE
PUBLIC SERVICES DEPARTMENT
ENGINEERING SECTION
389 CONGRESS STREET
PORTLAND, MAINE 04101

OWNER OF RECORD:
RIVERSIDE SUBDIVISION
SUBDIVISION RECORDING PLAT

REFERENCES:

DESIGNED BY	DRAWN BY	CHECKED BY	SCALE	DATE
WOODRUS & CURRAN			1"=40'	09/09/2010

COMMITMENT & INTEGRITY DRIVE RESULTS
41 HITCHCOCK DRIVE
PORTLAND, MAINE 04102
800.228.4282 | www.woodrusandcurran.com

DRAWING NAME: ACAD-222804-02-0001.DWG
FIELD BOOK USED:

DATE: SEPTEMBER 21, 2010

REVISIONS SUBMISSION PLANNING BOARD CONDITIONS OF APPROVAL

- THE APPLICANT SHALL SUBMIT A LETTER FROM PORTLAND TRAILS CONFIRMING PERMISSION TO ESTABLISH DRAINAGE EASEMENTS WITHIN THE CONSERVATION EASEMENT OF LOT 4 FOR VARIOUS PROJECTS AND ASSOCIATED EASEMENTS) WITHIN THE CONSERVATION EASEMENT OF LOT 4 FOR CORPORATION COUNSEL REVIEW AND APPROVAL.
- THE APPLICANT SHALL SUBMIT FINAL AND EXECUTED COPIES OF VARIOUS PROJECTS AND ASSOCIATED EASEMENTS WITHIN THE CONSERVATION EASEMENT OF LOT 4 FOR APPROVAL PRIOR TO THE RELEASE OF THE SUBDIVISION PLAT.
- THE SUBDIVISION RECORDING PLAT SHALL INCLUDE A NOTATION THAT A TRAFFIC MOVEMENT PERMIT WILL BE NECESSARY IF AND WHEN THE TRIP LEVELS FOR THE SUBDIVISION REACHES PERMIT THRESHOLDS.
- UNLESS OTHERWISE APPROVED BY THE PLANNING BOARD UNDER SITE PLAN REVIEW, UNDERGROUND UTILITIES SHALL BE REQUIRED.

ZONE 1M DIMENSIONAL REQUIREMENTS

- A. MINIMUM LOT SIZE: TEN THOUSAND (10,000) SQUARE FEET
- B. MAXIMUM IMPERVIOUS SURFACE RATIO: I-M ZONE: SEVENTY-FIVE (75) PERCENT.
- C. MAXIMUM BUILDING HEIGHT: I-M ZONE: SEVENTY-FIVE (75) FEET.
- D. MINIMUM SIDE YARDS: PRINCIPAL AND ACCESSORY STRUCTURES IN THE I-M ZONE: LINE FOR EACH ONE (1) FOOT FROM EACH SIDE PROPERTY FOR EACH ONE (1) FOOT OF BUILDING HEIGHT, UP TO TWENTY-FIVE (25) FEET, EXCEPT THAT THE MINIMUM SIDE YARD SHALL BE THIRTY-FIVE (35) FEET.
- E. MINIMUM REAR YARDS: PRINCIPAL AND ACCESSORY STRUCTURES IN THE I-M ZONE: LINE FOR EACH ONE (1) FOOT FROM THE REAR PROPERTY FOR EACH ONE (1) FOOT OF BUILDING HEIGHT, UP TO TWENTY-FIVE (25) FEET, EXCEPT THAT THE MINIMUM REAR YARD SHALL BE THIRTY-FIVE (35) FEET, WHEN THE REAR PROPERTY LINE ADJUTS A RESIDENTIAL ZONE.
- F. MINIMUM FRONT YARD: PRINCIPAL AND ACCESSORY STRUCTURES IN THE I-M ZONE: LINE FOR EACH ONE (1) FOOT FROM THE FRONT PROPERTY FOR EACH ONE (1) FOOT OF BUILDING HEIGHT.
- G. MINIMUM STREET FRONTAGE: SIXTY (60) FEET.
- H. PAVEMENT SETBACK FROM LOT BOUNDARIES: TEN (10) FEET.

ZONE 1H DIMENSIONAL REQUIREMENTS

- A. MINIMUM LOT SIZE: TEN THOUSAND (10,000) SQUARE FEET
- B. MAXIMUM IMPERVIOUS SURFACE RATIO: I-H ZONE: EIGHTY-FIVE (85) PERCENT.
- C. MAXIMUM BUILDING HEIGHT: SEVENTY-FIVE (75) FEET.
- D. MINIMUM SIDE YARDS: PRINCIPAL AND ACCESSORY STRUCTURES IN THE I-H ZONE: THIRTY-FIVE (35) FEET.
- E. MINIMUM REAR YARDS: PRINCIPAL AND ACCESSORY STRUCTURES IN THE I-H ZONE: THIRTY-FIVE (35) FEET.
- F. MINIMUM FRONT YARD: PRINCIPAL AND ACCESSORY STRUCTURES IN THE I-H ZONE: TWENTY-FIVE (25) FEET.
- G. MINIMUM STREET FRONTAGE: SIXTY (60) FEET.
- H. PAVEMENT SETBACK FROM LOT BOUNDARIES: TEN (10) FEET.

ZONE RPZ DIMENSIONAL REQUIREMENTS

- A. MINIMUM BUILDING OR STRUCTURE: ONE (1) STORY OR FIFTEEN (15) FEET.
- B. MAXIMUM BUILDING AREA: PRINCIPAL BUILDING OR GROUP OF BUILDINGS: TEN PERCENT OF LOT AREA.
- C. MINIMUM LOT AREA: TWENTY THOUSAND (20,000) SQUARE FEET.
- D. MINIMUM WIDTH OF LOT: ONE HUNDRED (100) FEET.
- E. MINIMUM LOT FRONTAGE ON STREET OR SHORELINE: ONE HUNDRED (100) FEET.
- F. MINIMUM SHORELINE SETBACK: ALL PRINCIPAL STRUCTURES OTHER THAN PERMITTED PIERES, DOCKS, WHARVES, BREAKWATERS, CAISWAYS, BRIDGES, BOATHOUSES AND STOREHOUSES FOR FISHERMAN'S GEAR, SEVENTY-FIVE (75) FEET.

CONFORMANCE OF LOTS:

FROM APPROVAL OF THE PROPOSED SUBDIVISION, THE FOLLOWING SITE MODIFICATIONS SHALL BE PERFORMED TO BRING THE PROPOSED SUBDIVISION LOTS INTO CONFORMANCE WITH ZONING REGULATIONS. ITEMS OF WORK SHALL BE PERFORMED AS SOON AS POSSIBLE, BUT NO LATER THAN JUNE 2011.

- ALL PAVEMENT WITHIN 10 FEET OF THE LOT BOUNDARIES WILL BE REMOVED.
- ALL BUILDING OR STORAGE STRUCTURES WITHIN THE SETBACKS WILL BE REMOVED.
- REMOVAL OF IMPERVIOUS SURFACES AS NECESSARY TO MEET THE MAXIMUM IMPERVIOUS SURFACE RATIO.
- REQUIRED LANDSCAPING FOR PARKING AREAS FOR DEVELOPED LOTS.

LANDSCAPING SHALL BE CONSERVED OR PLANTED TO ADDRESS SEC. 14-287(C) STANDARDS OF THE CITY OF PORTLAND AND LANDSCAPE PRESERVATION STANDARDS OF THE CITY OF PORTLAND TECHNICAL MANUAL.

PLAN REFERENCES:

- BOUNDARY SURVEY PROVIDED BY CITY OF PORTLAND, MAINE, PUBLIC WORKS DEPARTMENT, ENGINEERING SECTION, DATED DECEMBER 16, 2005 AND REVISED APRIL 11, 2006, NUMBERED 1 OF 2, TITLED "STANDARD BOUNDARY SURVEY OF LOTS THREE COMPANY SITE, RIVERSIDE STREET, PORTLAND, MAINE."
- CONSERVATION EASEMENT PROVIDED BY THE GUMBERTLAND COUNTY REGISTRY OF DEEDS, RECEIVED MARCH 31, 2010 AT 9:51 AM AND RECORDED IN PLAN BOOK 210, PAGE 129, TITLED "CONSERVATION EASEMENT PLAN FOR THE TRUST ESTATE LOCATED INVERSOE, STREET PORTLAND MAINE, DATED MARCH 3, 2010.
- DRAWING INSTRUMENT LOCATED VIA GPS BY THE CITY OF PORTLAND DEPARTMENT OF PUBLIC SERVICES DURING A SITE VISIT ON SEPTEMBER 7, 2010.
- PLAN FROM OWEN HASSELL DATED AUGUST 31, 2010.

WAIVERS:

- THE APPLICANT REQUESTS A WAIVER OF SECTION 14-498 (A) IS RELATIVE TO SHOWING PROPOSED FINISH SPOT ELEVATIONS AROUND THE PERIMETER OF THE SUBDIVISION.

CONFIRMANCE OF LOTS:

1. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED MEETING THE CITY OF PORTLAND AND LANDSCAPE PRESERVATION STANDARDS OF THE CITY OF PORTLAND TECHNICAL MANUAL.

PORTLAND, MAINE

OWNER OF RECORD:
CITY OF PORTLAND, MAINE
PUBLIC SERVICES DEPARTMENT
ENGINEERING SECTION
389 CONGRESS STREET
PORTLAND, MAINE 04101

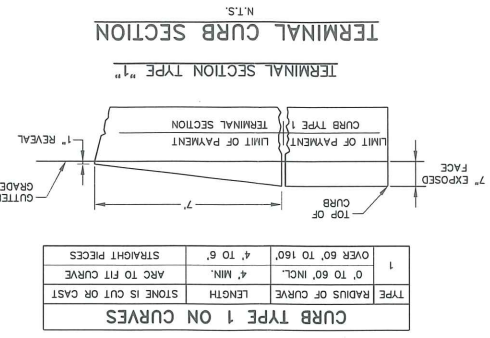
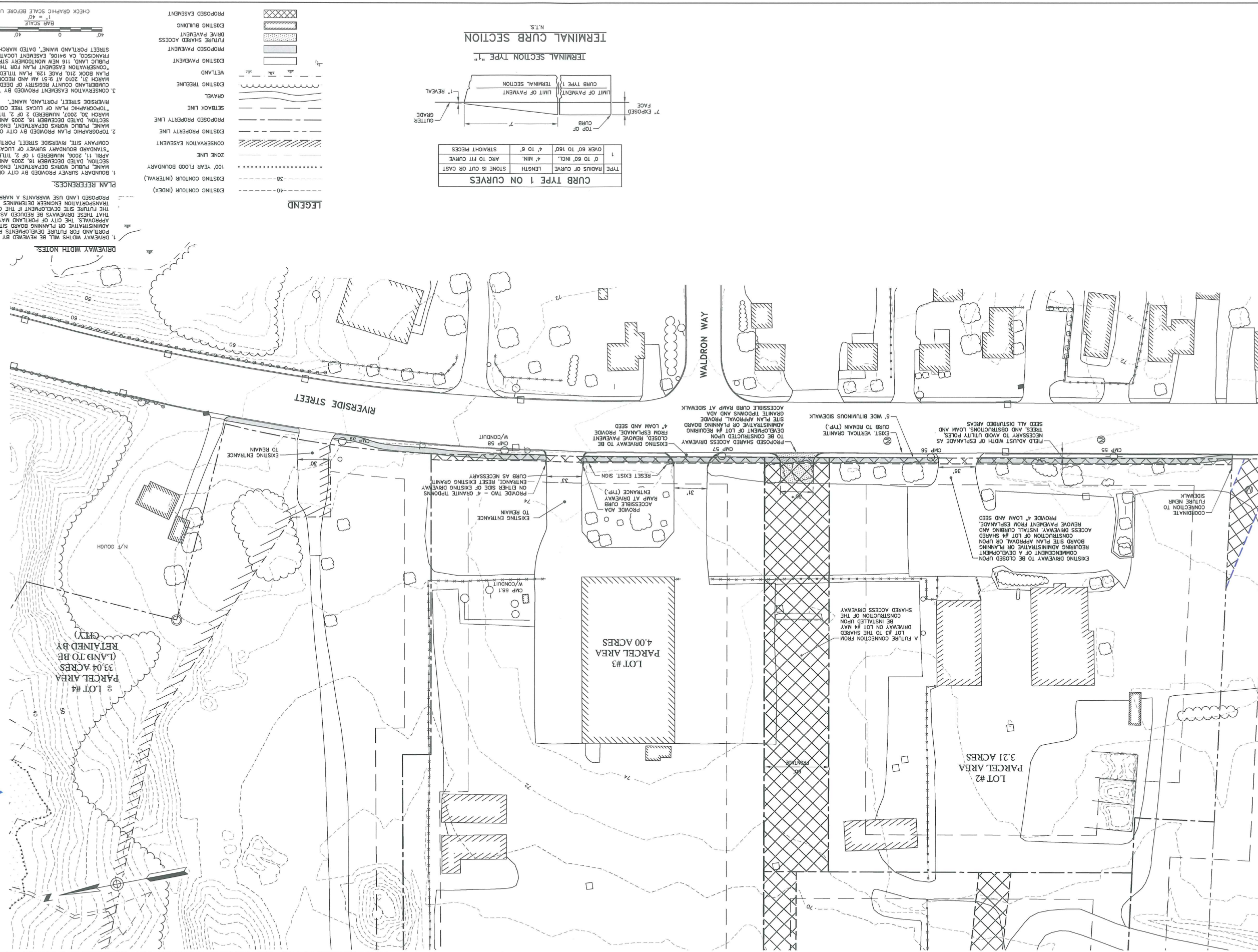
RIVERSIDE SUBDIVISION
SUBDIVISION RECORDING PLAT

DESIGNED BY: WOODRUS & CURRAN
DRAWN BY: _____
CHECKED BY: _____
SCALE: 1"=40'
DATE: 09/09/2010

DRAWING NAME: ACAD-222804-02-0001.DWG
FIELD BOOK USED: _____

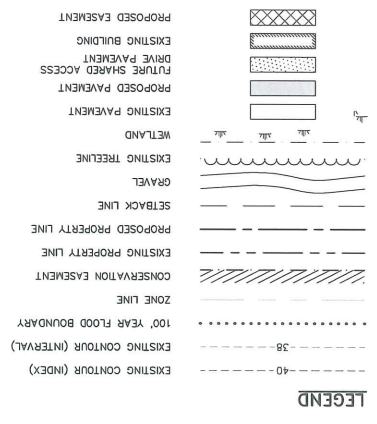
PLAN NUMBER: 1
SHEET #

9-28-10.pdf



CURB TYPE 1 ON CURVES

TYPE	RADIUS OF CURVE	LENGTH	STONE IS CUT OR CAST
1	0' TO 60' INCL.	4' MIN.	ARC TO FIT CURVE
	OVER 60' TO 160'	4' TO 6'	STRAIGHT PIECES



PLAN REFERENCES:

- BOUNDARY SURVEY PROVIDED BY CITY OF PORTLAND, NAME: PUBLIC DEPARTMENT ENGINEERING SECTION, DATED DECEMBER 16, 2005 AND REVISED APRIL 11, 2006, NUMBERED 1 OF 2, TITLED "STANDARD BOUNDARY SURVEY OF LUCAS TREE COMPANY SITE, RIVERSIDE STREET, PORTLAND, MAINE."
- TOPOGRAPHIC PLAN PROVIDED BY CITY OF PORTLAND, NAME: PUBLIC WORKS DEPARTMENT ENGINEERING SECTION, DATED DECEMBER 16, 2005 AND REVISED MARCH 30, 2007, NUMBERED 2 OF 2, TITLED "TOPOGRAPHIC PLAN OF LUCAS TREE COMPANY SITE, RIVERSIDE STREET, PORTLAND, MAINE."
- CONSERVATION EASEMENT PROVIDED BY THE PORTLAND PUBLIC LANDS TRUST FOR THE CITY OF PORTLAND, 116 NEW MONTELEONE STREET, SAN FRANCISCO, CA 94106, EASEMENT LOCATED RIVERSIDE STREET, PORTLAND MAINE, DATED MARCH 3, 2010.

DRIVEWAY WIDTH NOTES:

- DRIVEWAY WIDTHS WILL BE REVIEWED BY THE CITY OF PORTLAND FOR FUTURE DEVELOPMENTS REQUIRING ADMINISTRATIVE OR PLANNING BOARD SITE APPROVALS. THE CITY OF PORTLAND MAY REQUIRE THAT THESE DRIVEWAYS BE REDUCED AS PART OF THE FUTURE SITE DEVELOPMENT IF THE CITY TRANSPORTATION ENGINEER DETERMINES THAT THE PROPOSED LAND USE WARRANTS A NARROWER DRIVEWAY WIDTH.

PLANNING DEPARTMENT
ENGINEERING SECTION

CITY OF PORTLAND, MAINE
PUBLIC SERVICES DEPARTMENT
ENGINEERING SECTION

RIVERSIDE SUBDIVISION
SIDEWALK AND DRIVEWAY PLAN

DESIGNED BY: D.L.C.
DRAWN BY: J.A.C.
CHECKED BY: D.L.C.
SCALE: 1"=40'
DATE: 9/8/2010

REFERENCES:

LDD PROJECT NAME:
DRAWING NAME:
222804-02-C001.DWG
FIELD BOOK USED:

41 HUTCHINS DRIVE
PORTLAND, MAINE 04102
800.425.4322 | www.moodardscurran.com
COMMITMENT & INTEGRITY DRIVE RESULTS

MOODARD & CURRAN

STATE OF MAINE
CAMDEN
9/8/2010

PLANNING DEPARTMENT
ENGINEERING SECTION

SHEET # 2
PLAN NUMBER

CITY OF PORTLAND
PLANNING DEPARTMENT
ENGINEERING SECTION

POST DEVELOPMENT WATERSHEDS

SCALE: 1"=40'

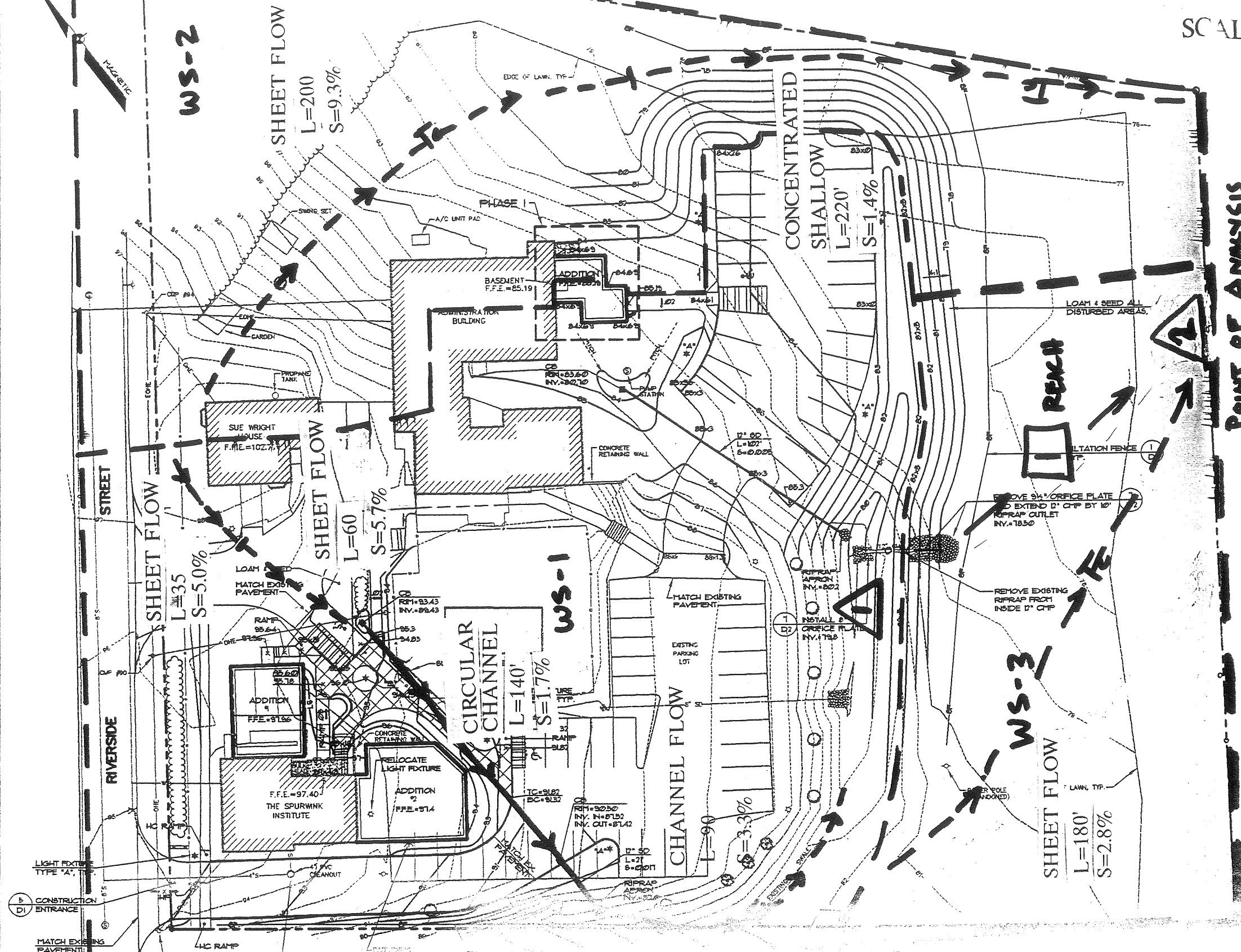
CONSTRUCTION NOTES

1. The approval of erosion and sedimentation control measures described in these plans in no way relieves the developer and/or his agent from the responsibilities contained in the Land Use Code.
2. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractor's responsibility to clean streets, alley dust, and take whatever measures are necessary to insure that the streets are maintained in a clean, mud and dust free condition at all times.
3. Contractors shall notify operators who maintain underground utilities in the area of proposed excavation or blasting at least three (3) but not more than thirty (30) days prior to commencement of excavation or demolition. Contractors shall be responsible for compliance with the requirements of 23 MRS.A 336@-A.
4. All disturbed areas shall be loamed and seeded in accordance with the Erosion and Sedimentation Control Plan prepared by Sebago Technics, Inc. December 1986.
5. Water and sewer services to the additions will be accessed from the existing structures.
6. Temporary benchmark is a spike in CIP pole #25, elev. +94.55 located west of entrance drive.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
—○—	IRON PIPE/ROD	—○—
▭	BUILDING	▭
—	SIGN	—
—	EDGE PAVEMENT	—
---	GRAVEL ROAD	---
—	CURELINE	—
~~~~~	TREELINE	~~~~~
—12"—	CONTOURS	—12"—
—12"SD	STORM DRAIN	—12"SD
—8"S	SEWER	—8"S
—OE	OVERHEAD ELEC. & TEL.	—OE
⊥	GATE VALVE	⊥
⊙	LIGHT POLE	⊙
⊕	UTILITY POLE	⊕
⊕	HYDRANT	⊕
⊕	CATCH BASIN	⊕
⊕	MANHOLE	⊕
—	CULVERT	—
30x20	SPOT GRADE	30x20
—	CHAIN LINK FENCE	—
—	STOCKADE FENCE	—
⊕	STONE WALL	⊕
⊕	DECIDUOUS TREE	⊕
⊕	CONIFEROUS TREE	⊕
—	SILT FENCE	—

POINT OF ANALYSIS



REV: A	BY: SGD	DATE: 12-12-96	ISSUED FOR MINOR SITE PLAN REVIEW
REV: B	BY:	DATE:	STATUS:

**GRADING & UTILITIES PLAN**  
**OF**  
**THE SPURWINK SCHOOL**  
 885-917 RIVERSIDE STREET  
 PORTLAND, MAINE 04103

# PRE-DEVELOPMENT WATERSHEDS

SCALE: 1"=40'

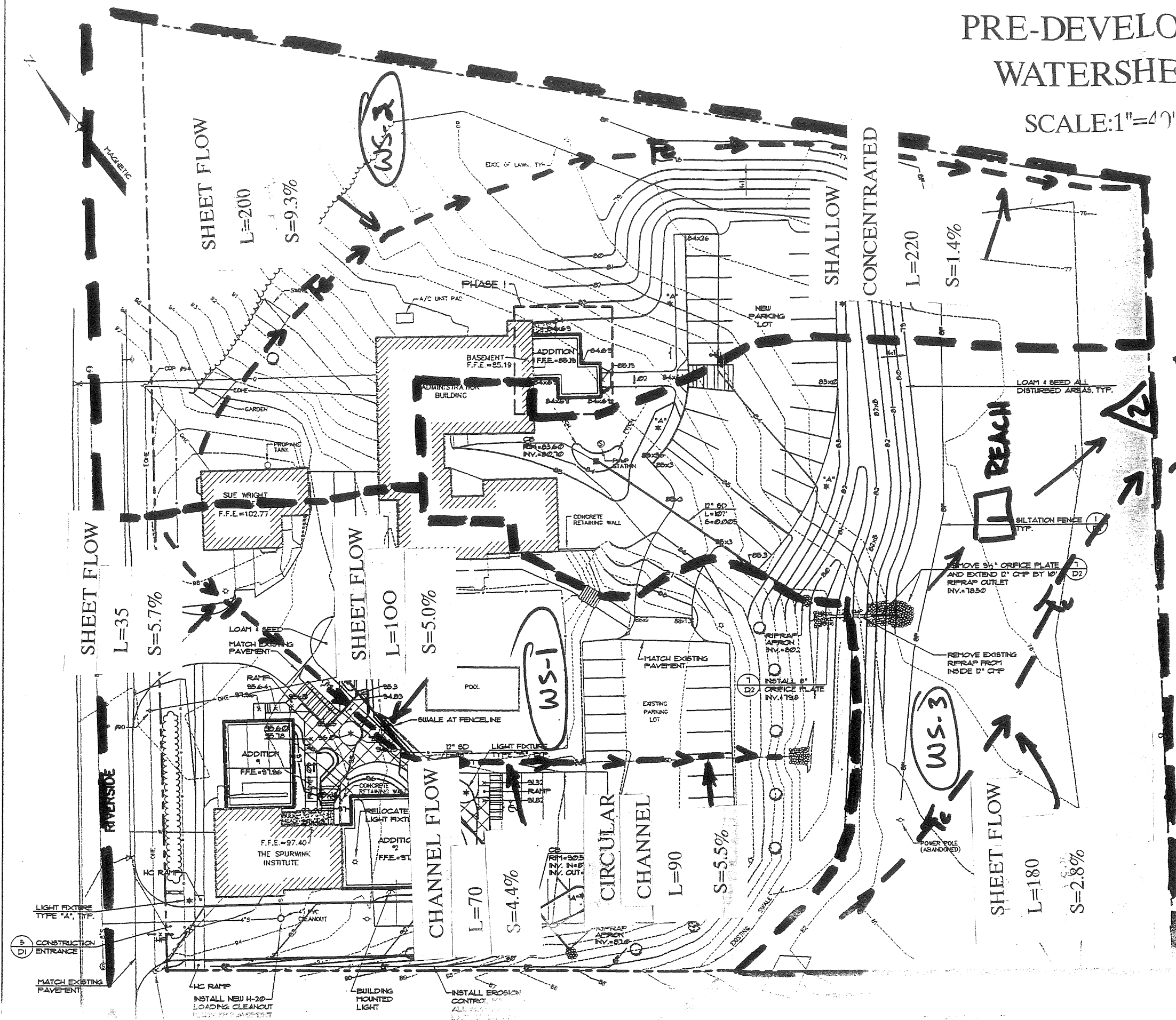
## CONSTRUCTION NOTES

- The approval of erosion and sedimentation control measures described in these plans in no way relieves the developer and/or his agent from the responsibilities contained in the Land Use Code.
- The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractor's responsibility to clean streets, alley dust, and take whatever measures are necessary to insure that the streets are maintained in a clean, mud and dust free condition at all times.
- Contractors shall notify operators who maintain underground utilities in the area of proposed excavation or blasting at least three (3) but not more than thirty (30) days prior to commencement of excavation or demolition. Contractors shall be responsible for compliance with the requirements of 23 M.R.S.A. 3360-A.
- All disturbed areas shall be loamed and seeded in accordance with the Erosion and Sedimentation Control Plan prepared by Geoteco Technics, Inc. December 1986.
- Water and sewer services to the additions will be accessed from the existing structures.
- Temporary benchmark is a spike in CIP pole #9, elev. +94.53 located west of entrance drive.

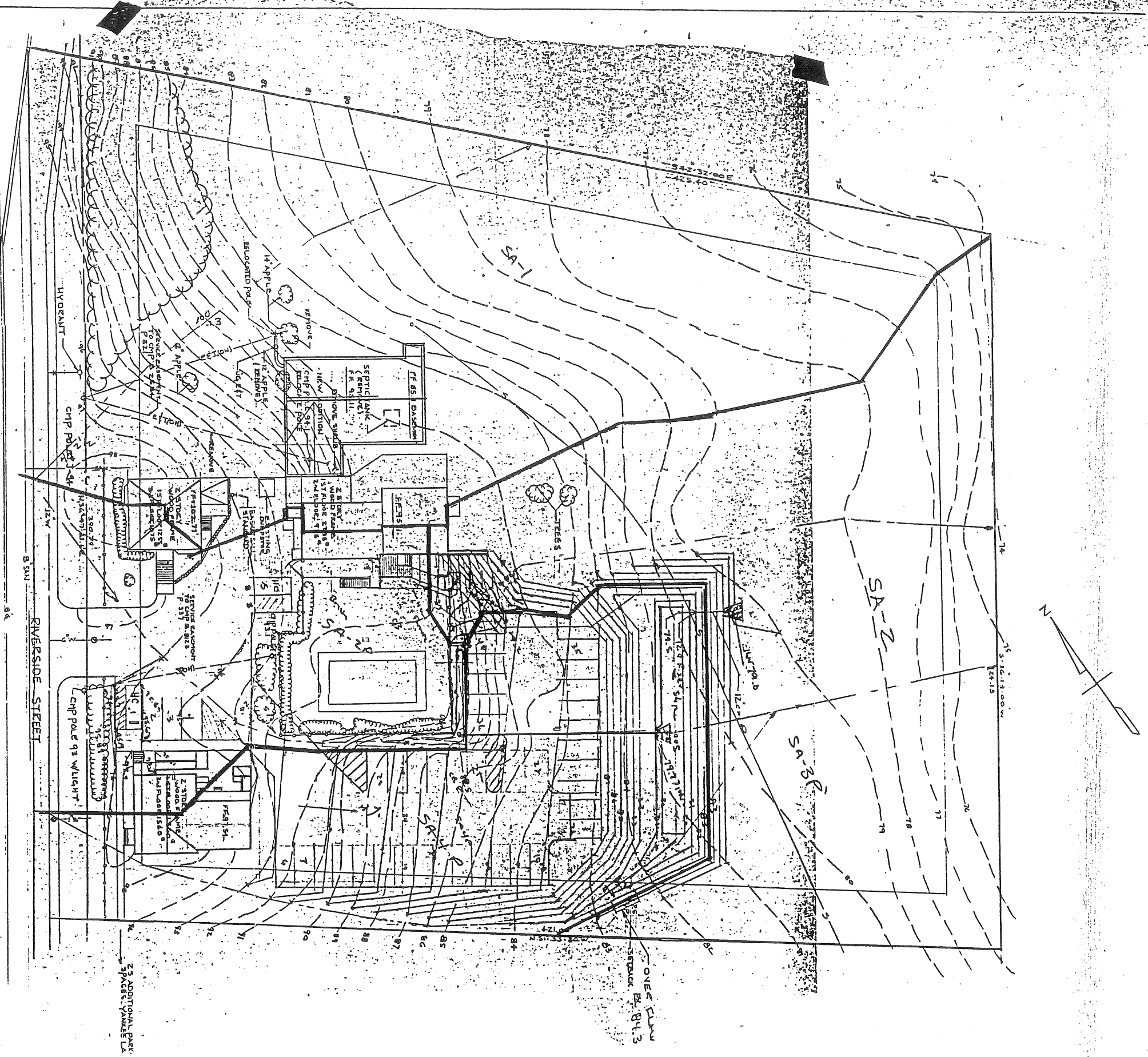
## LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---
—○—	IRON PIPE/CO	—○—
	BUILDING	
—	SIGN	—
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
~~~~~	TREELINE	~~~~~
---	CONTOURS	---
---	12" SD STORM DRAIN	---
---	8" S SEWER	---
—○—	OVERHEAD ELEC. / TEL	—○—
—x—	GATE VALVE	—x—
—*—	LIGHT POLE	—*—
—+—	UTILITY POLE	—+—
—+—	HYDRANT	—+—
—B—	CATCH BASIN	—B—
—M—	MANHOLE	—M—
—C—	CULVERT	—C—
30.20	SPOT GRADE	30.20
---	CHAIN LINK FENCE	---
---	STOCKADE FENCE	---
---	STONE WALL	---
○	DECIDUOUS TREE	○
⊗	CONIFEROUS TREE	⊗
—S—	SILT FENCE	—S—

POINT OF ANALYSIS



A	SGD	12-12-96	ISSUED FOR MINOR SITE PLAN REVIEW
REV:	BY:	DATE:	STATUS:
GRADING & UTILITIES PLAN OF THE SPURWINK SCHOOL 885-917 RIVERSIDE STREET PORTLAND, MAINE 04103			



PRESENT & FUTURE CONDITIONS

SCALE 1"=50'

23 ADDITIONAL PARK SPACES YANKEE LA

OVER FLOW SANDPAC BY BUL 3

RIVERSIDE STREET

SCALE 1"=50'

Sebago Technics
 Engineering & Planning for the Future
 12 WESTBROOK COMMON
 WESTBROOK, ME 04098-1338
 TEL (207) 856-0277

DESIGN BY: DCS JF
 DRAWN BY: DET
 CHECKED BY: 8/05/199
 DATE: 1'-36"
 SCALE: 52'
 FIELD BK: 9640
 PROJ NO: 9640
 DRAWING: 9640

CONCEPTUAL SITE PLAN
 OF:
 SPURWINK SCHOOL
 RIVERSIDE STREET, PORTLAND, ME
 FOR:
 SPURWINK ASSOCIATES
 699 RIVERSIDE STREET
 PORTLAND, ME 0410

REV.	BY:	DATE:	STATUS:

Scale 1" = 40'

LOCATION MAP
 NT9.

Attachment 4

