

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 2 Porch St (35 Cottage Pk Rd)		Owner: Ric Weinschenk	Phone: 767-3800
Owner Address: 16 Park Circle Cape Eliz, ME 04107		Leasee/Buyer's Name:	BusinessName:
Contractor Name:		Address:	Phone:
Past Use: Vacant Lot	Proposed Use: 1-fam	COST OF WORK: \$ 72,000.	PERMIT FEE: \$ 50. + 380.
Proposed Project Description: Construct 1-fam dwelling		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group A3 Type: EB BOCA 93
		Signature: _____	
Proposed Project Description: Construct 1-fam dwelling		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit No: **41036**
Mary Gresh

PERMIT ISSUED
SEP 28 1994
CITY OF PORTLAND
Zone: CBL

Zoning Approval:
Special Zone or Reviews:
 Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: Bill Weinschenk ADDRESS: _____ DATE: 16 Sept '94 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: 9/28/94
[Signature]

CEO DISTRICT **7**
M. Jordan

COMMENTS

10-13-94 (Setbacks internal OK)

12-16-94 (Framing started)

12-19-94 (2x4 16" OC walls Basement (sills anchored) sills + piers not P.T Lumber

1-25-95 (House 2x8 Rafter 16" OC, 2x8 Ridge + 2x10 Ridge (Main), Ceiling joist 2x6 16" OC
 Valley Rafter 2x10, 2nd Fl walls 2x6 2' OC, 2nd Fl headers 2x8 2 member, 1st floor
 joist 2x8 16" OC, 2 member Micro Lam above bay window header, 3 member 2x10 headers
 over bay window (Wall sheathing OSB structural 1/2" 24" same for Roof) Need 3 member hanger
 on 2x8 floor joist, Basement 2x8 fl joist 16" OC; 3 member 2x10 carry Beams
 Garage 2x12 Floor joist @ 16" OC (hangers not all on yet) 2 member Micro Lam garage
 door header, 2 member 2x6 header over windows
 (Not plans state Ext walls are 2x6 16" OC @ wall under bay window (OK per plans) (rest of
 Ext walls 2x6 @ 2' OC)

Inspection Record

Type	Date
Foundation: <u>Footings & Forms OK per ph</u>	<u>10-13-94</u>
Framing: <u>OK per plans</u>	<u>2-27-95</u>
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

APPLICANT: RIC WEINSCHENK
ADDRESS: 216 PARK CIRCLE - CAPE ELIZ.
~~2 PORCH ST.~~
SITE ADDRESS/LOCATION: 2 PORCH ST. (LOT #20)
DATE: 9/23/94

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to not increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW ARE IN FORCE FOR YOUR SITE PLAN

- All damage to sidewalk, curb, street, or public utilities shall be repaired prior to issuance of a Certificate of Occupancy.
- Two(2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- Your new street address is now 2 Porch St (Lot #20), the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- The Development Review Coordinator (874-8300, ext. 8722) must be notified five(5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- A sewer permit is required for your project. Please notify Paul Niehoff at 874-8300, ext. 8838. The Sewer Division of Parks and Public works (Jackie Wurslin at 797-5302) must be notified five(5) working days prior to sewer connection to schedule an inspector for your site.

_____ As-built record information for sewer and storm service connections must be submitted to Parks and Public Works engineering Division (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

_____ A street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

ℓ _____ The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvement as necessary due to field conditions.

ℓ _____ The site contractor shall establish finish grades at the building foundation to provide positive drainage. Finish grades at front of foundation (street side) shall be set above finish street elevation.

ℓ _____ Set hammered turn-a-round at least
2' from property line

cc: Paul Niehoff, Materials Engineer

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

September 28, 1994

RE: 2 Porch Street

Ric Weinschenk
16 Park Circle
Cape Elizabeth, ME 04107

Dear Sir:

Your application to construct a single family dwelling has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not preclude the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy can be issued until all requirements of this letter are met.

Site Plan Requirements

Inspection Services Approved William Giroux
Public Works Approved with conditions (see attached) Owens McCullough

Building Code Requirements

Please read and implement items 1, 7, 11, 13, 14 and 15 of the attached building permit report.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

/el

cc: William Giroux, Zoning Administrator
Owens McCullough, Planning

BUILDING PERMIT REPORT

Address 2 Porch ST. Date 28 Sept/94

Reason for Permit To Construct a 1 family dwelling

Bldg. Owner: R.C Weinschenk

Contractor: Owner

Permit Applicant: " "

Approval: *1, *7, *9 *11 *13 *14 *15

CONDITION OF APPROVAL:

- * 1. Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection).
2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a register land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hr., including fire doors with selfclosers.
5. Each apartment shall have access to (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing with one (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible locations between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.
- * 7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of special knowledge or separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping room must have minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm), and a minimum net clear opening of 5.7 sq.ft.
8. This permit does not preclude the applicant from meeting applicable Federal & State laws and City Licenses.

* 9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the building code 919.3.2 (BOCA National Building Code 1993), and NFPA 101 Chapter 18 & 19. (smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms
2. In all bedrooms
3. In each story within a dwelling unit, including basements

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by Fire Partitions and floor/ceiling assembly ;lies which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993).

* 11. Guardrails & Handrails - A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Group 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.

12. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023.& 1024.0 of the City's building code (The BOCA National Building Code/1993).

* 13. Stair construction in Use Group R-3, R-4 is a minimum of 9" tread and 8-1/4" maximum rise.

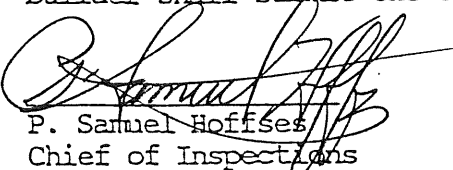
* 14. Headroom in habitable space is a minimum of 7'6".

* 15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.

16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final certificate or occupancy is issued or demolition permit is granted.

17. Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.


P. Samuel Hoffses
Chief of Inspections

Applicant: Ric Weinschenk

Date: 9-28-94

Address: 2 Porch st.

Assessors No.: 376-A-29

CHECK LIST AGAINST ZONING ORDINANCE

Date - 9-28-94

Zone Location - R3

Interior or corner lot -

Use - single

Sewage Disposal - city

Rear Yards -

Side Yards -

16' from other structures

Front Yards -

Projections - none

Height - 2 story

Lot Area -

Building Area -

Area per Family -

Width of Lot -

Lot Frontage -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning -

Flood Plains -

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Ric Weinschenk
 Applicant
16 park Circle ~~XXXXXX~~ Cape Eliz. 04107
 Mailing Address
1-fam
 Proposed Use of Site
12,187 sq ft / 1,744 sq ft
 Acreage of Site / Ground Floor Coverage

16 Sept 94
 Date
2 Porch St (Lot #20)
 Address of Proposed Site
376-A-029
 Site Identifier(s) from Assessors Maps
 Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Proposed Number of Floors X 1.5
 Total Floor Area 2,584 sq ft

Other Comments: _____

Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW

(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 - Requires Board of Appeals Action
 - Requires Planning Board/City Council Action

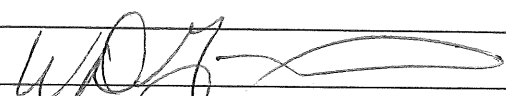
Explanation _____

Use complies with Zoning Ordinance — Staff Review Below

Zoning:
 SPACE & BULK,
 as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS	
COMPLIES																			
COMPLIES CONDITIONALLY																			CONDITIONS SPECIFIED BELOW
DOES NOT COMPLY																			REASONS SPECIFIED BELOW

REASONS: _____


 SIGNATURE OF REVIEWING STAFF/DATE

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Ric Weinschenk

16 Sept 94

Applicant 16 park Circle RXXXXXXXXX Cape Eliz. 04107

Date _____

Mailing Address 1-fam

Address of Proposed Site 2 Porch St (Lot #20)

Proposed Use of Site 12,187 sq ft / 1,744 sq ft

Address of Proposed Site 375-A-029

Acreage of Site / Ground Floor Coverage _____

Site Identifier(s) from Assessors Maps _____

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors X 1.5

Board of Appeals Action Required: () Yes () No

Total Floor Area 2,584 sq ft

Planning Board Action Required: () Yes () No

Zoning of Proposed Site _____

Other Comments: _____

Date Dept. Review Due: _____

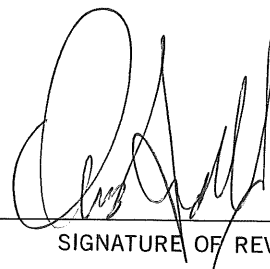
PUBLIC WORKS DEPARTMENT REVIEW

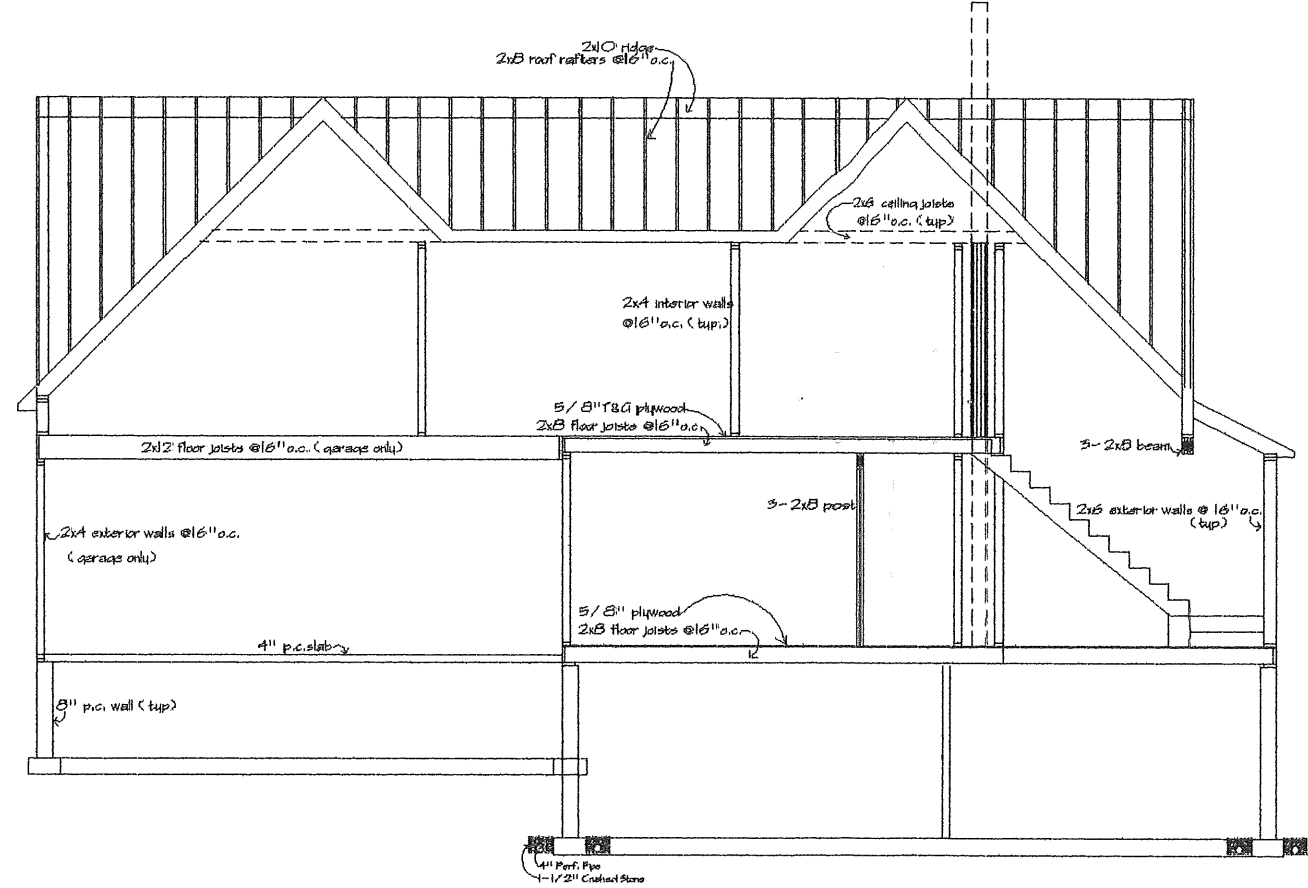
9/17/94
(Date Received)

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	APPROVED W/ ATTACHED CONDITIONS															CONDITIONS SPECIFIED BELOW
APPROVED CONDITIONALLY																
DISAPPROVED																

REASONS: _____

(Attach Separate Sheet if Necessary)

 9/23/94
 SIGNATURE OF REVIEWING STAFF/DATE



DATE: 15 AUGUST 1994
 SCALE: 1/8" = 1'-0"
 SHEET NO. 3 of 6

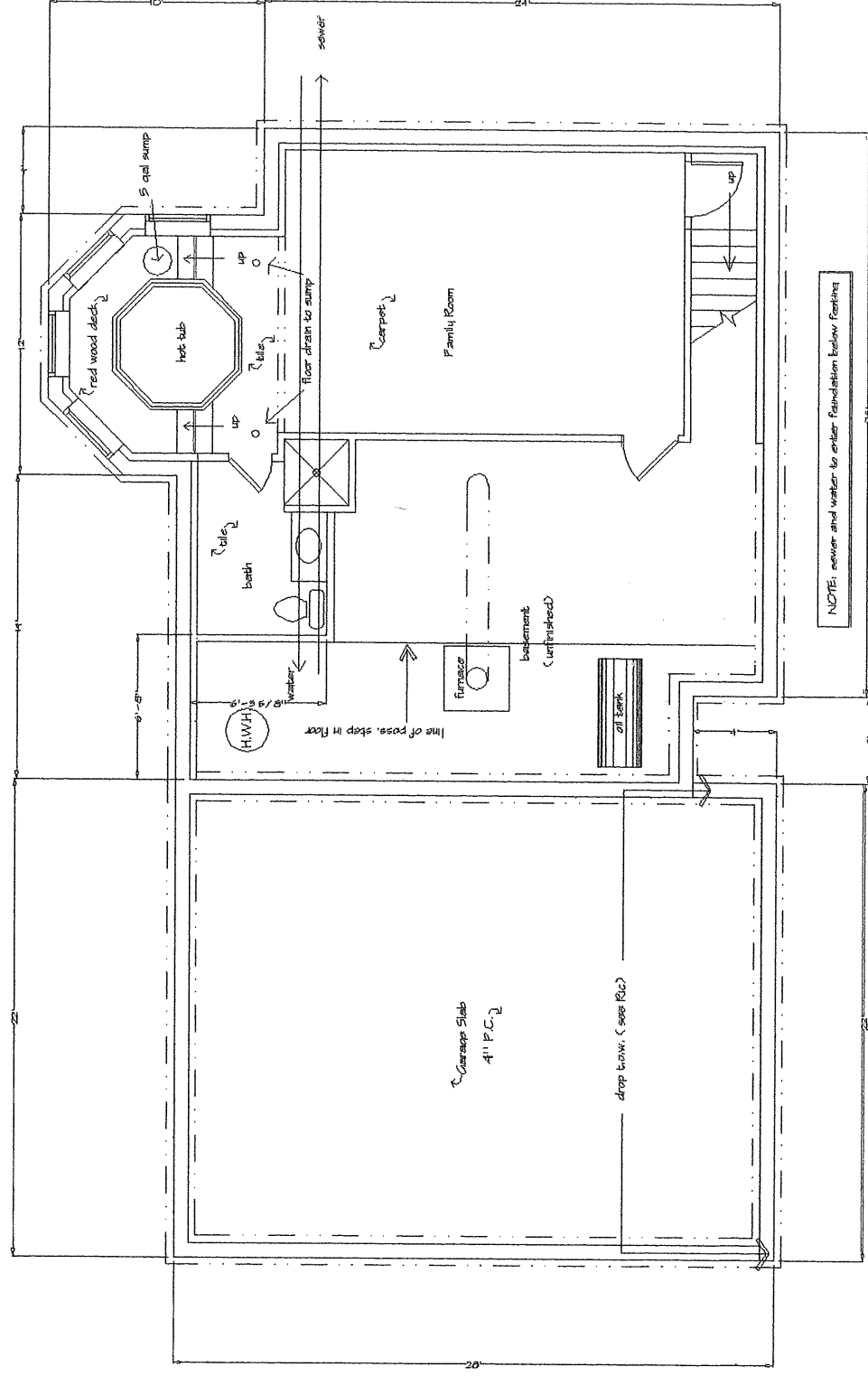
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TITLE: HOUSE #20
 COTTAGE PARK
 PORTLAND, MAINE

SECTION

APPROVED BY:

RIC WEINSCHENK
 16 PARK CIRCLE
 CAPE ELIZABETH, MAINE 04107
 207-767-5800 phone
 207-797-7703 fax



FOUNDATION PLAN

APPROVED BY:

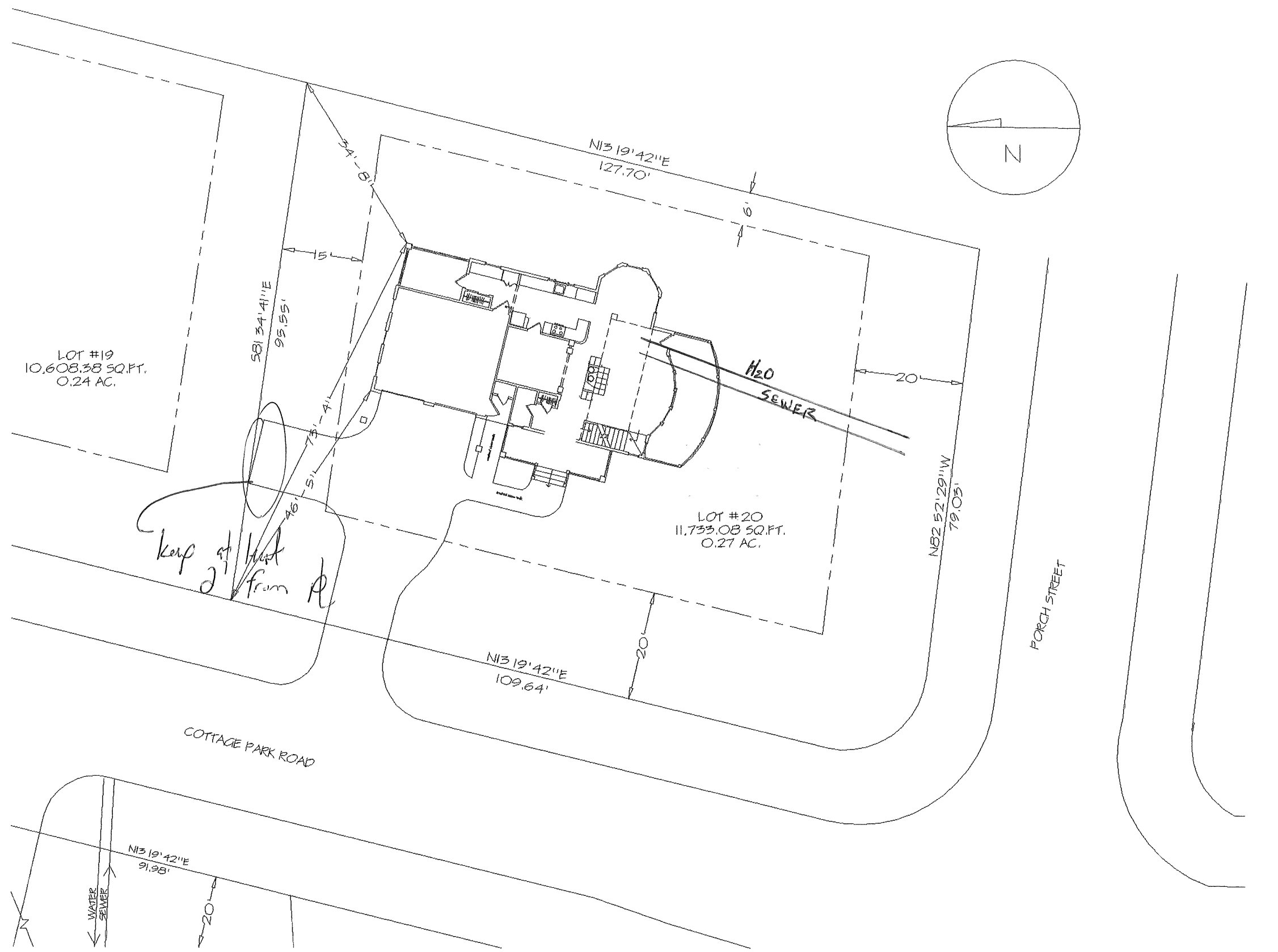
RIC WEINSCHENK
16 PARK CIRCLE
CAPE ELIZABETH, MAINE 04107
207-767-5800 phone
207-797-7703 fax

TITLE: HOUSE # 20
COTTAGE PARK
PORTLAND, MAINE

FOUNDATION PLAN

DATE: 15 AUGUST 1994
SCALE: 1/8" = 1'-0"
SHEET NO. 2 of 6

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LOT #19
10,608.38 SQ.FT.
0.24 AC.

LOT #20
11,733.08 SQ.FT.
0.27 AC.

*Keep at least
2' from R*

DATE: 15 AUGUST 1994
SCALE: 1" = 20' - 0"
SHEET NO. 1 of 6

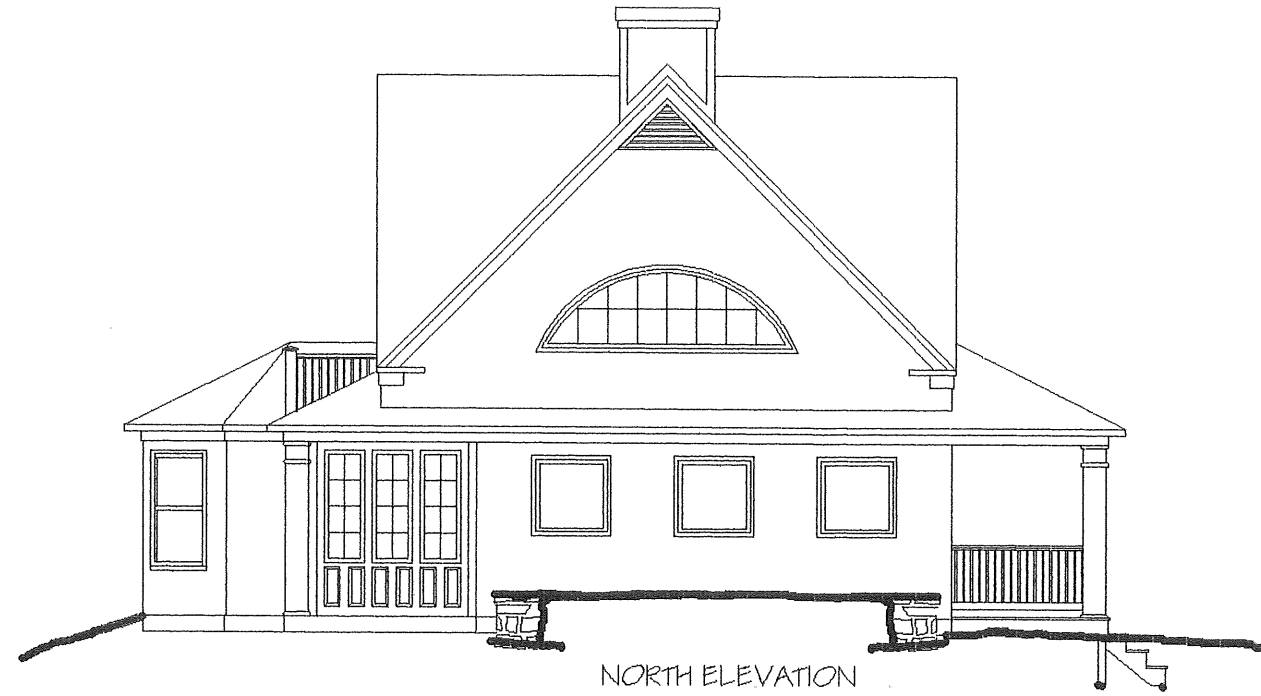
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TITLE: HOUSE #20
COTTAGE PARK
PORTLAND, MAINE

SITE PLAN

APPROVED BY:

RIC WEINSCHENK
16 PARK CIRCLE
CAPE ELIZABETH, MAINE 04107
207-767-3800 phone
207-797-7703 fax



DATE: 15 AUGUST 1994
 SCALE: 1/8"=1'-0"
 SHEET NO. 4 of 6

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TITLE: HOUSE #20
 COTTAGE PARK
 PORTLAND, MAINE

NORTH & WEST ELEVATIONS

APPROVED BY:

RIC WEINSCHENK
 16 PARK CIRCLE
 CAPE ELIZABETH, MAINE 04107
 207-767-5800 phone
 207-797-7703 fax



SOUTH ELEVATION



EAST ELEVATION

DATE: 15 AUGUST 1994
 SCALE: 1/8"=1'-0"
 SHEET NO. 5 of 6

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TITLE: HOUSE #20
 COTTAGE PARK
 PORTLAND, MAINE

SOUTH & EAST ELEVATIONS

APPROVED BY:

RIC WEINSCHENK
 16 PARK CIRCLE
 CAPE ELIZABETH, MAINE 04107
 207-767-3800 phone
 207-797-7703 fax