

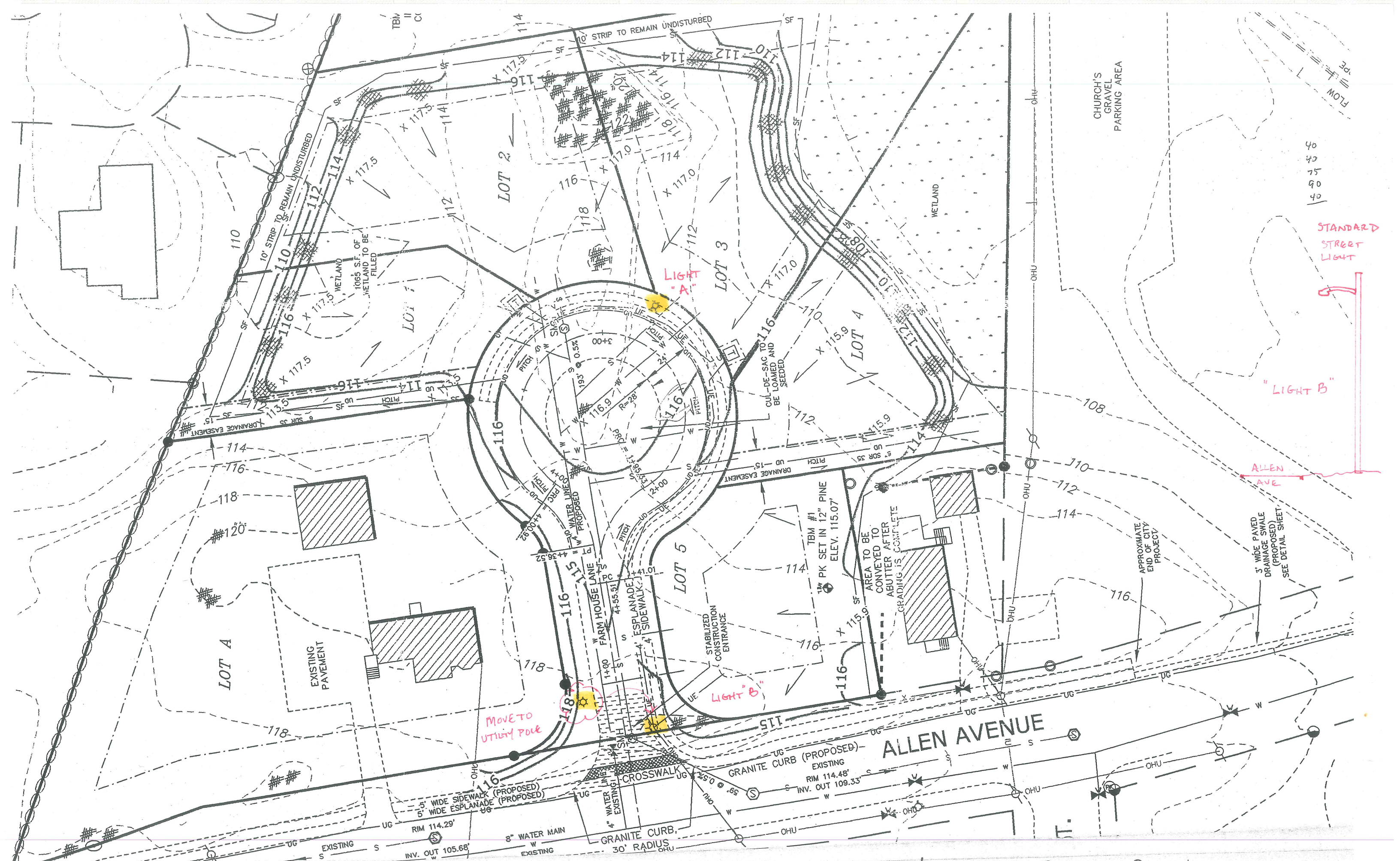
376 A 002001

502-502 Allen Ave, Portland, ME

Allen Ave

Avdet Wilfred J. Jr

2001-0172



40  
45  
50  
55  
60

STANDARD  
STREET  
LIGHT



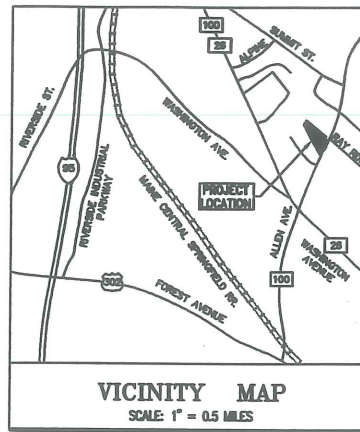
"LIGHT B"

ALLEN  
AVE

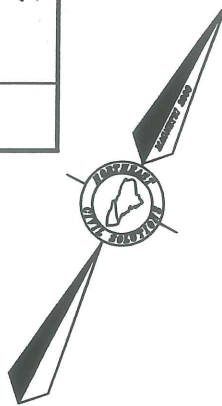
3' WIDE PAVED  
DRAINAGE SWALE  
(PROPOSED)  
SEE DETAIL SHEET

NORTHGATE FARM - SUBDIVISION SCALE 1" = 40'





VICINITY MAP  
SCALE: 1" = 0.5 MILES



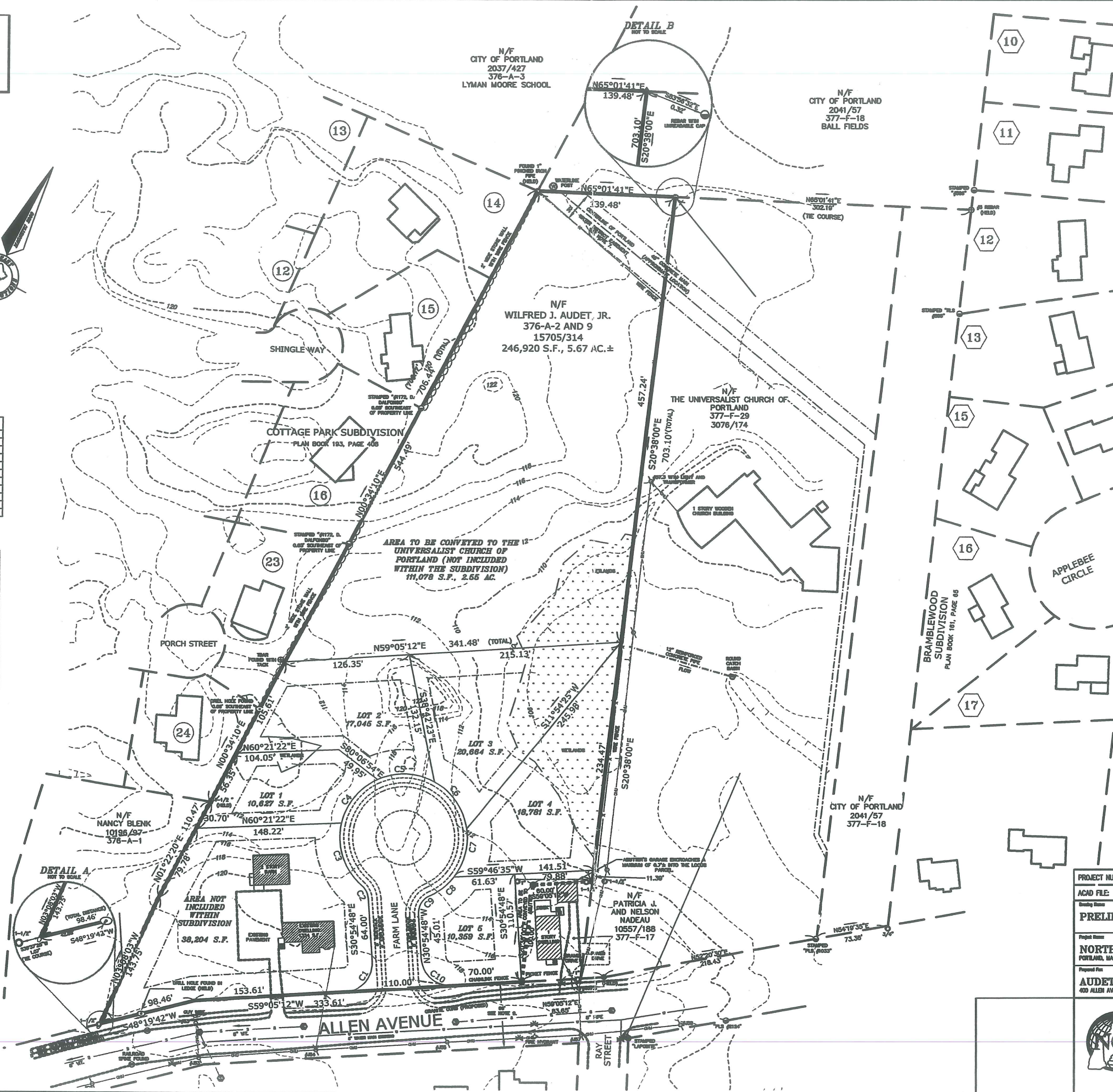
CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA	TANGENT
1	47.12	30.00	N14°05'12"E	42.43	90°00'00"	30.00
2	15.82	20.00	S83°24'41"W	15.41	45°18'46"	8.35
3	70.19	65.00	S45°18'20"E	68.63	61°32'27"	38.96
4	60.00	65.00	S12°04'28"W	57.89	52°53'10"	32.33
5	60.00	65.00	S84°07'38"W	57.89	52°53'10"	32.33
6	60.00	65.00	N82°07'12"E	57.89	52°53'10"	32.33
7	52.62	65.00	N12°31'14"E	51.19	48°22'48"	27.85
8	31.28	65.00	N24°27'25"E	30.98	27°34'32"	15.95
9	24.14	20.00	S83°28'36"W	22.70	68°08'28"	13.79
10	47.12	30.00	S75°34'48"E	42.43	90°00'00"	30.00

**NET RESIDENTIAL AREA CALCULATIONS**

TOTAL AREA	97,633 S.F.
1) STORM WATER (ESTIMATED)	6,000 S.F.
2) WATERCOURSES	0
3) INACCESSIBLE AREA	0
4) WETLANDS	19,885 S.F.
5) EASEMENTS	0
6) SLOPES	4,575 S.F.
7) 20% OF REMAINING AREA	67,173 S.F.
TOTAL NET RESIDENTIAL AREA	53,738 S.F.

**APPROVED BY THE CITY OF PORTLAND PLANNING BOARD**

CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_



**LEGEND**

- SET #5 REBAR WITH PLASTIC CAP STAMPED "DES LAURENS PLUS 1314"
- FOUND #5 REBAR WITH CAP STAMPED AS NOTED
- FOUND IRON PIPE (SIZE AS NOTED)
- FOUND REBAR (SIZE AS NOTED)
- FOUND "M" MAIL SEWER MANHOLE
- WATER SHUTOFF VALVE
- UTILITY POLE
- UTILITY POLE
- TREE LINE (APPROXIMATE)
- STONEWALL
- ( ) PARENTHESES DENOTE RECORD DATA
- X-X-X- ABUTTER OR RIGHT-OF-WAY LINE
- BOUNDARY LINE
- X-X-X- FENCE (TYPE AS NOTED)
- BUILDING ENVELOPE
- N/F NOW OR FORMERLY OWNED BY
- THE COURSE
- TRAVELLED WAY
- OVERHEAD UTILITY LINE
- UNDERGROUND SEWER LINE
- UNDERGROUND WATER LINE
- EDGE OF WETLANDS
- CONTOUR LINE (EXISTING)
- 1234/567 DEED BOOK AND PAGE (CORD)
- 378-A-2 TAX MAP-BLOCK-LOT
- ⊙ LOT NUMBER (BRAMBLEWOOD SUBDIVISION)
- ⊙ LOT NUMBER (COTTAGE PARK SUBDIVISION)
- ⊙ WETLAND AREA

Att. 13

**GENERAL NOTES**

- THE BASIS OF BEARING FOR THIS SURVEY IS 2000 MAGNETIC NORTH MERIDIAN.
- DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS. (CORD)
- RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM CHARLES B. AND JEAN D. WERT TO WILFRED J. AUDET, JR. DATED SEPTEMBER 1, 2000 AND RECORDED IN DEED BOOK 15705, PAGE 314.
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
  - "PLAN OF LANDS FOR NORTH DEERING SCHOOL PROPERTY MADE FOR THE CITY OF PORTLAND," BY H.L. & E.C. JORDAN, DATED NOVEMBER, 1915. (NOT RECORDED)
  - "PLAN OF PROPERTY FOR ROBERT L.S. MCCLURE III AND JEANNE D. MCCLURE," BY SURVEY, INC., DATED NOVEMBER 1984. (NOT RECORDED)
  - "PLAN OF LYMAN MOORE MIDDLE SCHOOL," BY CITY OF PORTLAND PUBLIC WORKS DEPARTMENT, DATED JUNE 14, 1994. (NOT RECORDED)
  - "BRAMBLEWOOD," BY SURVEY, INC., DATED FEBRUARY, 1967, RECORDED IN PLAN BOOK 181, PAGE 65.
  - "COTTAGE PARK PRUD LAYOUT PLAN," BY PARHAM & GREER, DATED OCTOBER 28, 1963, RECORDED IN PLAN BOOK 193, PAGE 408.
- THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP 378, BLOCK A, PARCELS 2 AND 9.
- THE PARCEL SURVEYED IS LOCATED IN THE RESIDENTIAL 3 (R-3) ZONE. BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS FOR A PLANNED RESIDENTIAL UNIT DEVELOPMENT (PRUD):
  - MINIMUM LOT SIZE: 3 ACRES
  - MINIMUM LOT AREA PER DWELLING UNIT: 6500 S.F.
  - MAXIMUM NUMBER OF UNITS IN A BUILDING OF 5 AC. OR MORE: 6 UNITS
  - MAXIMUM AVERAGE NUMBER OF UNITS IN A BUILDING OF 5 AC. OR MORE: 5 UNITS
  - MAXIMUM LENGTH OF "PRUD" BUILDING WITH INTEGRAL GARAGE: 140'
  - MINIMUM BUILDING SETBACK FROM EXTERNAL SUBDIVISION PROPERTY LINES WITH 4 OR MORE DWELLING UNITS IN BUILDING: 35 FEET
  - MINIMUM RECREATION OPEN SPACE AREA: 300 S.F. PER DWELLING UNIT.
- REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD: WATER LINE EASEMENT CONVEYED TO THE PORTLAND WATER DISTRICT IN A DEED DATED JANUARY 15, 1954 AND RECORDED IN DEED BOOK 2167, PAGE 162.
- THE WESTERLY BOUNDARY LINES WERE ESTABLISHED USING FOUND MONUMENTS AND EVIDENCE OF OCCUPATION.
- THE WIDTH AND LAYOUT OF ALLEN AVENUE WAS FOUND IN THE "BLUE SHEETS" RECORDS OF THE CITY OF PORTLAND ENGINEER'S OFFICE. SAID WIDTH IS 66'. THE RIGHT-OF-WAY WAS ESTABLISHED USING THE RECORD LAYOUT ("BLUE SHEETS") AND FOUND MONUMENTATION.
- THE SUBJECT PARCEL IS LOCATED IN ZONE C OF THE FLOOD INSURANCE RATE MAP COMMUNITY FLOOD HAZARD ZONING WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1996 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

PROJECT NUMBER: 20358  
ACAD FILE: 20358SBS.dwg SCALE: 1" = 50' DATE: JULY 3, 2001

**PRELIMINARY SUBDIVISION PLAN**

Project Name: **NORTHGATE FARMS ON ALLEN AVENUE**  
PORTLAND, MAINE

Prepared For: **AUDET LAND COMPANY, LLC.**  
400 ALLEN AVENUE, PORTLAND, MAINE 04103

SURVEYING ENGINEERING LAND PLANNING  
**Northeast Civil Solutions**  
INCORPORATED  
153 US ROUTE 1, SCARBOROUGH, MAINE 04074  
tel 207.883.1000 fax 207.883.1001 e-mail ncs@net.net  
601.882.5227

SHEET 1 OF 1

SKETCH PLAN, NORTHEAST CIVIL SOLUTIONS, INC.



PRELIMINARY SUBDIVISION PLAN, THE DESIGN, A REGISTERED CIVIL ENGINEER, INC.

13  
OF  
1  
SHEET

**Northeast Civil Solutions**  
SURVEYING ENGINEERING LAND PLANNING  
INCORPORATED  
163 US ROUTE 1, SCARBOROUGH, MAINE 04074  
TEL: 207.853.1000 FAX: 207.853.1001  
WWW.NEASTCIVILSOLUTIONS.COM

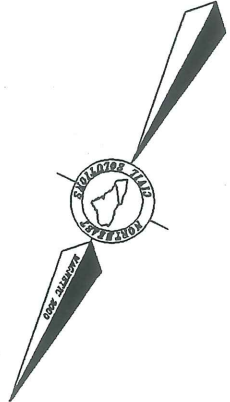
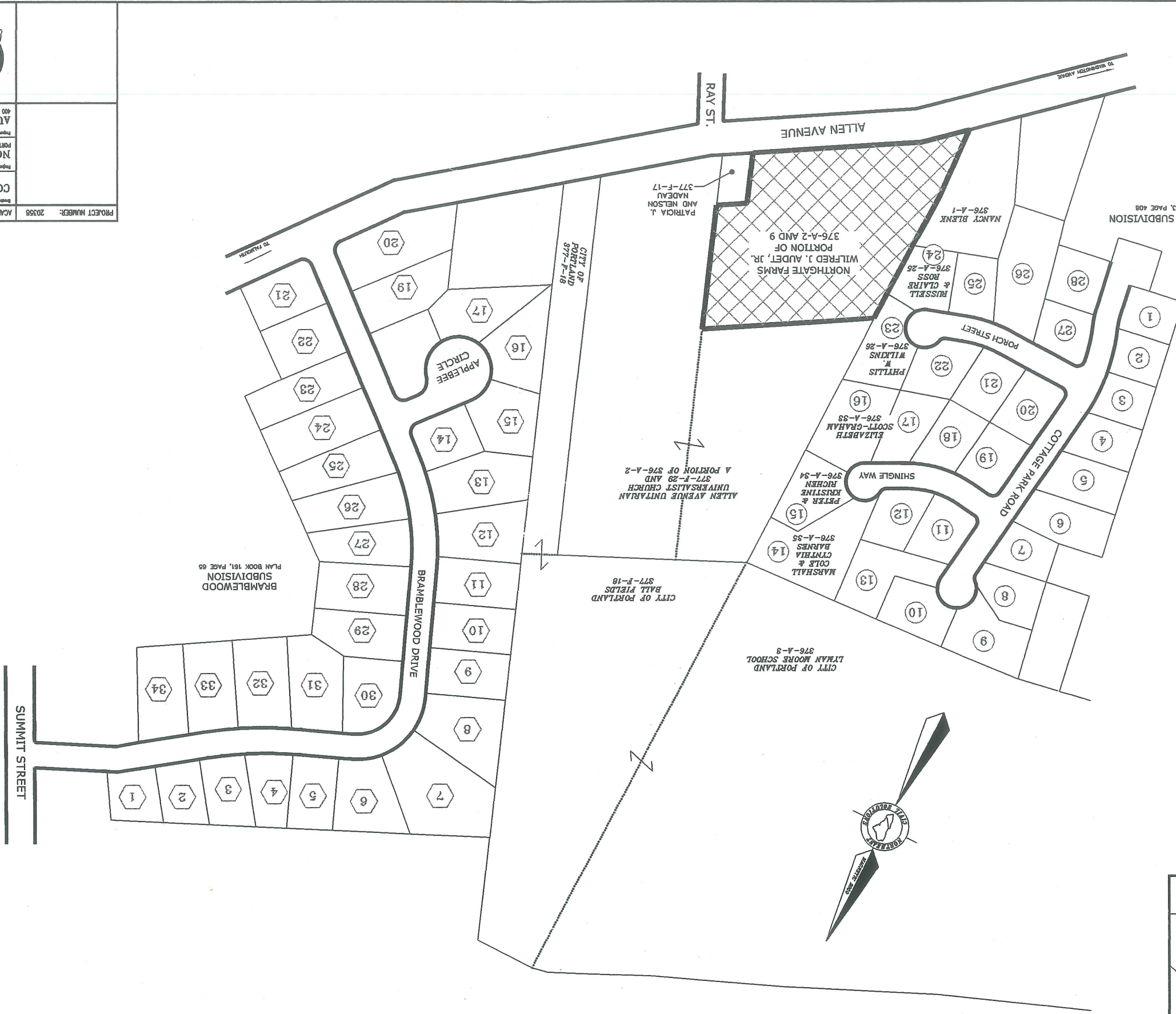
PROJECT NUMBER: 20358  
ACAD FILE: 20358SS.dwg  
SCALE: 1" = 100'  
DATE: AUGUST 21, 2001

COVER PAGE AND LOCATION PLAN  
NORTHGATE FARMS ON ALLEN AVENUE  
PORTLAND, MAINE  
AUDLET LAND COMPANY, LLC.  
400 ALLEN AVENUE, PORTLAND, MAINE 04103


**LEGEND :**

- SET #5 REBAR WITH PLASTIC CAP STAMPED
- FOUND #5 REBAR WITH CAP STAMPED AS NOTED
- FOUND IRON PIPE (SIZE AS NOTED)
- FOUND REBAR (SIZE AS NOTED)
- FOUND "PK" NAIL
- SEWER MANHOLE
- WATER SHUTOFF VALVE
- UTILITY POLE
- TREE LINE (APPROXIMATE)
- STONEWALL
- PARABOLICS DENOTE RECORD DATA (188.4')
- BATTER OR RIGHT-OF-WAY LINE
- BOUNDARY LINE
- FENCE (TYPE AS NOTED)
- BUILDING ENVELOPE
- N/A NOW OR FORMERLY OWNED BY
- THE COURSE
- TRAVELLED WAY
- OVERHEAD UTILITY LINE
- SEWER LINE
- WATER LINE
- EDGE OF WETLANDS
- CONTOUR LINE (EXISTING)
- 1234/567 DEED BOOK AND PAGE (CORD)
- 376-A-2 TAX MAP-BLOCK-LOT
- LOT NUMBER (BRAMBLEWOOD SUBDIVISION)
- LOT NUMBER (COTTAGE PARK SUBDIVISION)
- WETLAND AREA

- SHEET INDEX**
1. COVER PAGE AND LOCATION PLAN
  2. PRELIMINARY SUBDIVISION PLAN
  3. FINAL SITE, GRADING AND DRAINAGE PLAN
  4. HIGH INTENSITY CLASS B SOILS SURVEY
  5. PRE-DEVELOPMENT DRAINAGE PATTERNS PLAN
  6. POST-DEVELOPMENT DRAINAGE PATTERNS PLAN
  7. ROAD PLAN AND PROFILE
  8. EROSION AND SEDIMENTATION CONTROL PLAN
  9. EROSION AND SEDIMENTATION CONTROL DETAILS
  10. SEWER AND WATER SERVICE DETAILS
  11. MISCELLANEOUS DETAIL SHEET
  12. PHOTOMETRIC PLAN
  13. LANDSCAPE PLAN



**NORTHGATE FARMS SUBDIVISION**

Att 21



**PROJECT NUMBER:** 20358  
**SOFTSCK PROJECT:** 20358  
**SCALE:** 1" = 50'  
**DATE:** AUGUST 21, 2001

**PROJECT:** NORTHGATE FARMS ON ALLEN AVENUE  
**CLIENT:** AUDET LAND COMPANY, LLC  
**CITY:** PORTLAND, MAINE

**PRELIMINARY SUBDIVISION PLAN**

1. THE BASIS OF BEARING FOR THIS SURVEY IS 2000 MAGNETIC NORTH MEANAN.

2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTER OF DEEDS. (CORD)

3. RECORD COMPASS OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM WILFRED A. AUDET, JR. TO AUDET LAND COMPANY, LLC, DATED JULY 17, 2001 AND RECORDED IN DEED BOOK 18545, PAGE 1.

4. REFERENCE IS MADE TO THE FOLLOWING PLANS:

a. PLAN OF LOTS FOR NORTH DEERING SCHOOL, PROPERTY MADE FOR THE CITY OF PORTLAND, BY H.L. & C.C. JORDAN, DATED NOVEMBER, 1915. (NOT RECORDED)

b. PLAN OF PROPERTY FOR ROBERT L.S. WICKLIE IN AND JENNIE D. WICKLIE, BY SURVEY, INC., DATED NOVEMBER 1984. (NOT RECORDED)

c. PLAN OF LYMAN MOORE MIDDLE SCHOOL, BY CITY OF PORTLAND PUBLIC WORKS DEPARTMENT, DATED JUNE 14, 1994. (NOT RECORDED)

d. PLANNING BOARD REPORT, BY SURVEY, INC., DATED FEBRUARY, 1987. RECORDED IN PLAN BOOK 181, PAGE 408.

e. "COTTAGE PARK FRIED LAYOUT PLAN," BY PARKMAN & GREEN, DATED OCTOBER 28, 1983, RECORDED IN PLAN BOOK 183, PAGE 408.

f. STAMPEDE BOUNDARY SURVEY OF UNITARIAN UNIVERSALIST CHURCH FOR STEVE HULLON, HULLON & SONS, BY OWEN HANSEL, INC., DATED MARCH 15, 1980, JOB #90012P.

5. THE PARCEL SURVEYED IS EXPEDITED ON THE CITY OF PORTLAND ASSESSOR'S MAP 376, BLOCK A, PARCELS 2 AND 9.

6. THE PARCEL SURVEYED IS LOCATED IN THE RESIDENTIAL 3 (R-3) ZONE. BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:  
MINIMUM LOT SIZE: 6,500 S.F. (GENERATED)  
FRONT YARD SETBACK: 25'  
SIDE YARD SETBACK: 5' (1 TO 1-1/2 STORY), 14' (2 STORY) AND 16' (2-1/2 STORY)  
REAR YARD SETBACK: 25'  
MINIMUM LOT WIDTH: 75'  
MINIMUM LOT COVERAGE: 25% OF LOT AREA  
MAXIMUM STRUCTURE HEIGHT: 35'

7. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:  
a. WATER LINE EASEMENT CONVEYED TO THE PORTLAND WATER DISTRICT IN A DEED DATED JANUARY 15, 1994 AND RECORDED IN DEED BOOK 2167.  
b. UTILITY EASEMENT CONVEYED TO CMP, DATED DECEMBER 25, 2000.  
c. THE WESTERLY BOUNDARY LINES WERE ESTABLISHED USING FOUND MONUMENTS AND EVIDENCE OF OCCUPATION.

8. THE WESTERLY BOUNDARY LINES WERE ESTABLISHED USING FOUND MONUMENTS AND EVIDENCE OF OCCUPATION.

9. THE NORTH AND LAYOUT OF ALLEN AVENUE WAS FOUND IN THE "BLUE SHEETS" RECORDS OF THE CITY OF PORTLAND ENGINEER'S OFFICE. SAID LAYOUT IS 66'. THE RIGHT-OF-WAY WAS ESTABLISHED USING THE RECORD LAYOUT ("BLUE SHEETS") AND FOUND MONUMENTATION.

10. THE SUBJECT PARCEL IS LOCATED IN ZONE C OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 230051-00028 WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

11. THE PLANNING BOARD OF THE CITY OF PORTLAND HAS REVIEWED AND APPROVED THIS PLAN. APPROVAL OF THE PLANNING BOARD OR PLANNING BOARD REVIEW AND APPROVAL TO THE SURVEY OF A BUILDING PERMIT AND PERMIT SHALL BE SUBJECT TO ARTICLE V (FIRST PLAN) OF CHAPTER 14 OF THE PORTLAND CODE. ALL LOTS SHALL BE GRADED AND CONFORM TO THE PORTLAND CODE. ALL LOTS SHALL BE GRADED AND CONFORM TO THE PORTLAND CODE. ALL LOTS SHALL BE GRADED AND CONFORM TO THE PORTLAND CODE.

12. EACH LOT SHALL REQUIRE THE SUBMISSION OF A UNION SITE PLAN FOR REVIEW AND APPROVAL TO THE SURVEY OF A BUILDING PERMIT AND PERMIT SHALL BE SUBJECT TO ARTICLE V (FIRST PLAN) OF CHAPTER 14 OF THE PORTLAND CODE. ALL LOTS SHALL BE GRADED AND CONFORM TO THE PORTLAND CODE. ALL LOTS SHALL BE GRADED AND CONFORM TO THE PORTLAND CODE.

13. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S LANDSCAPE DESIGN GUIDELINES.

14. LOT 5 SHALL BE ACCESSED FROM FARM HOUSE LANE ONLY. NO ACCESS SHALL BE PROVIDED FOR LOT 5 FROM ALLEN AVENUE.

15. NO CITY OF PORTLAND PUBLIC SERVICE SHALL BE PROVIDED TO THE CITY OF PORTLAND PARMS DEVELOPMENT UNTIL THE CITY HAS ACCEPTED THE STREET.

**GENERAL NOTES**

WETLAND AREA

LOT NUMBER (COTTAGE PARK SUBDIVISION)

TAX MAP-BLOCK-LOT 376-A-2

DEED BOOK AND PAGE (CORD) 1234/567

CONTOUR LINE (EXISTING)

EDGE OF WETLANDS

WATER LINE

SEWER LINE

OVERHEAD UTILITY LINE

TRAMPLED WAY

THE COURSE

NOW OR FORMERLY OWNED BY N/F

BOUNDARY LINE

ABUTTER OR RIGHT-OF-WAY LINE

PARENTHESES DENOTE RECORD DATA (123.4')

STONEWALL

TREE LINE (APPROXIMATE)

UTILITY POLE

WATER SHUTOFF VALVE

FOUND "X" MARK

FOUND TYPICAL

FOUND REPAIR (SIZE AS NOTED)

FOUND IRON PIPE (SIZE AS NOTED)

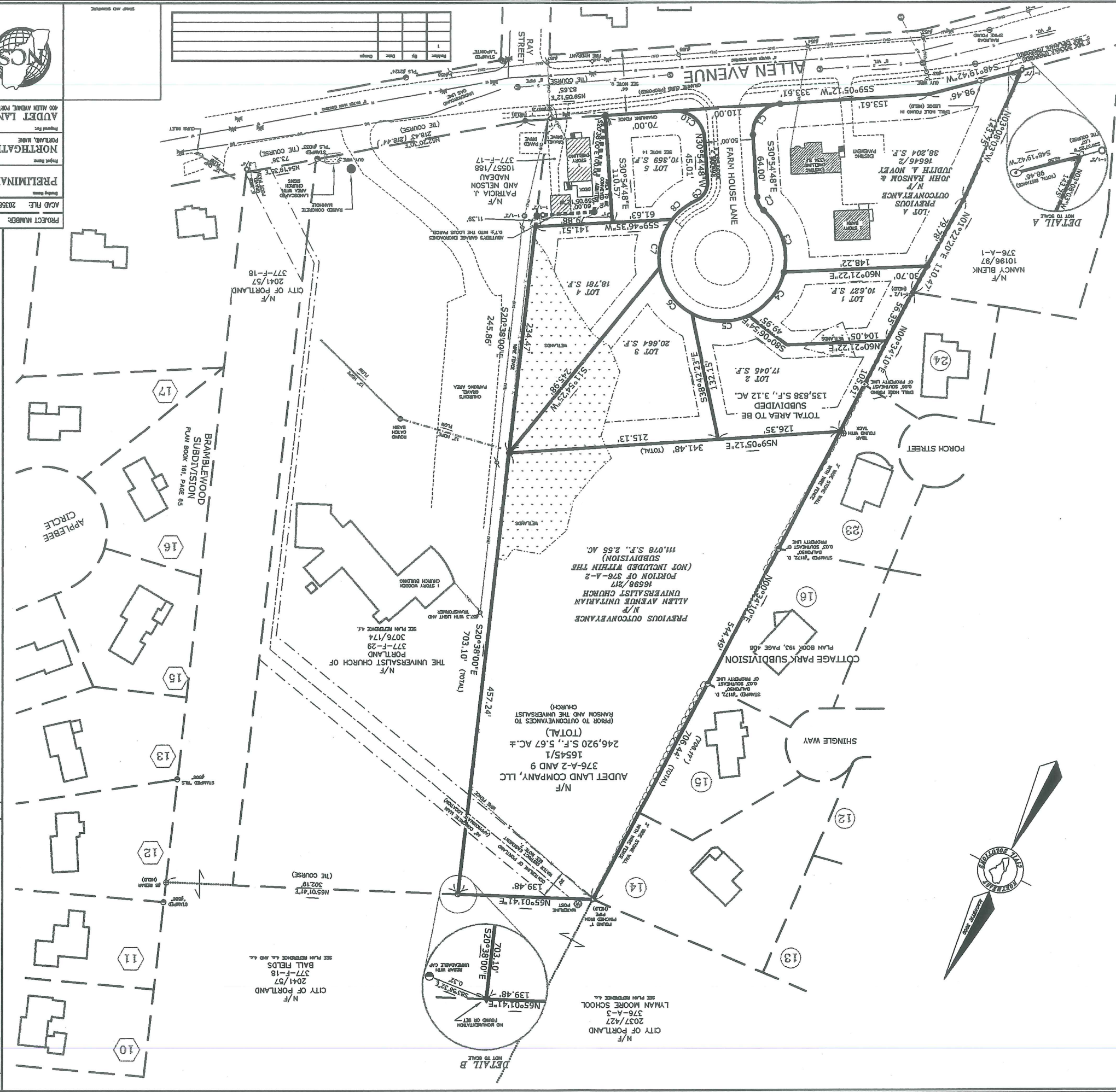
FOUND #5 REBAR WITH CAP STAMPED AS NOTED

FOUND #3 REBAR WITH CAP STAMPED

NCS INC. PLS 1314

SET #5 REBAR WITH PLASTIC CAP STAMPED

LEGEND



**APPROVED BY THE CITY OF PORTLAND PLANNING BOARD**

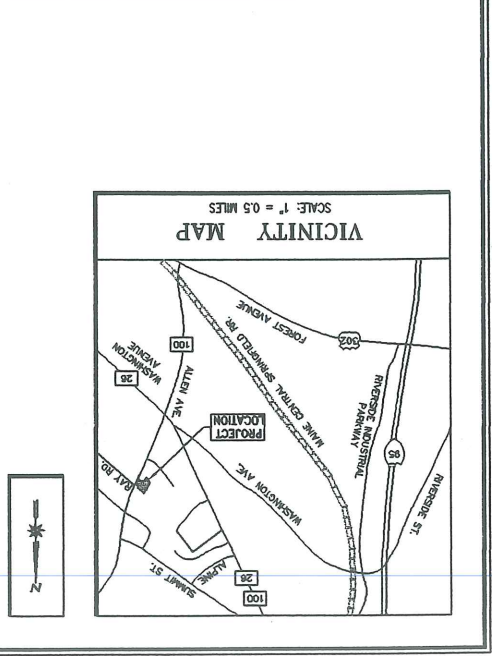
CHAIRPERSON \_\_\_\_\_  
DATE \_\_\_\_\_

**NET RESIDENTIAL AREA CALCULATIONS**

TOTAL AREA	135,838 S.F.
(1) STORM WATER (ESTIMATED)	- 20,000 S.F.
(2) WATERCOURSES	0
(3) INACCESSIBLE AREA	0
(4) WETLANDS	- 16,074 S.F.
(5) EASEMENTS	0
(6) SLOPES	- 4,575 S.F.
(7) 20% OF REMAINING AREA	- 19,038 S.F.
TOTAL NET RESIDENTIAL AREA	76,151 S.F.

**CURVE TABLE**

CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA	TANGENT
C1	47.12	30.00	N4°05'12"E	42.43	80°00'00"	30.00
C2	15.82	20.00	N53°34'41"W	15.41	45°18'45"	6.35
C3	70.19	65.00	S45°18'20"E	68.83	61°52'27"	38.96
C4	60.00	65.00	S17°04'28"W	57.88	52°31'0"	32.33
C5	65.00	65.00	S47°12'25"W	57.88	52°31'0"	32.33
C6	65.00	65.00	N27°27'25"E	30.98	27°34'32"	15.95
C8	31.28	65.00	N27°27'25"E	30.98	27°34'32"	15.95
C9	24.14	20.00	S03°38'56"W	22.70	69°09'29"	13.79
C10	47.12	30.00	S75°54'48"E	42.43	80°00'00"	30.00



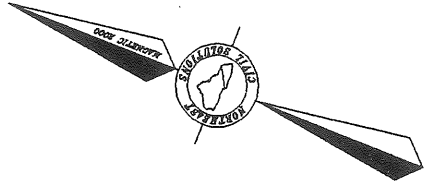
210



**Northeast Civil Solutions**  
INCORPORATED  
153 US ROUTE 1, SCARBOROUGH, MAINE 04074  
Tel: 207.883.1000  
Fax: 207.883.2277  
www.northeastcivil.com  
nsc@northeastcivil.com

PROJECT NUMBER: 20358  
ACAD FILE: 20358.dwg  
DATE: AUGUST 21, 2001  
SCALE: 1" = 40'  
DRAWING TITLE: FINAL SITE, GRADING AND UTILITY PLAN  
PROJECT NAME: NORTHGATE FARMS ON ALLEN AVENUE  
PORTLAND, MAINE  
DESIGNED BY: AUDET LAND COMPANY, LLC  
400 ALLEN AVENUE, PORTLAND, MAINE 04103

Index	By	Date
1		



SEWER MANHOLE TABLE

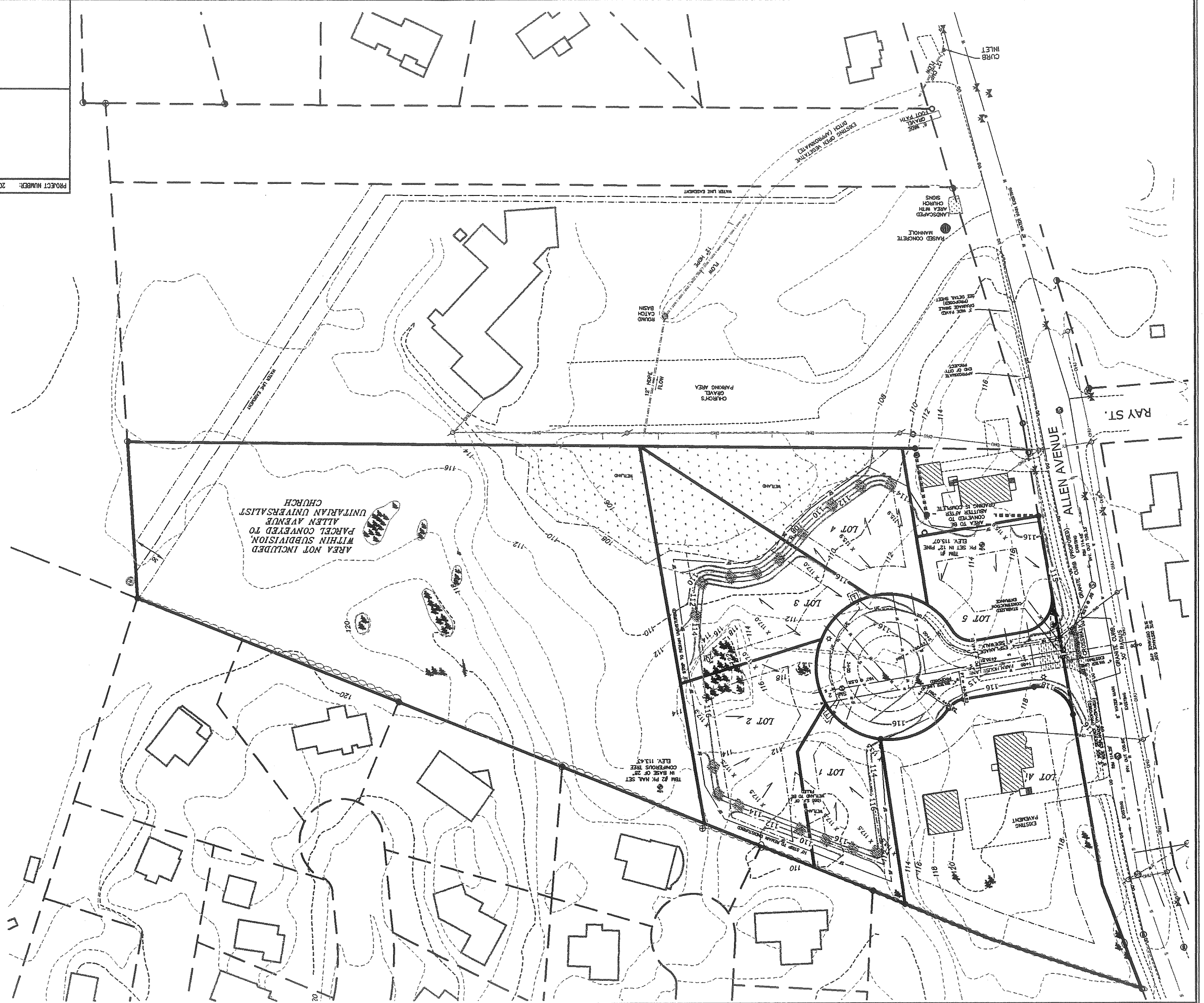
STATION	RIM ELEV.	INVERT ELEV.	LENGTH	SLOPE
SEWER MH 1	RT 65' 00+30	114.48'	109.43'	0.93%
EXIST	RT 5' 00+65	114.14'	109.82'	0.97%
SMH 1 TO SMH 2	RT 6' 3+16.76	115.83'	110.88'	0.55%

**SITE PLAN NOTES**

1. ALLEN AVENUE IS CURRENTLY BEING RECONSTRUCTED. THE WIDTH AND LENGTH OF THE SIDEWALK AND SPURWALK ALONG ALLEN AVE. MAY VARY DUE TO EXISTING CONDITIONS. THIS NOTE IS BASED ON INFORMATION PROVIDED BY THE PUBLIC WORKS DEPARTMENT OF THE CITY OF PORTLAND.

**SITE PLAN LEGEND**

- SET #5 REBAR WITH CAP STAMPED "NCS, INC. 1314"
- FOUND IRON PIPE
- TEMPORARY BENCHMARK
- STONEWALL
- ABUTTER OR RIGHT-OF-WAY LINE
- BOUNDARY LINE
- TRAVELED WAY
- CENTERLINE OF PROPOSED ROAD
- EDGE OF WETLANDS
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND GAS
- SILT FENCE
- SETBACK LINE
- EROSION CONTROL MAT
- LEDGE OUTCROPPING
- LIGHT POLE (PROPOSED)
- WETLAND AREA
- WATER POLE
- SEWER MANHOLE
- TRANSFORMER (WITH EASEMENT)
- FLOW ARROWS
- SPOT GRADE (PROPOSED)





PROJECT NUMBER: 20358  
 ACAD FILE: 20358a2.dwg  
 SCALE: 1" = 50'  
 DATE: AUGUST 21, 2001

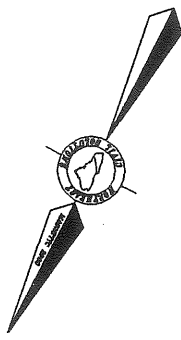
High Intensity Class B Soils Survey  
 Northgate Farms on Allen Avenue  
 Portland, Maine

Audet Land Company, LLC  
 400 Allen Avenue, Portland, Maine 04103

Surveying Engineering Land Planning  
 Incorporated  
 Northeast Civil Solutions  
 153 US Route 1, Scarborough, Maine 04074  
 Tel: 207.883.1000  
 Fax: 207.883.1001  
 ncs@northeastcivil.com

13 OF 4 SHEETS

1	By	Date	Change



**SOIL NOTES :**

1. THE SOIL MAPPING SHOWN HEREON WAS PERFORMED BY ALBERT FRICK ASSOCIATES, SCIENTISTS AND SITE EVALUATORS. THE FIELD WORK WAS PERFORMED IN EARLY APRIL.
2. SOIL MAPPING WAS DONE WITH SNOW COVER AND FROST LIMITED OBSERVE: VEGETATIVE UNDERSTORY, LOW RELIEF BEDROCK OUTCROPPINGS, SUBTLE DRAINAGE SWALES AND WATERCOURSES.
3. SOIL BOUNDARY LINES SHOWN ON THE SOILS MAY NOT BE SUBJECT TO REVISION DUE TO SUBTLE CHANGES THAT ARE NOT READILY PERCEPTIBLE WITHOUT MORE INTENSIVE INVESTIGATION ONCE SNOW COVER IS GONE. WE ARE PREPARED TO REVIEW THE SOILS IN THE SPRING AFTER THE SNOW HAS MELTED. SHOULD THERE BE A PARTICULAR AREA OF CONCERN.
4. SEE SOIL NARRATIVE REPORT AND SOIL PROFILES.

**SLOPE DESIGNATION :**

A — 0 - 3%  
 B — 3 - 8%  
 C — 8 - 20%  
 D — 20%+

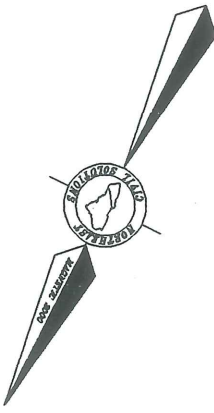
**SOIL LEGEND**

- SOILS BOUNDARY
- ADJUTER OR RIGHT-OF-WAY LINE
- PROPERTY BOUNDARY LINE
- EDGE OF WETLANDS
- WATER EASEMENT LINE
- CONTOUR LINE
- WETLAND AREA
- BEDROCK OUTCROPPING
- SURFACE WATER RUNOFF
- TEST PIT (LOCATED BY A.T.A. USING ASHTECH SUBMETER G.P.S. UNIT)
- SOILS TYPE
- SCANTICA
- TREE LINE (EXISTING)

210





**PRE-DEVELOPMENT NOTES**

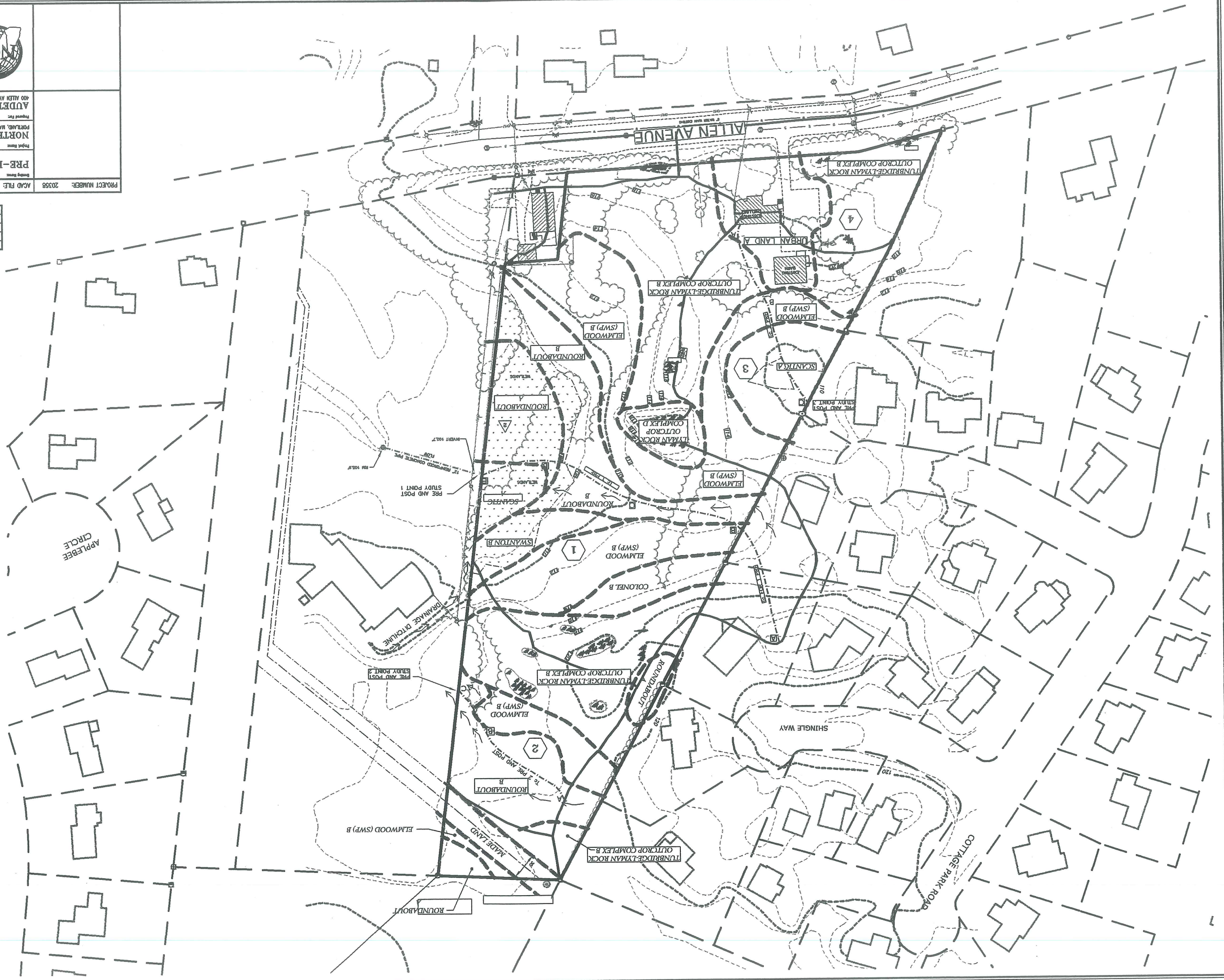
THE PRE-DEVELOPMENT DRAINAGE PATTERNS WERE ORIGINALLY PERFORMED ON SOUTHERLY 3.12 ACRE PORTION OF THE PARCEL TO BE DEVELOPED. THE DRYER 5.17 ACRE PARCEL, THE CURRENT PROPOSAL IS FOR THE SMALLER PORTION OF THE PROJECT.

**SLOPE DESIGNATION :**

A 0 - 3%  
B 3 - 8%  
C 8 - 20%  
D 20%+

**PRE-DEVELOPMENT LEGEND**

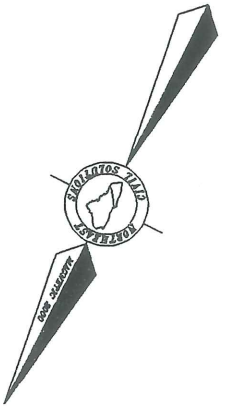
- SOIL BOUNDARY LINE
- PRE-DEVELOPMENT DRAINAGE BOUNDARY
- FLOW PATH LINE
- ADJUTER OR RIGHT-OF-WAY LINE
- PROPERTY BOUNDARY LINE
- TRAVELLED WAY
- EDGE OF WETLANDS
- WATER EASEMENT LINE
- CONTOUR LINE (EXISTING)
- SWAMP
- POUND
- FLOW PATH
- SOILS TYPE
- WETLAND AREA
- TREE LINE (EXISTING)
- LEDGE OUTCROPPING



210



1	By	Date	Change

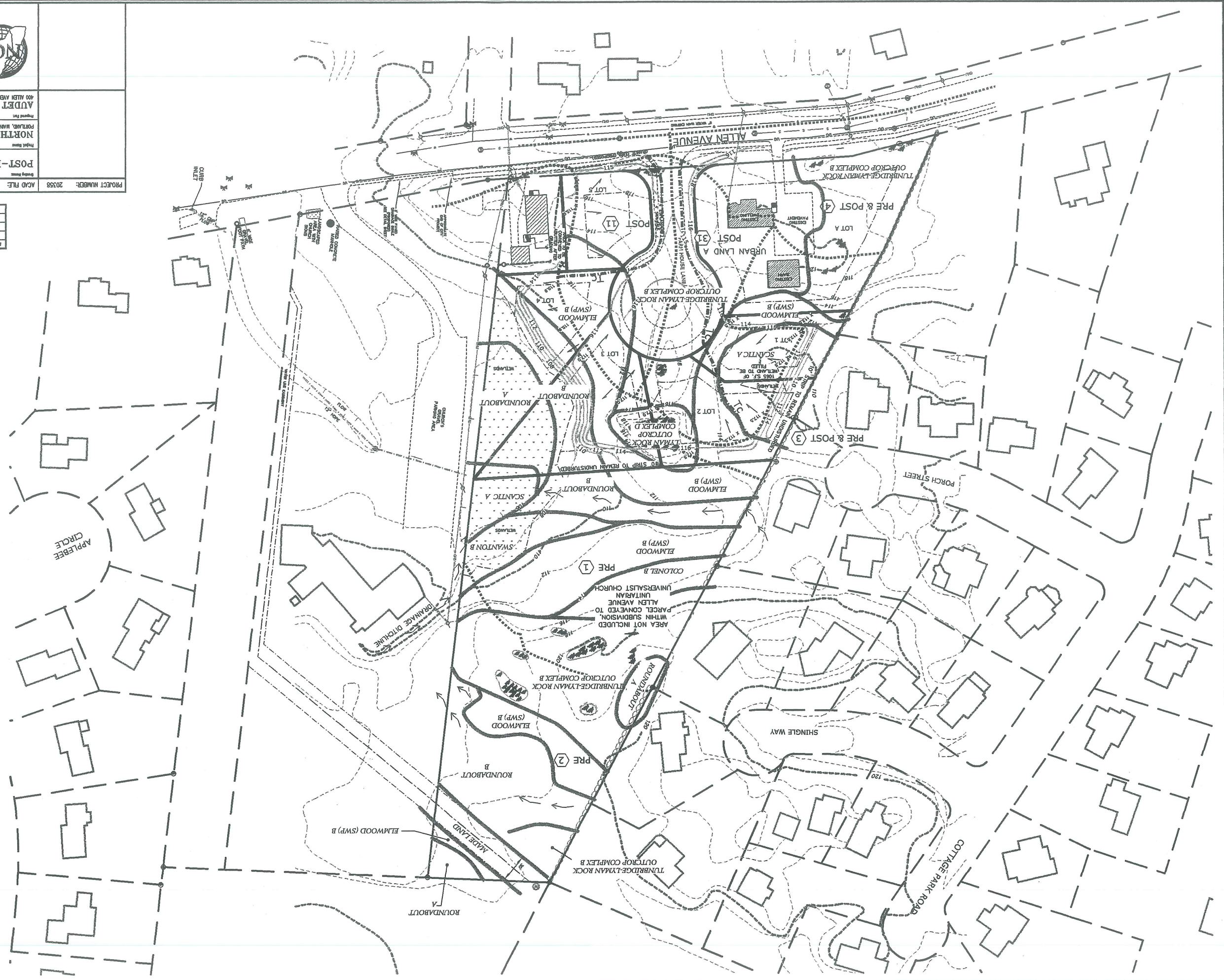


**SLOPE DESIGNATION :**

A	0 - 3%
B	3 - 8%
C	8 - 20%
D	20%+

**POST-DEVELOPMENT LEGEND**

	SOIL BOUNDARY
	POST-DEVELOPMENT DRAINAGE BOUNDARY
	FLOW PATH
	ABUTTER OR RIGHT-OF-WAY LINE
	PROPERTY BOUNDARY LINE
	TRAVELLED WAY
	EDGE OF WETLANDS
	WATER EASEMENT LINE
	CONTOUR LINE (EXISTING)
	CONTOUR LINE (PROPOSED)
	SCENIC A
	FLOW PATH
	WETLAND AREA
	BEDROCK OUTCROPPING
	FLOW ARROWS



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13  
OF  
7  
SHEET

**Northeast Civil Solutions**  
INCORPORATED  
SURVEYING ENGINEERING LAND PLANNING  
153 US ROUTE 1, SCARBOROUGH, MAINE 04074  
tel 207.883.1000 fax 207.883.1001  
e-mail ncs@northeastcivil.com

PROJECT NUMBER: 20308  
ACAD FILE: 20308proj02.dwg  
SCALE: 1"=40' HORZ, 1"=4' VERT. DATE: AUGUST 21, 2001

PROJECT NAME:  
ROAD PLAN AND PROFILE  
STATION 0+00 THROUGH STATION 4+55.15

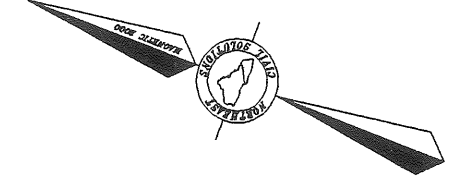
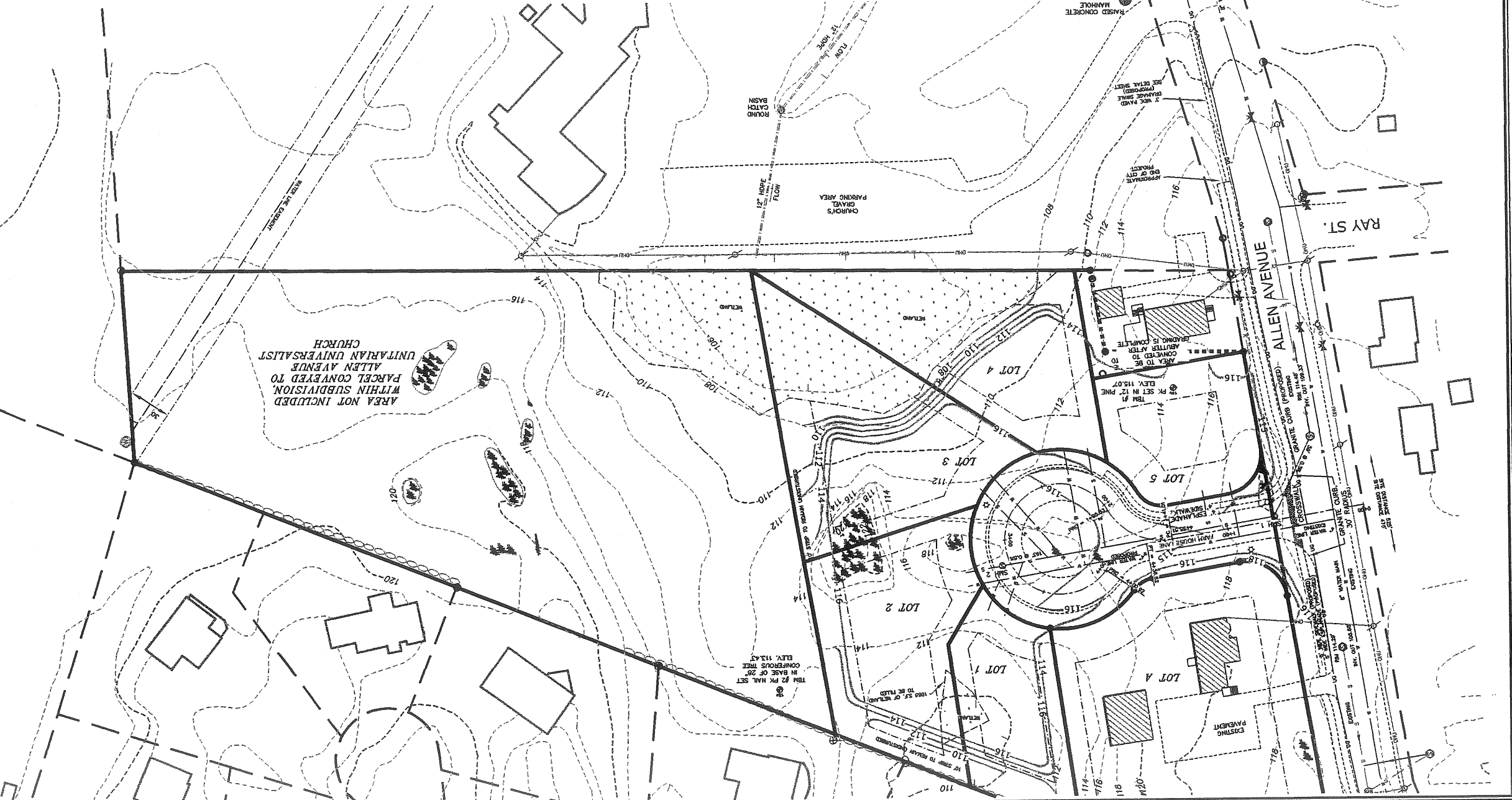
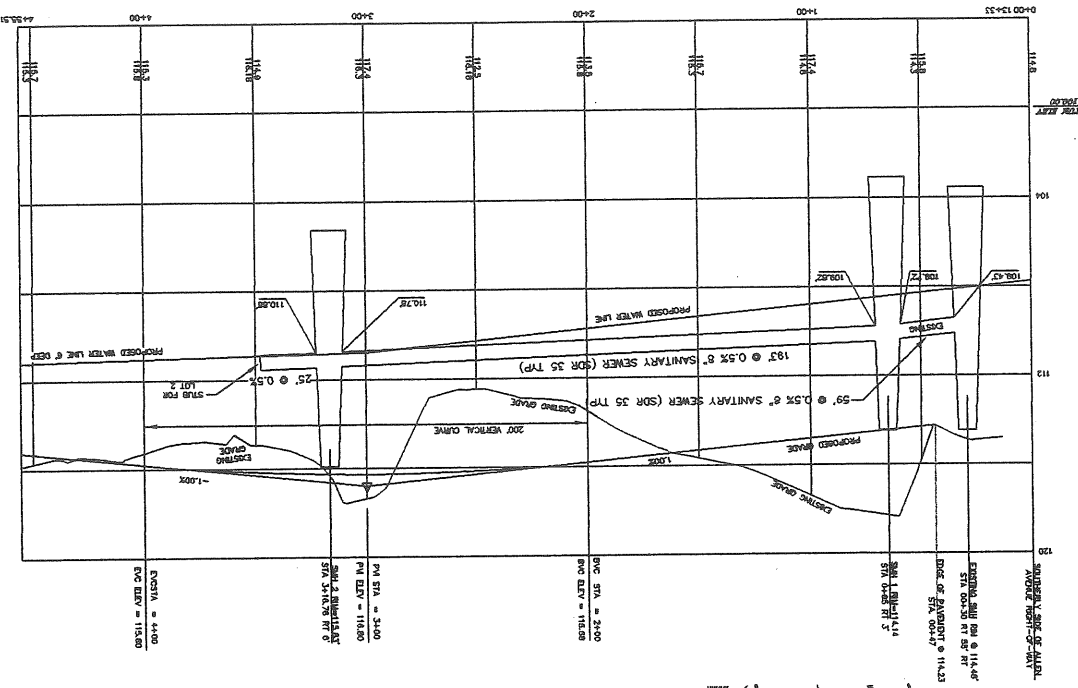
PROJECT LOCATION:  
NORTGATE FARMS ON ALLEN AVENUE  
PORTLAND, MAINE

CLIENT:  
AUDET LAND COMPANY, LLC.  
400 ALLEN AVENUE, PORTLAND, MAINE 04103

Revised	By	Date	Change
1			

SEWER MANHOLE TABLE

SEWER STATION	INVERT ELEV.	INVERT DIA.	INVERT LENGTH AND SLOPE	MANHOLE DIA.
2	RT 6' 3+16.76	115.83'	110.78'	36"
1	RT 3' 00+85	114.14'	109.72'	36"
EXIST TO SMH 1	RT 55' 00+30	114.48'	109.33'	36"
EXIST TO SMH 2	SMH 1 TO SMH 2	110.88'	110.78'	36"



**PROFILE NOTES**

1. ALLEN AVENUE IS CURRENTLY BEING RECONSTRUCTED. THE WIDTH AND LENGTH OF THE SEWER AND EXISTING ALLEN ARE MAY VARY DUE TO EXISTING CONDITIONS. THIS NOTE IS BASED ON INFORMATION PROVIDED BY THE PUBLIC WORKS DEPARTMENT OF THE CITY OF PORTLAND.
2. SEE FINAL SITE GRADING AND UTILITY PLAN (SHEET 3) FOR DETAILED GRADING INFORMATION.
3. SEE SHEET 3 OF 13 FOR EROSION CONTROL MEASURE LOCATION.

**PROFILE LEGEND**

SET #5 REBAR WITH CAP STAMPED "NCS, INC. 1314"	○
FOUND IRON PIPE	○
FOUND IRON PIPE WITH CAP	○
FOUND IRON BENCHMARK	○
STONEWALL	—
ASUTTER OR RIGHT-OF-WAY LINE	—
BOUNDARY LINE	—
TRAVELLED WAY	—
CENTERLINE OF PROPOSED ROAD	—
EDGE OF WETLANDS	—
EXISTING CONTOUR LINE	—
PROPOSED CONTOUR LINE	—
PROPOSED SEWER LINE	—
LEDGE OUTCROPPING	—
LIGHT POLE (PROPOSED)	—
WETLAND AREA	—
WATER GATE	—
UTILITY POLE	—
SEWER MANHOLE	—







PROJECT NUMBER: 20358  
 ACO FILE: 20358RST-2.dwg  
 SCALE: N/A  
 DATE: AUGUST 21, 2001

PROJECT NAME: EROSION AND SEDIMENTATION CONTROL DETAILS  
 NORTHGATE FARMS ON ALLEN AVENUE  
 PORTLAND, MAINE

DESIGNED BY: [Blank]  
 CHECKED BY: [Blank]  
 DATE: [Blank]

PROJECT LOCATION: 400 ALLEN AVENUE, PORTLAND, MAINE 04103  
 AUDIT LAND COMPANY, LLC.

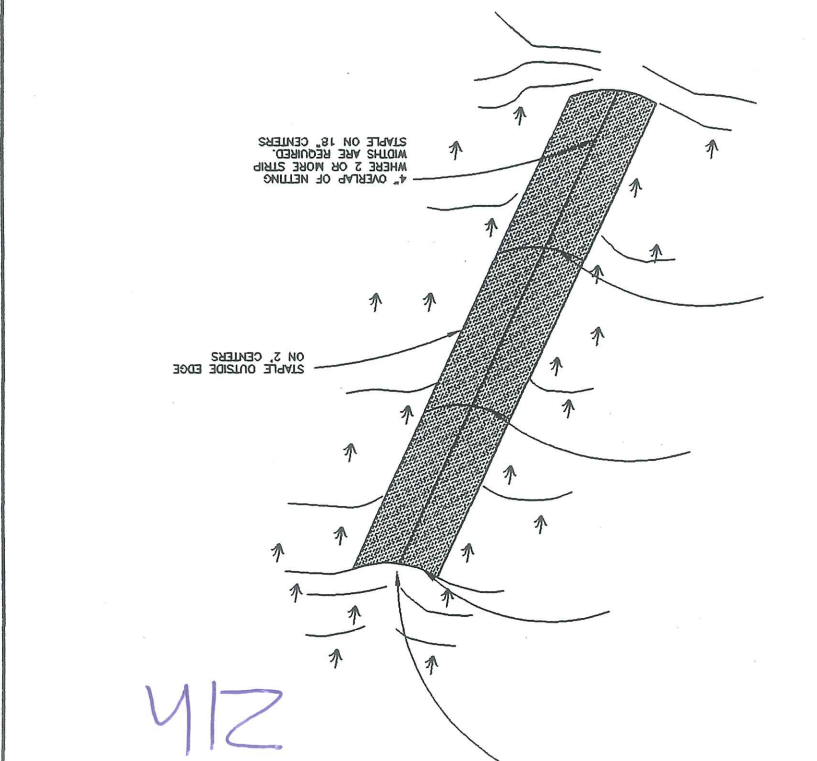
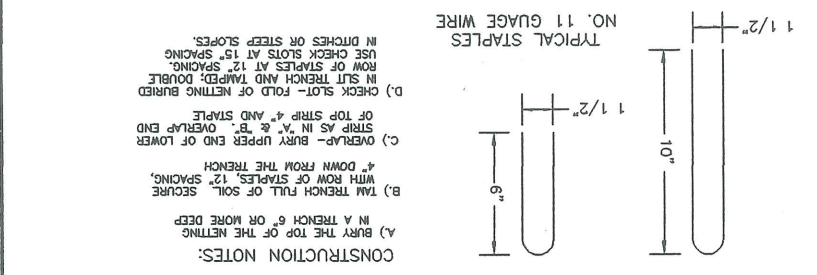
PREPARED BY: [Blank]  
 PROJECT NO.: 207.003.100  
 DATE: 007.003.2001  
 153 US ROUTE 1, SCARBOROUGH, MAINE 04074  
 INCORPORATED  
**Northeast Civil Solutions**  
 SURVEYING ENGINEERING LAND PLANNING

13 OF 9 SHEET

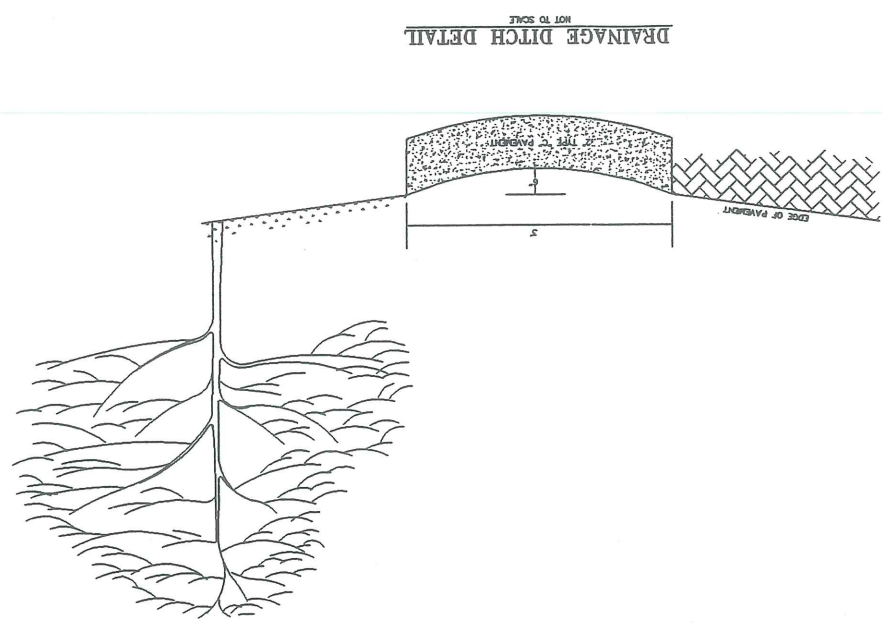
NOTE:  
 THIS PLAN IS FOR PRELIMINARY REVIEW PURPOSES ONLY  
 AND IS NOT INTENDED FOR CONSTRUCTION.

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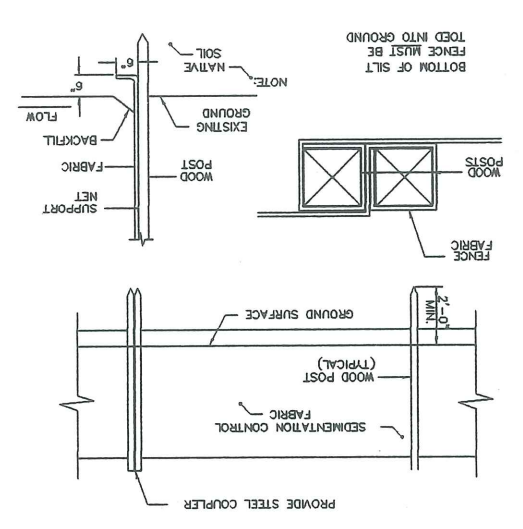
**EROSION CONTROL MAT**  
 NOT TO SCALE



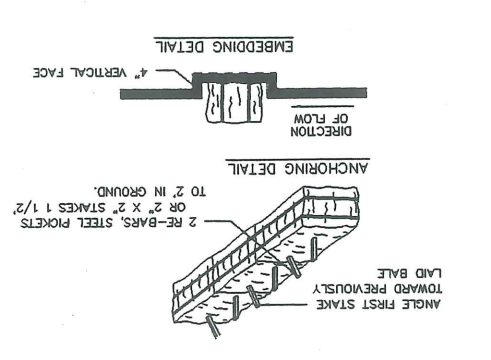
214



**SILTATION FENCE DETAIL**  
 NOT TO SCALE

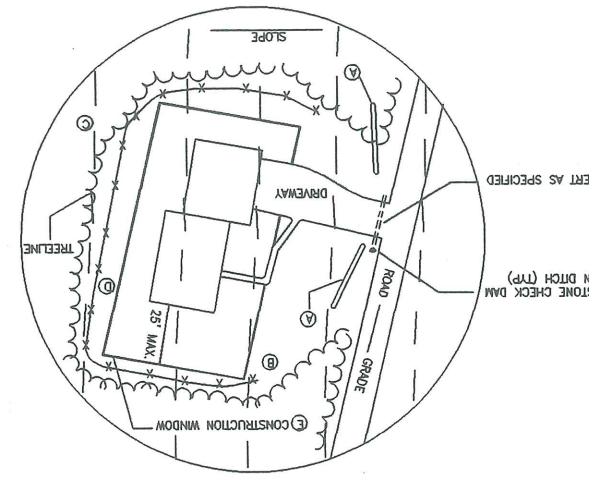


**HAY BALE BARRIER DETAIL**  
 NOT TO SCALE



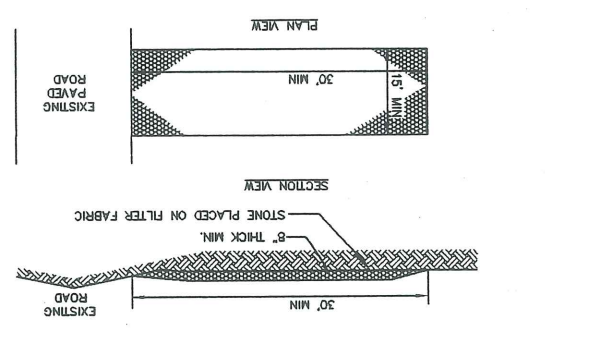
**INDIVIDUAL HOUSE SITE EROSION PREVENTION DETAILS**  
 NOT TO SCALE

NOTES:  
 THIS SKETCH IS INDICATING THE INTENT OF SOIL EROSION PREVENTION MEASURES. ACTUAL CONDITIONS AND LAYOUTS WILL VARY FROM SITE TO SITE.  
 BUILDING CONTRACTORS MUST COMPLY WITH THE EROSION CONTROL NOTES AND DETAILS SHOWN ON THE PLANS, AND WITH THE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES.  
 A-CONSTRUCT DRAINAGE DITCH TO KEEP UPSTOPE SURFACE RUNOFF OUT OF WORK AREA  
 B-INSTALL SILT FENCE BELOW ALL SOIL DISTURBANCE  
 C-KEEP CLEANING TO A MINIMUM  
 D-RE-SEED ALL DISTURBED AREAS AND BEFORE SEPTMBER 15 WHERE PRACTICABLE  
 E-HAY AREA OUTSIDE THE 25 FOOT WIDE CONSTRUCTION WINDOW MUST BE MULCHED WITHIN 7 DAYS OF FOUNDATION BACKFILL.



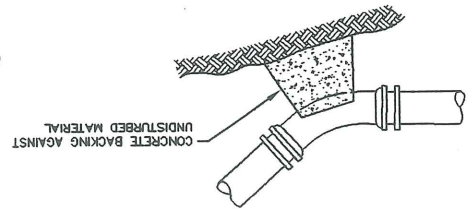
**STABILIZED CONSTRUCTION ENTRANCE**  
 NOT TO SCALE

NOTES:  
 1. STONE SIZE: 2 1/2" TO 1 1/2" USE CRUSHED STONE.  
 2. THICKNESS: MINIMUM OF 8".  
 3. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC TRAVELED WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE.





**TYPICAL BEND**  
NOT TO SCALE



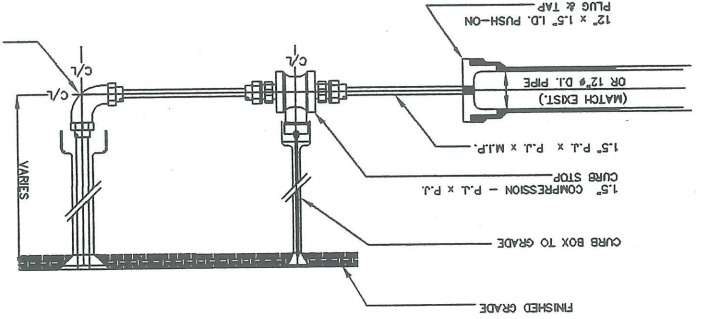
**SECTION B-B**

NOMINAL DIAMETER OF FITTING	BEND FITTING	BRANCH OF FITTING	90° BEND	45° BEND	GREATER THAN 10°	SMALLER THAN 10°
6"	2	2	3	2	2	2
8"	4	4	5	3	4	3
10"	6	6	8	4	6	5
12"	8	8	10	6	8	7
14"	12	12	16	9	12	10
16"	18	18	24	14	18	15

BEARING AREAS - SQUARE FEET

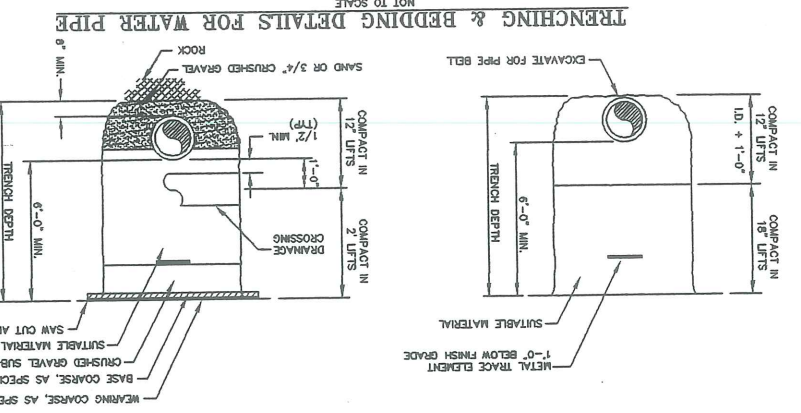
- NOTES:
1. ALL BENDS, TEE HYDRANTS AND DEAD ENDS SHALL BE BRACED WITH CONCRETE THRUST BLOCKS.
  2. BEARING AREA IS AREA OF CONCRETE IN CONTACT WITH WALL OF TRENCH-HL.
  3. HEIGHT (H) AND LENGTH (L) AS REQUIRED TO OBTAIN BEARING AREA IN TABLE.

**THRUST BLOCK DETAILS**  
NOT TO SCALE

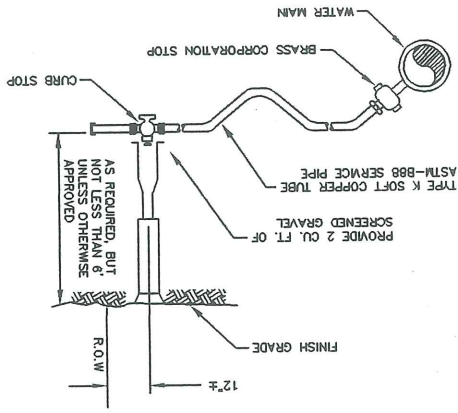


**WATER LINE BLOW OFF**  
NOT TO SCALE

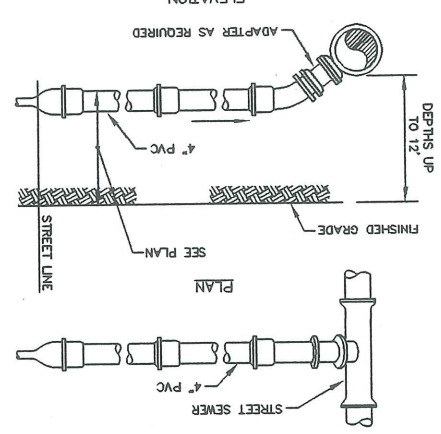
MATERIALS AND INSTALLATION TO MEET REQUIREMENTS OF THE PORTLAND WATER DISTRICT



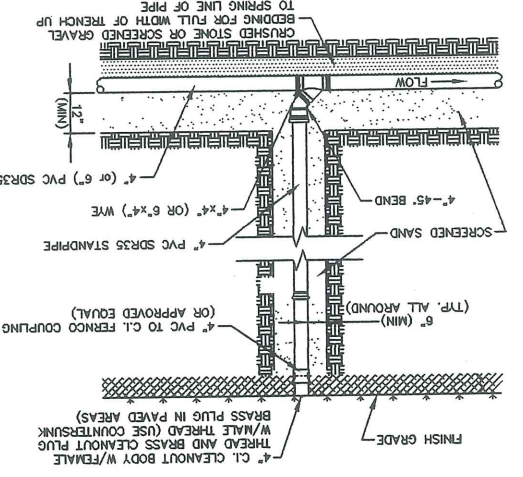
**TYPICAL WATER SERVICE CONNECTION**  
NOT TO SCALE



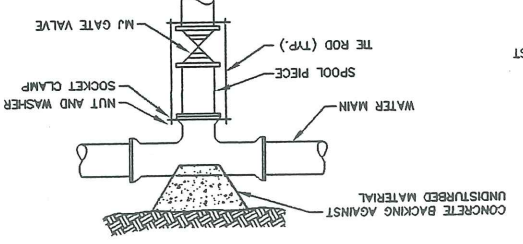
**SEWER SERVICE CONNECTION**  
NOT TO SCALE



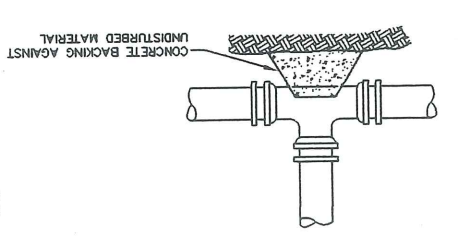
**TYPICAL SERVICE SEWER CLEANOUT**  
NOT TO SCALE



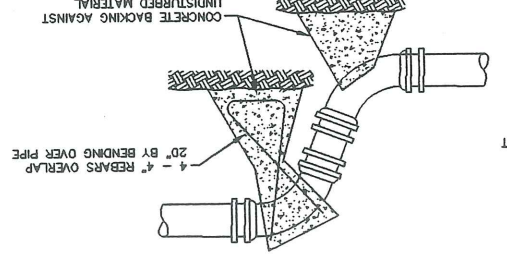
**TYPICAL VALVE CONNECTION**  
NOT TO SCALE



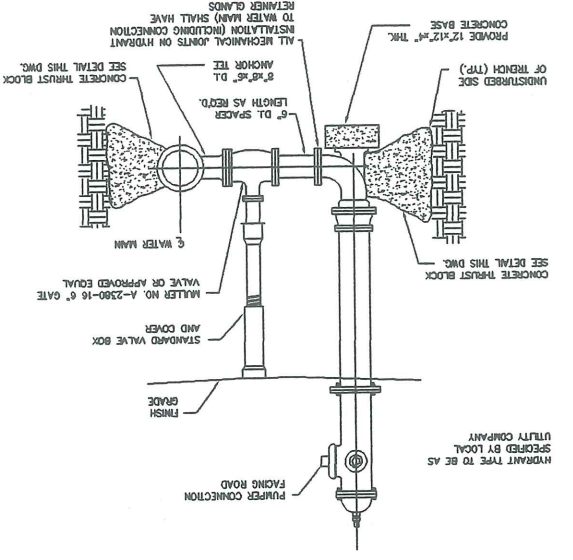
**TYPICAL TEE**  
NOT TO SCALE



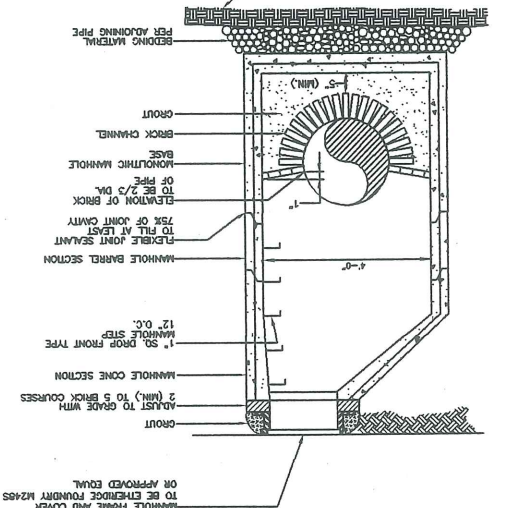
**TYPICAL OFF-SET**  
NOT TO SCALE



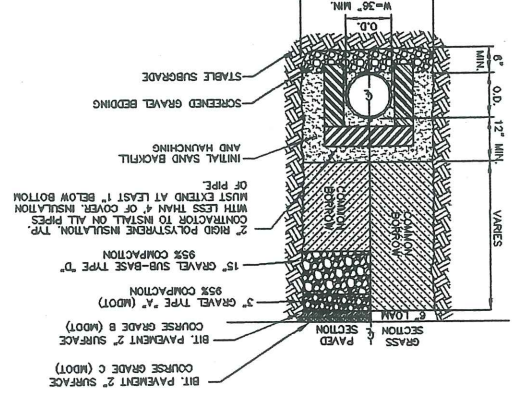
**HYDRANT INSTALLATION**  
NOT TO SCALE



**4' PRECAST CONCRETE MANHOLE**  
NOT TO SCALE



**SEWER TRENCH CROSS SECTION FOR ALLEN AVENUE**  
NOT TO SCALE



PROJECT NUMBER: 20358  
ACAD FILE: 20358d4081-2.dwg  
SCALE: N/A  
DATE: AUGUST 21, 2007

**SEWER AND WATER SERVICE DETAILS**

NORTHGATE FARMS ON ALLEN AVENUE  
PORTLAND, MAINE

AUDET LAND COMPANY, LLC  
400 ALLEN AVENUE PORTLAND, MAINE 04103

NCS  
SURVEYING ENGINEERING LAND PLANNING  
INCORPORATED  
153 US ROUTE 1, SCARBOROUGH, MAINE 04074  
207.883.1000  
207.883.2237  
nesh@nesh.com

13 OF 10 SHEET

NOTE:  
THIS PLAN IS FOR PRELIMINARY REVIEW PURPOSES ONLY  
AND IS NOT INTENDED FOR CONSTRUCTION.

INDEX	BY	DATE	REVISION
1			

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**Northeast Civil Solutions**  
INCORPORATED  
SURVEYING ENGINEERING LAND PLANNING  
153 US ROUTE 1, SCARBOROUGH, MAINE 04074  
Tel: 207.883.1000  
Fax: 207.883.1001  
ncs@northeastcivil.com  
800.883.2227

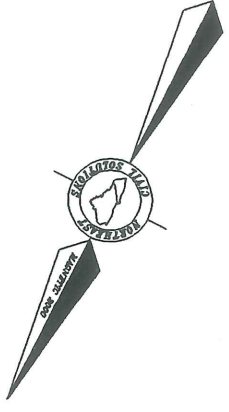
PROJECT NUMBER: 20358  
ACAD FILE: 2035photo.dwg  
SCALE: 1" = 50'  
DATE: AUGUST 21, 2001

PHOTOMETRIC PLAN

PROJECT NAME:  
NORTHGATE FARMS ON ALLEN AVENUE  
PORTLAND, MAINE

DESIGNED BY:  
AUDET LAND COMPANY, LLC.  
400 ALLEN AVENUE, PORTLAND, MAINE 04103

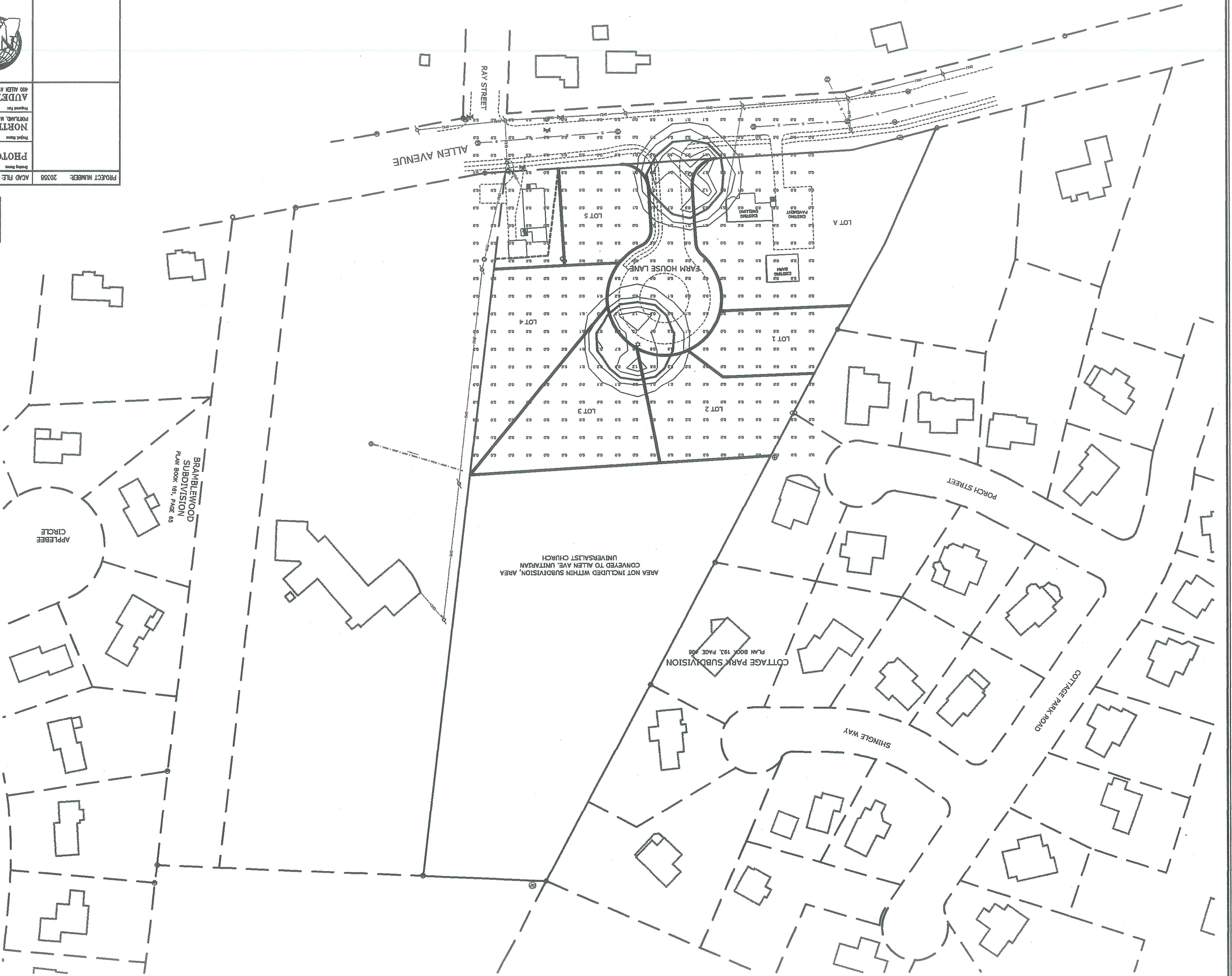
Revision	By	Date	Change
1			



21K

**PHOTOMETRIC LEGEND**

- ABUTTER OR RIGHT-OF-WAY LINE
- ==== PROPERTY LINE OR LOT LINE
- TRAVELLED WAY
- ☆ PROPOSED LIGHT POLE





PROJECT NUMBER: 20398  
 ACD FILE: 20398landscape2.dwg  
 SCALE: 1" = 30'  
 DATE: AUGUST 21, 2001

LANDSCAPE PLAN

Project Name: NORTHGATE FARMS ON ALLEN AVENUE  
 PORTLAND, MAINE

Report For: AUDIT LAND COMPANY, LLC  
 400 ALLEN AVENUE PORTLAND, MAINE 04103

Surveying Engineering Land Planning  
 Northeast Civil Solutions  
 153 US ROUTE 1, SCARBOROUGH, MAINE 04074  
 Tel: 207.883.1000  
 Fax: 207.883.1001  
 Email: ncs@northeastcivil.com

13 OF 13 SHEET

Revised	By	Date	Change
1			



**GENERAL NOTES**

1. ALL PLANTS SHALL BE PLANTED AS PER CURRENT STANDARDS OF AMERICAN NURSERMANS ASSOCIATION.
2. ALL VEGETATION TO REMAIN SHALL BE MARKED AND PROTECTED FROM DAMAGE.

**PLANT LEGEND**

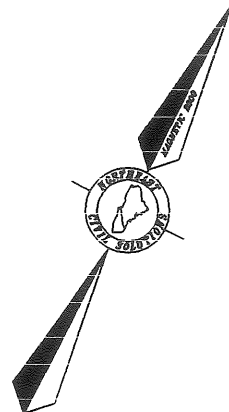
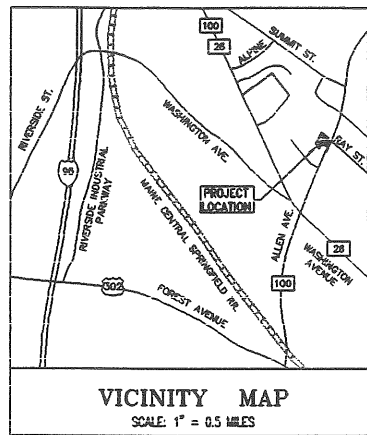
QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
4	⊗	ACER SACCHARINUM	SUGAR MAPLE	2-1/2"
3	⊙	QUERCUS BOREAUS	RED OAK	2-1/2"
5	⊗	MALUS 'MARY POTTER'	GRABAPPLE	1-3/4"

**LANDSCAPE LEGEND**

	ABUTTER OR RIGHT-OF-WAY LINE
	PROPERTY BOUNDARY LINE AND LOT LINE
	TRAVELLED WAY
	EDGE OF WETLANDS
	BUILDING SETBACK LINE
	STONEWALL
	WETLAND AREA
	LEDGE
	MALUS 'MARY POTTER' (PROPOSED)
	SUGAR MAPLE (PROPOSED)
	RED OAK (PROPOSED)
	LIGHT POLE (PROPOSED)
	TREE LINE (PROPOSED)

217





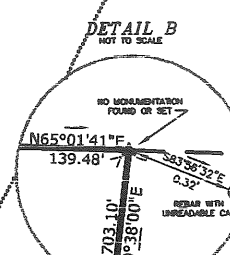
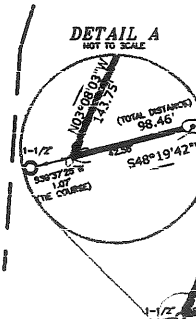
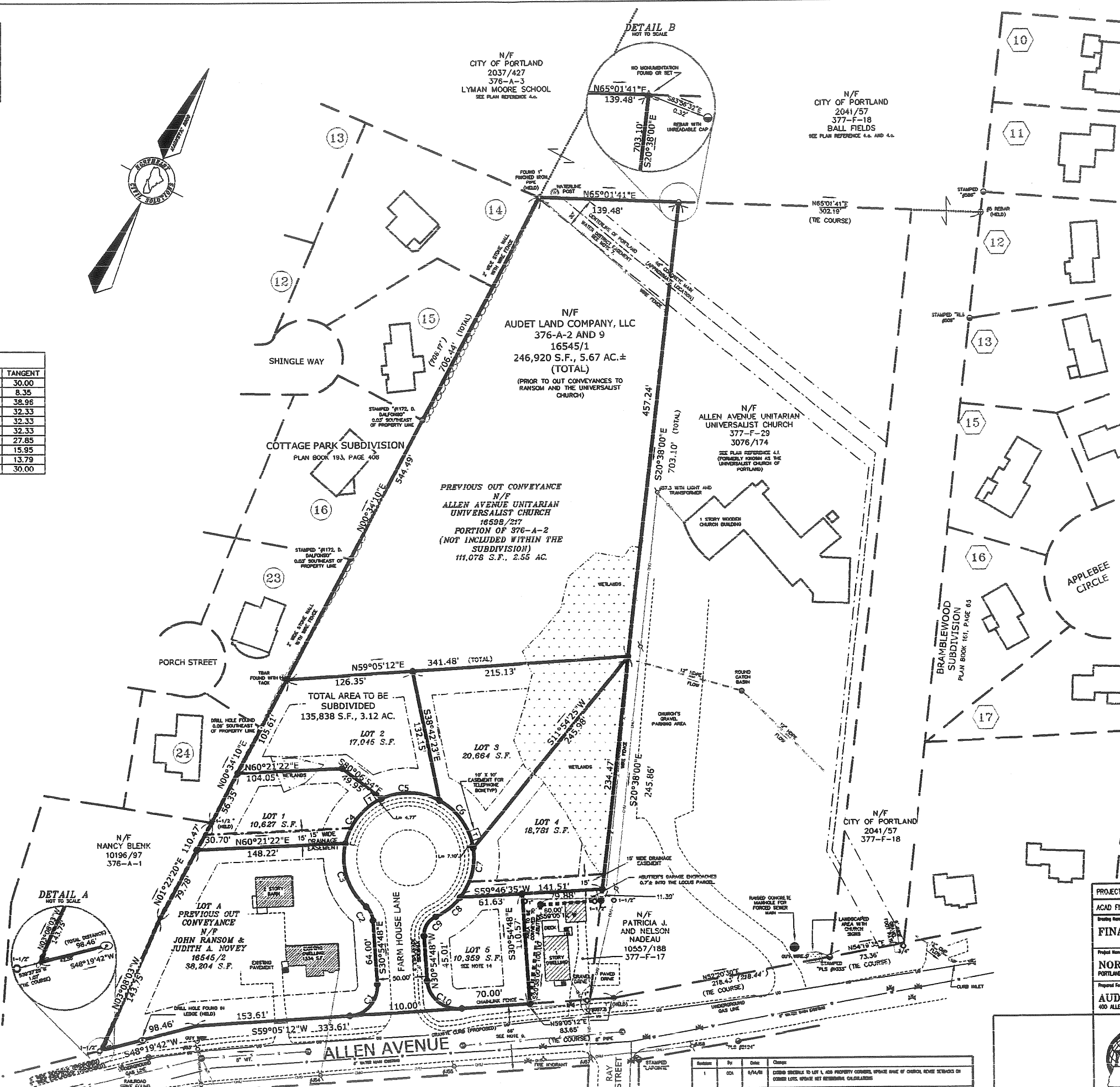
CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA	TANGENT
C1	47.12	30.00	N14°05'12"E	42.43	90°00'00"	30.00
C2	15.82	20.00	N53°34'41"W	15.41	45°19'45"	8.35
C3	70.19	65.00	S45°18'20"E	66.83	61°52'27"	38.96
C4	60.00	65.00	S12°04'28"W	57.89	52°33'10"	32.33
C5	60.00	65.00	S64°57'38"W	57.89	52°33'10"	32.33
C6	60.00	65.00	N62°09'12"W	57.89	52°33'10"	32.33
C7	52.62	65.00	N12°31'14"W	51.19	46°22'46"	27.85
C8	31.28	65.00	N24°27'25"E	30.98	27°34'32"	15.95
C9	24.14	20.00	S03°39'56"W	22.70	69°09'29"	13.79
C10	47.12	30.00	S75°54'48"E	42.43	90°00'00"	30.00

**NET RESIDENTIAL AREA CALCULATIONS**

TOTAL AREA	135,838 S.F.
1) STORM WATER	0 S.F.
2) WATERCOURSES	0
3) INACCESSIBLE AREA	0
4) WETLANDS	16,074 S.F.
5) EASEMENTS	4,471 S.F.
6) SLOPES	4,575 S.F.
7) 20% OF REMAINING AREA	110,718 S.F.
TOTAL NET RESIDENTIAL AREA	88,574 S.F.

**APPROVED BY THE CITY OF PORTLAND PLANNING BOARD**

CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_



Number	By	Date	Change
1	CC	6/14/01	OWNER REQUESTS TO LOT 4 AND PROPERTY CORNER, UPDATE NAME OF CHURCH, REMOVE SETBACKS TO OTHER LOTS, UPDATE NET RESIDENTIAL CALCULATIONS

**LEGEND**

- #5 REBAR WITH PLASTIC CAP STAMPED NCS INC. PLS 1314" (TO BE SET)
- FOUND #5 REBAR WITH CAP STAMPED AS NOTED
- FOUND IRON PIPE (SIZE AS NOTED)
- FOUND REBAR (SIZE AS NOTED)
- FOUND "PK" NAIL
- SEWER MANHOLE
- WATER SHUTOFF VALVE
- UTILITY POLE
- TREE LINE (APPROXIMATE)
- STONEWALL
- PARENTHESES DENOTE RECORD DATA
- ABUTTER OR RIGHT-OF-WAY LINE
- BOUNDARY LINE
- FENCE (TYPE AS NOTED)
- BUILDING ENVELOPE
- NOW OR FORMERLY OWNED BY THE COURSE
- TRAVELLED WAY
- OVERHEAD UTILITY LINE
- SEWER LINE
- WATER LINE
- EDGE OF WETLANDS
- CONTOUR LINE (EXISTING)
- DEED BOOK AND PAGE (CORD)
- TAX MAP-BLOCK-LOT
- LOT NUMBER (BRAMBLEWOOD SUBDIVISION)
- LOT NUMBER (COTTAGE PARK SUBDIVISION)
- WETLAND AREA

**GENERAL NOTES**

1. THE BASIS OF BEARING FOR THIS SURVEY IS 2000 MAGNETIC NORTH MERIDIAN.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CLIMBERLAND COUNTY REGISTRY OF DEEDS. (CORD)
3. RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM WILFRED J. AUDET, JR. TO AUDET LAND COMPANY, LLC, DATED JULY 17, 2001 AND RECORDED IN DEED BOOK 16545, PAGE 1.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
  - a. "PLAN OF LANDS FOR NORTH DEERING SCHOOL PROPERTY MADE FOR THE CITY OF PORTLAND," BY H.L. & E.C. JORDAN, DATED NOVEMBER, 1915. (NOT RECORDED)
  - b. "PLAN OF PROPERTY FOR ROBERT L.S. MCCLURE III AND JENNIE D. MCCLURE," BY SURVEY, INC., DATED NOVEMBER 1984. (NOT RECORDED)
  - c. "PLAN OF LYMAN MOORE MIDDLE SCHOOL," BY CITY OF PORTLAND PUBLIC WORKS DEPARTMENT, DATED JUNE 14, 1994. (NOT RECORDED)
  - d. "BRAMBLEWOOD" BY SURVEY, INC., DATED FEBRUARY, 1987, RECORDED IN PLAN BOOK 161, PAGE 63.
  - e. "COTTAGE PARK PRUD LAYOUT PLAN," BY PARKHAM & GREER, DATED OCTOBER 28, 1983, RECORDED IN PLAN BOOK 193, PAGE 408.
  - f. "STANDARD BOUNDARY SURVEY OF UNITARIAN UNIVERSALIST CHURCH FOR STEELE-KELLOGG ARCHITECTS," BY OWEN HASKELL, INC., DATED MARCH 15, 1990, JOB #90012P.
5. THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP 378, BLOCK A, PARCELS 2 AND 9.
6. THE PARCEL SURVEYED IS LOCATED IN THE RESIDENTIAL 3 (R-3) ZONE. BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS:
  - MINIMUM LOT SIZE: 6,500 S.F. (SEWERED)
  - FRONT YARD SETBACK: 25'
  - SIDE YARD SETBACK: 8' (1 TO 1-1/2 STORY), 14' (2 STORY) AND 16' (2-1/2 STORY)
  - REAR YARD SETBACK: 25'
  - SIDE YARD SETBACK ON A SIDE STREET: 20'
  - MINIMUM LOT WIDTH: 75'
  - MAXIMUM LOT COVERAGE: 25% OF LOT AREA
  - MAXIMUM STRUCTURE HEIGHT: 35'
7. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
  - a. WATER LINE EASEMENT CONVEYED TO THE PORTLAND WATER DISTRICT IN A DEED DATED JANUARY 15, 1994 AND RECORDED IN DEED BOOK 2167, PAGE 122.
  - b. UTILITY EASEMENT CONVEYED TO CMP, DATED DECEMBER 25, 2000.
8. THE WESTERLY BOUNDARY LINES WERE ESTABLISHED USING FOUND MONUMENTS AND EVIDENCE OF OCCUPATION.
9. THE WIDTH AND LAYOUT OF ALLEN AVENUE WAS FOUND IN THE "BLUE SHEETS" RECORDS OF THE CITY OF PORTLAND ENGINEER'S OFFICE. SAID WIDTH IS 60'. THE RIGHT-OF-WAY WAS ESTABLISHED USING THE RECORD LAYOUT ("BLUE SHEETS") AND FOUND MONUMENTATION.
10. THE SUBJECT PARCEL IS LOCATED IN ZONE C OF THE FLOOD INSURANCE RATE MAP COMMUNITY PLAN 230051-0002B WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
11. THE ENTIRE SITE SHALL BE DEVELOPED AND OR MAINTAINED AS DEPICTED ON THE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR ANY DEVIATIONS FROM THE APPROVED PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODS OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
12. EACH LOT SHALL REQUIRE THE SUBMISSION OF A MINOR SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND SHALL BE SUBJECT TO REVIEW PURSUANT TO ARTICLE V (SITE PLAN) OF CHAPTER 14 OF THE PORTLAND CODE. ALL LOTS SHALL BE GRADED AND CONSTRUCTED TO GENERALLY CONFORM TO THE LOT GRADING PLAN AS SHOWN ON SHEET 3. ANY CHANGES, WHICH SIGNIFICANTLY DEVIATE FROM THE INTENDED LOT GRADING PLAN, MAY ONLY BE APPROVED BY THE PORTLAND PLANNING AUTHORITY.
13. A MINIMUM OF TWO TREES PER LOT SHALL BE CONSERVED OR PLANTED IN THE FRONT YARD OF EACH LOT MEETING THE CITY OF PORTLAND'S MINIMUM AGRICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES.
14. LOT 5 SHALL BE ACCESSED FROM FARM HOUSE LANE ONLY. NO ACCESS SHALL BE PROVIDED FOR LOT 5 FROM ALLEN AVENUE.
15. NO CITY OF PORTLAND PUBLIC SERVICE SHALL BE PROVIDED TO THE NORTHGATE FARMS DEVELOPMENT UNTIL THE CITY HAS ACCEPTED THE STREET.

PROJECT NUMBER:	20358	SOFTWARE PROJECT:	20358
ACAD FILE:	20358SSBS.dwg	SCALE:	1" = 50'
DATE:	AUGUST 21, 2001		

**FINAL SUBDIVISION PLAN**

**NORTHGATE FARMS ON ALLEN AVENUE**  
PORTLAND, MAINE

Prepared For:  
**AUDET LAND COMPANY, LLC.**  
400 ALLEN AVENUE, PORTLAND, MAINE 04103

SURVEYING ENGINEERING LAND PLANNING  
**Northeast Civil Solutions**  
INCORPORATED  
153 US ROUTE 1, SCARBOROUGH, MAINE 04074

tel 207.883.1000 fax 207.883.1001  
800.882.2227 ncs@nchsolutions.com

SHEET  
**2**  
OF  
**13**



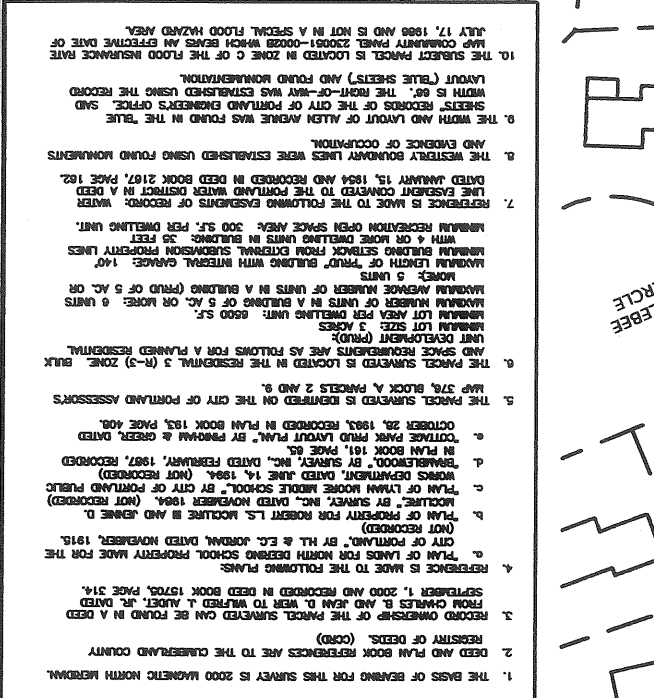
**NCS**  
Northeast Civil Solutions  
SURVEYING ENGINEERING LAND PLANNING  
INCORPORATED  
153 US ROUTE 1, SPARBOROUGH, MAINE 04774  
Tel: 207.863.1000  
Fax: 207.863.2227  
www.northeastcivil.com

**PRELIMINARY SUBDIVISION PLAN**  
PROJECT NUMBER: 20358  
ACAD FILE: 20358S.dwg  
SCALE: 1" = 50'  
DATE: JULY 3, 2001

Client: **AUDET LAND COMPANY, LLC**  
Address: 400 ALLEN AVENUE, PORTLAND, MAINE 04103  
Project Name: **NORTHGATE FARMS ON ALLEN AVENUE**  
Plan No: \_\_\_\_\_  
Sheet No: **1** of **1**

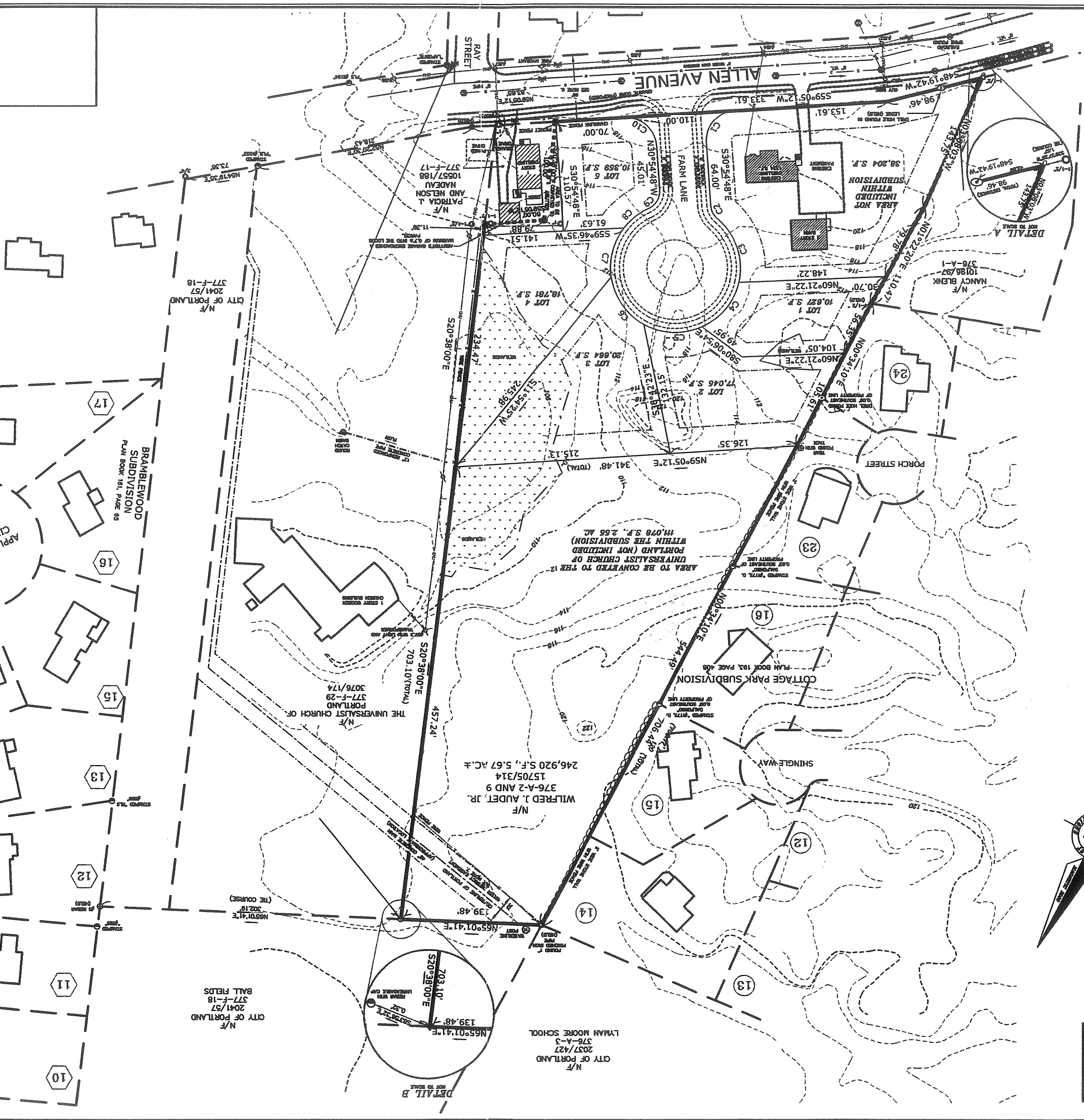
**GENERAL NOTES**

1. THE BASIS OF BOUNDARY FOR THIS SURVEY IS 2000 MAGNETIC NORTH MERIDIAN.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY.
3. RECORD OWNERSHIP OF THE PARCELS SURVEYED CAN BE FOUND IN A DEED SEPTEMBER 1, 2000 AND RECORDED IN DEED BOOK 1707, PAGE 314.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:  
a. PLAN OF LOTS FOR NORTH BERING SCHOOL PROPERTY MADE FOR THE CITY OF PORTLAND, BY H.T. & C.J. JORDAN, DATED NOVEMBER, 1916, (NOT RECORDED).  
b. PLAN OF PROPERTY FOR ROBERT L.S. WOLKLEIN III AND JANE D. WOLKLEIN, DATED MARCH, 1994, BY CITY OF PORTLAND PUBLIC WORKS DEPARTMENT, DATED JUNE 14, 1994, (NOT RECORDED).  
c. PLAN OF LYMAN MOORE MOORE SCHOOL, BY CITY OF PORTLAND (NOT RECORDED).  
d. IN PLAN BOOK 193, PAGE 408, DATED FEBRUARY, 1987, RECORDED.  
e. "COTTAGE PARK SUBDIVISION" BY SURVEY, INC., DATED FEBRUARY, 1987, RECORDED.  
f. "COTTAGE PARK SUBDIVISION" BY SURVEY, INC., DATED OCTOBER 28, 1983, RECORDED IN PLAN BOOK 193, PAGE 408.
5. THE PARCELS SURVEYED IS BOUNDARY TO THE CITY OF PORTLAND ASSESSORS' MAP 378, BLOCK A, PAGES 2 AND 8.
6. THE PARCELS SURVEYED IS LOCATED IN THE RESIDENTIAL 3 (R-3) ZONE, BUILDING ENVELOPE (BUE) AND SPACE REQUIREMENTS ARE AS FOLLOWS FOR A PLANNED RESIDENTIAL UNIT DEVELOPMENT (PUD):  
a. MAXIMUM LOT SIZE: 3 ACRES  
b. MAXIMUM NUMBER OF UNITS IN A BUILDING: 5 UNITS OR MORE, 5 UNITS OR MORE, 5 UNITS  
c. MAXIMUM AVENUE NUMBER OF UNITS IN A BUILDING (PRUD OF 5 AC. OR MORE): 5 UNITS  
d. MAXIMUM LEIGHT OF "PUD" BUILDING WITH INTERNAL GARAGE: 14'0" (MAXIMUM GARAGE NUMBER OF UNITS IN A BUILDING (PRUD OF 5 AC. OR MORE): 5 UNITS  
e. MAXIMUM BUILDING SETBACK FROM EXISTING PROPERTY LINES WITH 4' OR MORE DWELLING UNITS IN BUILDING: 25 FEET  
f. MINIMUM RECEPTION OPEN SPACE AREA: 300 S.F. PER DWELLING UNIT.  
7. REFERENCE IS MADE TO THE FOLLOWING EVIDENTS OF RECORD: WATER LINE EASTMENT CONVEYED TO THE PORTLAND WATER DISTRICT IN A DEED DATED JANUARY 15, 1954 AND RECORDED IN DEED BOOK 2187, PAGE 182.  
8. THE WESTERLY BOUNDARY LINES WERE ESTABLISHED USING FOUND MONUMENTS AND EVIDENCE OF OCCUPATION.  
9. THE WIDTH AND LAYOUT OF ALLEN AVENUE WAS FOUND IN THE "BLUE SHEETS" RECORDS OF THE CITY OF PORTLAND ENGINEER'S OFFICE. SAID WIDTH IS 66'. THE RIGHT-OF-WAY WAS ESTABLISHED USING THE RECORD LAYOUT ("BLUE SHEETS") AND FOUND MONUMENTATION.  
10. THE SUBJECT PARCELS IS LOCATED IN ZONE C OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 220061-00028 WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1988 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



**LEGEND**

- SET #5 REBAR WITH PLASTIC CAP STAMPED
- FOUND REBAR WITH CAP STAMPED AS NOTED
- FOUND IRON PIPE (SIZE AS NOTED)
- FOUND REBAR (SIZE AS NOTED)
- FOUND "PK" NAIL
- SEWER MANHOLE
- WATER SHUTOFF VALVE
- UTILITY POLE
- TREE LINE (APPROXIMATE)
- ( ) SURVEYED POINTS DEPEND ON RECORD DATA
- ( ) BOUNDARY LINE
- - - - - FENCE (TYPE AS NOTED)
- N/F NOW OR FORMERLY OWNED BY THE COURSE
- TRAVELLED WAY
- OVERHEAD UTILITY LINE
- UNDERGROUND SEWER LINE
- UNDERGROUND WATER LINE
- EDGE OF WETLANDS
- CONTOUR LINE (EXISTING)
- 1234/567 DEED BOOK AND PAGE (CROSS)
- 378-A-2 TAX MAP-BLOCK-LOT
- ① LOT NUMBER (COTTAGE PARK SUBDIVISION) WETLAND AREA



**APPROVED BY THE CITY OF PORTLAND PLANNING BOARD**

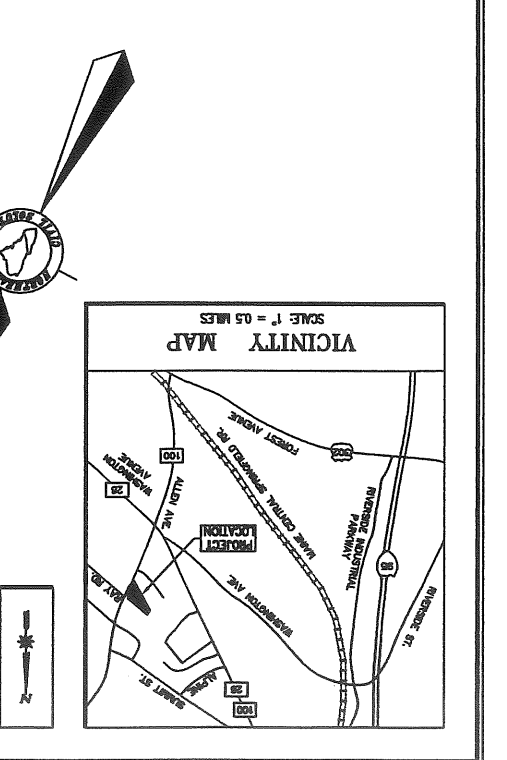
CHAIRPERSON \_\_\_\_\_  
DATE \_\_\_\_\_

**NET RESIDENTIAL AREA CALCULATIONS**

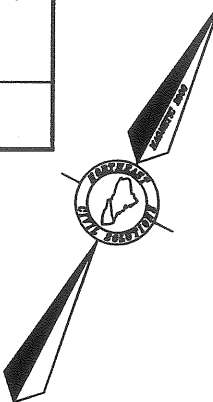
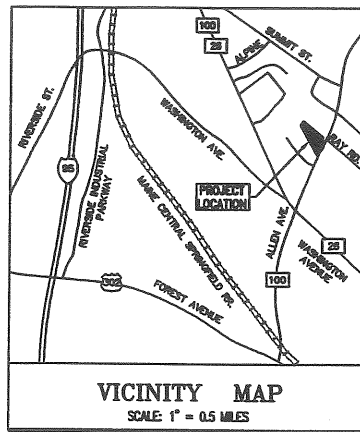
TOTAL AREA	97,633 S.F.
(1) STORM WATER (ESTIMATED) - 6,000 S.F.	- 6,000 S.F.
(2) WATERCOURSES	- 0
(3) UNACCESSIBLE AREA	- 0
(4) WETLANDS	- 19,885 S.F.
(5) FASMENTS	- 0
(6) SLOPES	- 4,575 S.F.
(7) 20% OF REMAINING AREA - 13,435 S.F.	- 13,435 S.F.
<b>TOTAL NET RESIDENTIAL AREA</b>	<b>53,738 S.F.</b>

**CURVE TABLE**

CURVE LENGTH	RADIUS	BEARING	CHORD	DELTA	TANGENT	
1	17.12	20.00	N53°34'11"W	15.41	45.745	20.00
2	12.15	63.00	S17°04'28"W	57.89	51.522	22.33
3	15.82	20.00	N53°34'11"W	15.41	45.745	20.00
4	60.00	63.00	S84°57'38"W	57.89	52.531	22.33
5	60.00	63.00	N82°08'12"W	57.89	52.531	22.33
6	60.00	63.00	N12°31'14"W	51.19	46.244	27.65
7	52.82	63.00	N24°27'25"E	30.98	27.243	13.90
8	31.28	63.00	N24°27'25"E	30.98	27.243	13.90
9	24.14	20.00	S03°36'36"W	22.70	88.028	13.78
10	47.12	20.00	S75°44'48"E	42.43	80.000	20.00





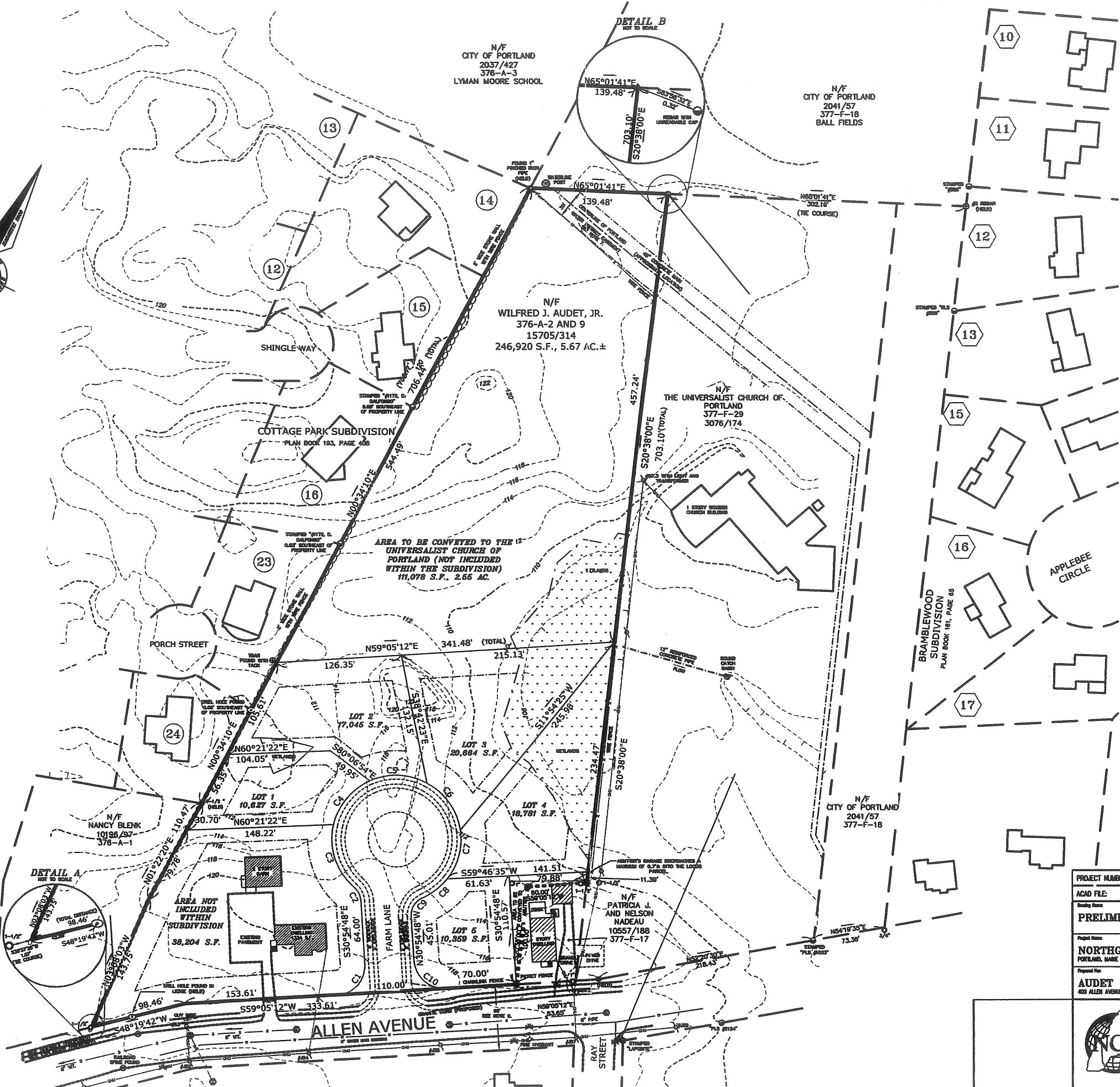


CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA	TANGENT
1	47.12	30.00	N14°05'12"E	42.43	90°00'00"	30.00
2	15.82	20.00	N65°01'41"E	15.41	48°18'46"	8.36
3	70.19	65.00	S48°19'42"W	66.83	61°32'27"	38.96
4	80.00	65.00	S12°04'28"W	57.89	52°53'10"	32.33
5	80.00	65.00	S84°57'38"W	57.89	52°53'10"	32.33
6	80.00	65.00	N82°09'12"W	57.89	52°53'10"	32.33
7	52.82	65.00	N16°31'14"W	51.19	48°22'48"	27.85
8	31.28	65.00	N24°27'28"E	30.98	27°34'39"	15.95
9	24.14	20.00	S03°38'56"W	22.70	88°06'28"	13.79
10	47.12	30.00	S78°54'48"E	42.43	90°00'00"	30.00

NET RESIDENTIAL AREA CALCULATIONS	
TOTAL AREA	97,633 S.F.
1) STORM WATER (ESTIMATED)	- 6,000 S.F.
2) WATERCOURSES	0
3) INACCESSIBLE AREA	0
4) WETLANDS	- 19,885 S.F.
5) EASEMENTS	0
6) SLOPES	- 4,575 S.F.
	67,173 S.F.
7) 20% OF REMAINING AREA	- 13,435 S.F.
<b>TOTAL NET RESIDENTIAL AREA</b>	<b>53,738 S.F.</b>

APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

CHAIRPERSON	DATE



LEGEND	
●	SET #5 REBAR WITH PLASTIC CAP STAMPED "DES LAURIER'S PLS 1314"
○	FOUND #5 REBAR WITH CAP STAMPED AS NOTED
○	FOUND IRON PIPE (SIZE AS NOTED)
○	FOUND REBAR (SIZE AS NOTED)
○	FOUND "P" MAN. SEWER MANHOLE
○	WATER SHUTOFF VALVE
○	UTILITY POLE
○	TREE LINE (APPROXIMATE)
○	STONEWALL
( )	PARENTHESES DENOTE RECORD DATA
- - - - -	ABUTTER OR RIGHT-OF-WAY LINE
- - - - -	BOUNDARY LINE
- - - - -	FENCE (TYPE AS NOTED)
- - - - -	BUILDING ENVELOPE
- - - - -	NOW OR FORMERLY OWNED BY THE COURSE
- - - - -	TRAVELLED WAY
- - - - -	OVERHEAD UTILITY LINE
- - - - -	UNDERGROUND SEWER LINE
- - - - -	UNDERGROUND WATER LINE
- - - - -	EDGE OF WETLANDS
- - - - -	CONTOUR LINE (EXISTING)
1234/567	DEED BOOK AND PAGE (CCRD)
378-A-2	TAX MAP-BLOCK-LOT
○	LOT NUMBER (BRAMBLEWOOD SUBDIVISION)
○	LOT NUMBER (COTTAGE PARK SUBDIVISION)
○	WETLAND AREA

- GENERAL NOTES**
- THE BASIS OF BEARING FOR THIS SURVEY IS 2000 MAGNETIC NORTH MERIDIAN.
  - DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS. (CCRD)
  - RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM CHARLES B. AND JEAN G. WEIR TO WILFRED J. AUDET, JR. DATED SEPTEMBER 1, 2000 AND RECORDED IN DEED BOOK 15705, PAGE 314.
  - REFERENCE IS MADE TO THE FOLLOWING PLANS:
    - "PLAN OF LANDS FOR NORTH DEERING SCHOOL PROPERTY MADE FOR THE CITY OF PORTLAND," BY H.L. & E.C. JORDAN, DATED NOVEMBER, 1915. (NOT RECORDED)
    - "PLAN OF PROPERTY FOR ROBERT L.S. MCCLURE II AND JENNIE D. MCCLURE," BY SURVEY, INC., DATED NOVEMBER 1984. (NOT RECORDED)
    - "PLAN OF LYMAN MOORE MIDDLE SCHOOL," BY CITY OF PORTLAND PUBLIC WORKS DEPARTMENT, DATED JUNE 14, 1984. (NOT RECORDED)
    - "BRAMBLEWOOD," BY SURVEY, INC., DATED FEBRUARY, 1987, RECORDED IN PLAN BOOK 181, PAGE 65.
    - "COTTAGE PARK PRUD LAYOUT PLAN," BY PINCHAM & GREER, DATED OCTOBER 28, 1993, RECORDED IN PLAN BOOK 183, PAGE 408.
  - THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP 376, BLOCK A, PARCELS 2 AND 9.
  - THE PARCEL SURVEYED IS LOCATED IN THE RESIDENTIAL 3 (R-3) ZONE. BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS FOR A PLANNED RESIDENTIAL UNIT DEVELOPMENT (PRUD):
    - MINIMUM LOT SIZE: 3 ACRES
    - MINIMUM LOT AREA PER DWELLING UNIT: 6500 S.F.
    - MAXIMUM NUMBER OF UNITS IN A BUILDING OF 5 AC. OR MORE: 6 UNITS
    - MAXIMUM AVERAGE NUMBER OF UNITS IN A BUILDING (PRUD OF 5 AC. OR MORE): 5 UNITS
    - MAXIMUM LENGTH OF "PRUD" BUILDING WITH INTERNAL GARAGE: 140'
    - MINIMUM BUILDING SETBACK FROM EXTERNAL SUBDIVISION PROPERTY LINES WITH 4 OR MORE DWELLING UNITS IN BUILDING: 35 FEET
    - MINIMUM RECREATION OPEN SPACE AREA: 300 S.F. PER DWELLING UNIT.
  - REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD: WATER LINE EASEMENT CONVEYED TO THE PORTLAND WATER DISTRICT IN A DEED DATED JANUARY 15, 1954 AND RECORDED IN DEED BOOK 2167, PAGE 162.
  - THE WESTERLY BOUNDARY LINES WERE ESTABLISHED USING FOUND MONUMENTS AND EVIDENCE OF OCCUPATION.
  - THE WIDTH AND LAYOUT OF ALLEN AVENUE WAS FOUND IN THE "BLUE SHEETS" RECORDS OF THE CITY OF PORTLAND ENGINEER'S OFFICE. SAID WIDTH IS 66'. THE RIGHT-OF-WAY WAS ESTABLISHED USING THE RECORD LAYOUT ("BLUE SHEETS") AND FOUND MONUMENTATION.
  - THE SUBJECT PARCEL IS LOCATED IN ZONE C OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 230001-0002B WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

PROJECT NUMBER: 20358	SCALE: 1" = 50'	DATE: JULY 3, 2001
ACAD FILE: 20358SSS.dwg		

**PRELIMINARY SUBDIVISION PLAN**

Project Name:  
**NORTGATE FARMS ON ALLEN AVENUE**  
PORTLAND, MAINE

Prepared For:  
**AUDET LAND COMPANY, LLC.**  
400 ALLEN AVENUE, PORTLAND, MAINE 04103

SURVEYING ENGINEERING LAND PLANNING  
**Northeast Civil Solutions**  
INCORPORATED

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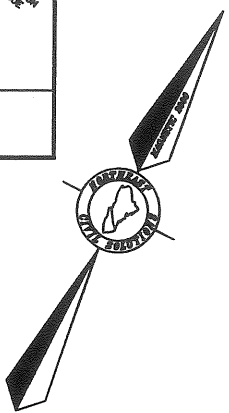
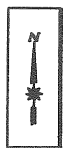
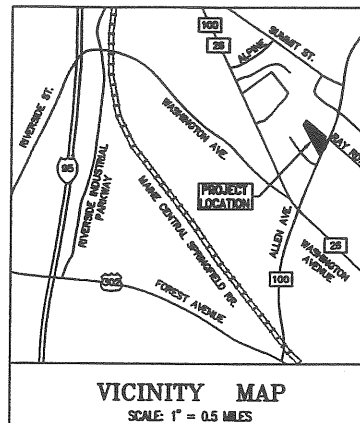
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SKETCH PLAN, NORTHEAST CIVIL SOLUTIONS, INC.







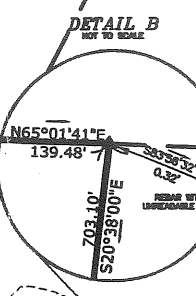
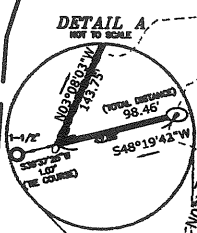
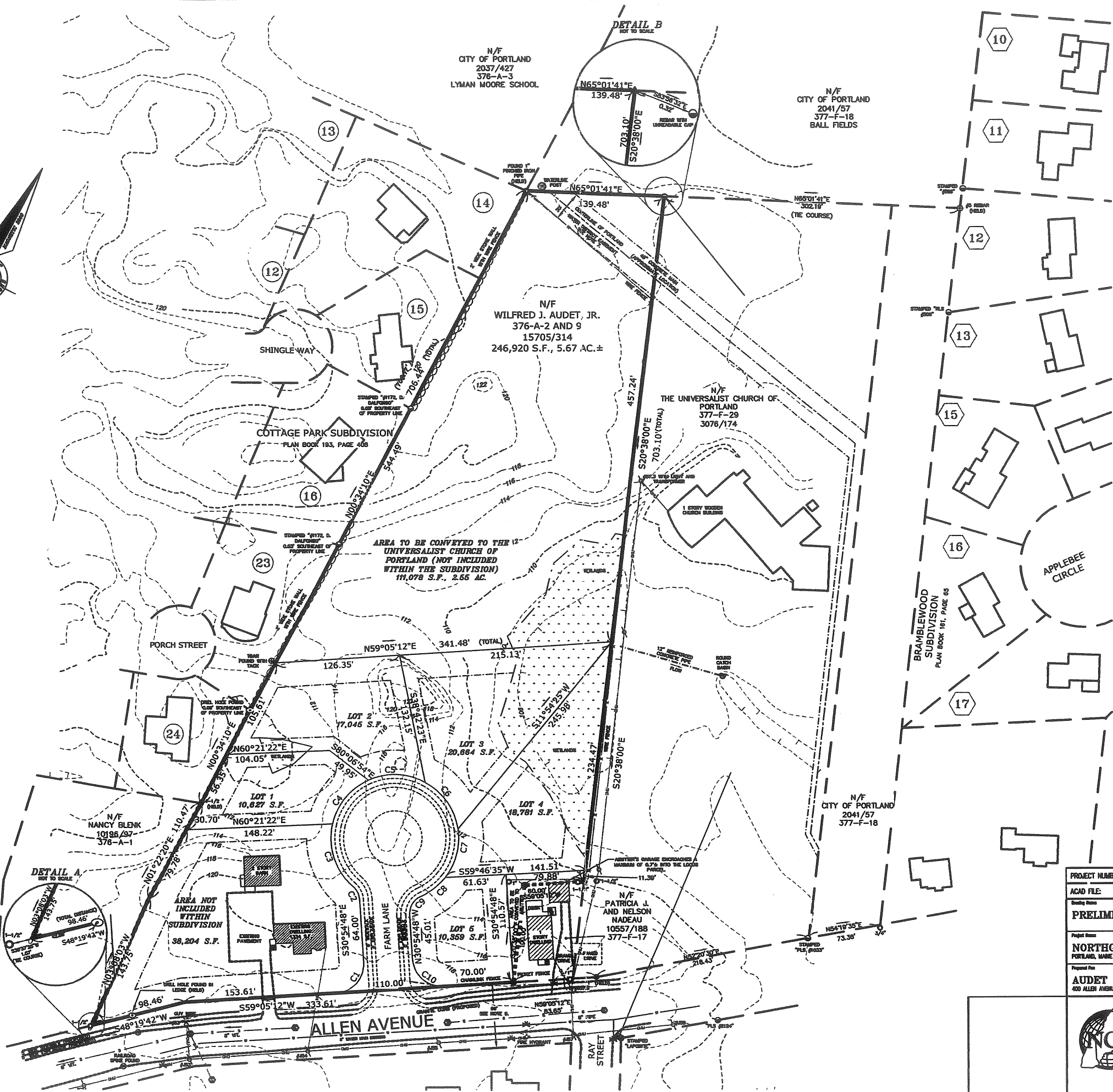


CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA	TANGENT
1	47.12	30.00	N143°51'22"E	42.43	90°00'00"	30.00
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3	70.16	65.00	S48°16'20"E	65.63	61°32'27"	38.96
4	60.00	65.00	S74°04'26"W	57.89	52°53'10"	32.33
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6	60.00	65.00	N62°00'12"W	57.89	52°53'10"	32.33
7	52.62	65.00	N12°31'14"W	51.19	48°22'48"	27.85
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10	47.12	30.00	S79°34'48"E	42.43	90°00'00"	30.00

NET RESIDENTIAL AREA CALCULATIONS	
TOTAL AREA	97,633 S.F.
1) STORM WATER (ESTIMATED)	- 6,000 S.F.
2) WATERCOURSES	- 0
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6) SLOPES	- 4,575 S.F.
	67,173 S.F.
7) 20% OF REMAINING AREA	- 13,435 S.F.
<b>TOTAL NET RESIDENTIAL AREA</b>	<b>53,738 S.F.</b>

APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

CHAIRPERSON	DATE



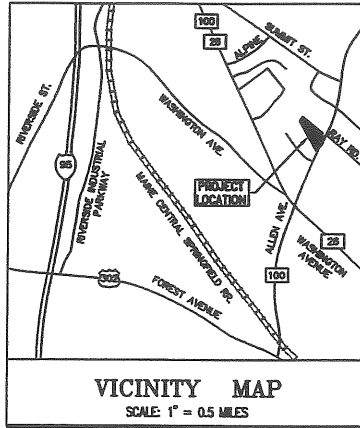
LEGEND	
●	SET #5 REBAR WITH PLASTIC CAP STAMPED "DES LAURERS PLS 1314"
○	FOUND #5 REBAR WITH CAP STAMPED AS NOTED
○	FOUND IRON PIPE (SIZE AS NOTED)
○	FOUND REBAR (SIZE AS NOTED)
○	FOUND "PK" NAIL
○	SEWER MANHOLE
○	WATER SHUTOFF VALVE
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- - -	CONTOUR LINE (EXISTING)
1234/567	DEED BOOK AND PAGE (CCRD)
376-A-2	TAX MAP-BLOCK-LOT
Ⓢ	LOT NUMBER (BRAMBLEWOOD SUBDIVISION)
Ⓣ	LOT NUMBER (COTTAGE PARK SUBDIVISION)
Ⓜ	WETLAND AREA

- GENERAL NOTES**
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  - DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS. (CCRD)
  - RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM CHARLES B. AND JEAN D. WERT TO WILFRED J. AUDET, JR. DATED SEPTEMBER 1, 2000 AND RECORDED IN DEED BOOK 15705, PAGE 314.
  - REFERENCE IS MADE TO THE FOLLOWING PLANS:
    - "PLAN OF LANDS FOR NORTH DEERING SCHOOL PROPERTY MADE FOR THE CITY OF PORTLAND," BY H.L. & E.C. JORDAN, DATED NOVEMBER, 1915. (NOT RECORDED)
    - "PLAN OF PROPERTY FOR ROBERT L.S. MCCLURE II AND JENNIE D. MCCLURE," BY SURVEY, INC., DATED NOVEMBER 1984. (NOT RECORDED)
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    - MINIMUM LOT AREA PER DWELLING UNIT: 6500 S.F.
    - MAXIMUM NUMBER OF UNITS IN A BUILDING OF 5 AC. OR MORE: 6 UNITS
    - MAXIMUM AVERAGE NUMBER OF UNITS IN A BUILDING (PRUD OF 5 AC. OR MORE): 5 UNITS
    - MAXIMUM LENGTH OF "PRUD" BUILDING WITH INTEGRAL GARAGE: 140'
    - MINIMUM BUILDING SETBACK FROM EXTERNAL SUBDIVISION PROPERTY LINES WITH 4 OR MORE DWELLING UNITS IN BUILDING: 35 FEET
    - MINIMUM RECREATION OPEN SPACE AREA: 300 S.F. PER DWELLING UNIT.
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  - THE WESTERLY BOUNDARY LINES WERE ESTABLISHED USING FOUND MONUMENTS AND EVIDENCE OF OCCUPATION.
  - THE WIDTH AND LAYOUT OF ALLEN AVENUE WAS FOUND IN THE "BLUE SHEETS" RECORDS OF THE CITY OF PORTLAND ENGINEER'S OFFICE. SAID WIDTH IS 65'. THE RIGHT-OF-WAY WAS ESTABLISHED USING THE RECORD LAYOUT ("BLUE SHEETS") AND FOUND MONUMENTATION.
  - THE SUBJECT PARCEL IS LOCATED IN ZONE C OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 230051-0002B WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1988 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

PROJECT NUMBER: 20358	SCALE: 1" = 50'	DATE: JULY 3, 2001
ACAD FILE: 20358SBS.dwg		
<b>PRELIMINARY SUBDIVISION PLAN</b>		
<b>NORTHGATE FARMS ON ALLEN AVENUE</b>		
PORTLAND, MAINE		
Prepared For:		
<b>AUDET LAND COMPANY, LLC.</b>		
400 ALLEN AVENUE, PORTLAND, MAINE 04103		
SURVEYING ENGINEERING LAND PLANNING <b>Northeast Civil Solutions</b> INCORPORATED		SHEET <b>1</b> OF <b>1</b>
153 US ROUTE 1, SCARBOROUGH, MAINE 04074		
tel 207.883.1000 fax 207.883.1001 e-mail ncs@necsl.net		
207.883.1000 207.883.2227		

SHEET PLAN, NORTHGATE FARMS ON ALLEN AVENUE, PORTLAND, MAINE 04103





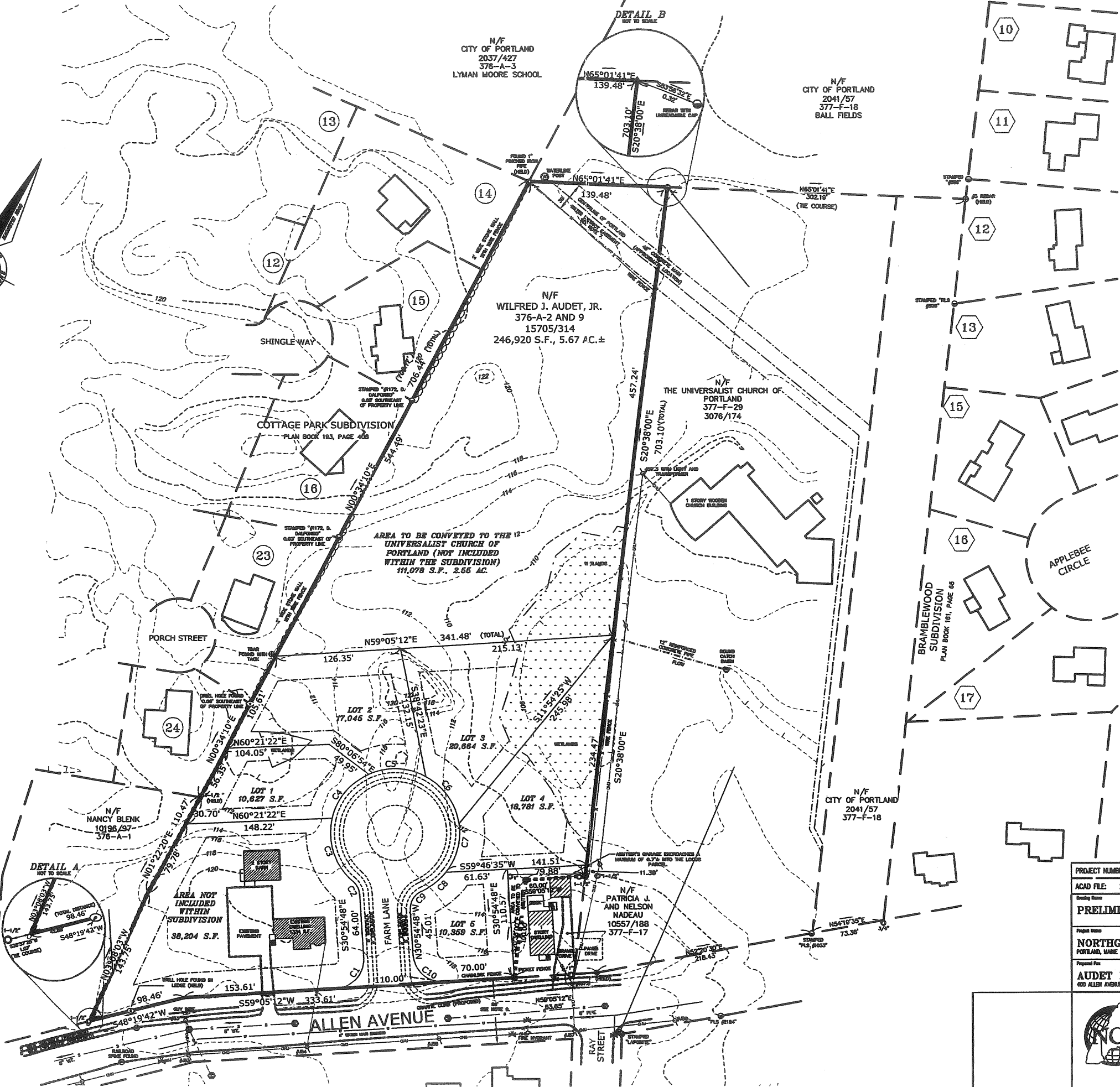
VICINITY MAP  
SCALE: 1" = 0.5 MILES

CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA	TANGENT
1	47.12	30.00	N14°05'12"E	42.43	90°00'00"	30.00
2	15.82	20.00	N53°34'41"W	15.41	48°18'45"	8.35
3	70.19	65.00	S48°18'20"E	68.83	61°32'27"	38.96
4	60.00	65.00	S12°04'28"W	57.89	52°33'10"	32.33
5	60.00	65.00	S84°57'35"W	57.89	52°33'10"	32.33
6	60.00	65.00	N85°08'12"W	57.89	52°33'10"	32.33
7	52.62	65.00	N12°31'14"W	51.19	48°22'48"	27.85
8	31.28	65.00	N24°27'28"E	30.98	27°34'32"	15.95
9	24.14	20.00	S01°38'56"W	22.70	68°08'28"	13.79
10	47.12	30.00	S75°54'48"E	42.43	90°00'00"	30.00

NET RESIDENTIAL AREA CALCULATIONS	
TOTAL AREA	97,633 S.F.
1) STORM WATER (ESTIMATED)	- 6,000 S.F.
2) WATERCOURSES	- 0
3) INACCESSIBLE AREA	- 0
4) WETLANDS	- 19,885 S.F.
5) EASEMENTS	- 0
6) SLOPES	- 4,575 S.F.
	67,173 S.F.
7) 20% OF REMAINING AREA	- 13,435 S.F.
<b>TOTAL NET RESIDENTIAL AREA</b>	<b>53,738 S.F.</b>

APPROVED BY THE CITY OF  
PORTLAND PLANNING BOARD


CHAIRPERSON	DATE



LEGEND	
●	SET #5 REBAR WITH PLASTIC CAP STAMPED "DES LAURIERS PLS 1314"
○	FOUND #5 REBAR WITH CAP STAMPED AS NOTED
○	FOUND IRON PIPE (SIZE AS NOTED)
○	FOUND REBAR (SIZE AS NOTED)
○	FOUND "PK" NAIL
○	SEWER MANHOLE
○	WATER SHUTOFF VALVE
○	UTILITY POLE
○	TREE LINE (APPROXIMATE)
○	STONEMALL
( )	PARENTHESES DENOTE RECORD DATA
- - -	ABUTTER OR RIGHT-OF-WAY LINE
- - -	BOUNDARY LINE
- - -	FENCE (TYPE AS NOTED)
- - -	BUILDING ENVELOPE
- - -	NOW OR FORMERLY OWNED BY THE COURSE
- - -	TRAVELLED WAY
- - -	OVERHEAD UTILITY LINE
- - -	UNDERGROUND SEWER LINE
- - -	UNDERGROUND WATER LINE
- - -	EDGE OF WETLANDS
- - -	CONTOUR LINE (EXISTING)
- - -	DEED BOOK AND PAGE (CCRD)
- - -	TAX MAP-BLOCK-LOT
- - -	LOT NUMBER (BRAMBLEWOOD SUBDIVISION)
- - -	LOT NUMBER (COTTAGE PARK SUBDIVISION)
- - -	WETLAND AREA

- GENERAL NOTES**
- THE BASIS OF BEARING FOR THIS SURVEY IS 2000 MAGNETIC NORTH MERIDIAN.
  - DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS. (CCRD)
  - RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM CHARLES B. AND JEAN D. WIER TO WILFRED J. AUDET, JR. DATED SEPTEMBER 1, 2000 AND RECORDED IN DEED BOOK 15705, PAGE 314.
  - REFERENCE IS MADE TO THE FOLLOWING PLANS:
    - "PLAN OF LOTS FOR NORTH DESHON SCHOOL PROPERTY MADE FOR THE CITY OF PORTLAND," BY H.L. & E.C. JORDAN, DATED NOVEMBER, 1918. (NOT RECORDED)
    - "PLAN OF PROPERTY FOR ROBERT L.S. MCCLURE III AND JENNIE D. MCCLURE," BY SURVEY, INC., DATED NOVEMBER 1984. (NOT RECORDED)
    - "PLAN OF LYMAN MOORE MIDDLE SCHOOL," BY CITY OF PORTLAND PUBLIC WORKS DEPARTMENT, DATED JUNE 14, 1984. (NOT RECORDED)
    - "BRAMBLEWOOD," BY SURVEY, INC., DATED FEBRUARY, 1987, RECORDED IN PLAN BOOK 161, PAGE 65.
    - "COTTAGE PARK PRUD LAYOUT PLAN," BY PRUDHAM & GREER, DATED OCTOBER 28, 1983, RECORDED IN PLAN BOOK 153, PAGE 408.
  - THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP 378, BLOCK A, PARCELS 2 AND 9.
  - THE PARCEL SURVEYED IS LOCATED IN THE RESIDENTIAL 3 (R-3) ZONE. BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS FOR A PLANNED RESIDENTIAL UNIT DEVELOPMENT (PRUD):
    - MINIMUM LOT SIZE: 3 ACRES
    - MINIMUM LOT AREA PER DWELLING UNIT: 6500 S.F.
    - MAXIMUM NUMBER OF UNITS IN A BUILDING OF 5 AC. OR MORE: 6 UNITS
    - MAXIMUM AVERAGE NUMBER OF UNITS IN A BUILDING (PRUD OF 5 AC. OR MORE): 5 UNITS
    - MAXIMUM LENGTH OF "PRUD" BUILDING WITH INTEGRAL GARAGE: 140'
    - MINIMUM BUILDING SETBACK FROM EXTERNAL SUBDIVISION PROPERTY LINES WITH 4 OR MORE DWELLING UNITS IN BUILDING: 35 FEET
    - MINIMUM RECREATION OPEN SPACE AREA: 300 S.F. PER DWELLING UNIT.
  - REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD: WATER LINE EASEMENT CONVEYED TO THE PORTLAND WATER DISTRICT IN A DEED DATED JANUARY 15, 1954 AND RECORDED IN DEED BOOK 2167, PAGE 182.
  - THE WESTERLY BOUNDARY LINES WERE ESTABLISHED USING FOUND MONUMENTS AND EVIDENCE OF OCCUPATION.
  - THE WIDTH AND LAYOUT OF ALLEN AVENUE WAS FOUND IN THE "BLUE SHEETS" RECORDS OF THE CITY OF PORTLAND ENGINEER'S OFFICE. SAID WIDTH IS 66'. THE RIGHT-OF-WAY WAS ESTABLISHED USING THE RECORD LAYOUT ("BLUE SHEETS") AND FOUND MONUMENTATION.
  - THE SUBJECT PARCEL IS LOCATED IN ZONE C OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 230051-002B WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

PROJECT NUMBER:	20358
ACAD FILE:	20358SBS.dwg
SCALE:	1" = 50'
DATE:	JULY 3, 2001
<b>PRELIMINARY SUBDIVISION PLAN</b>	
Project Name:	
<b>NORTHGATE FARMS ON ALLEN AVENUE</b>	
PORTLAND, MAINE	
Prepared For:	
<b>AUDET LAND COMPANY, LLC.</b>	
400 ALLEN AVENUE, PORTLAND, MAINE 04103	



SURVEYING ENGINEERING LAND PLANNING  
**Northeast Civil Solutions**  
INCORPORATED

153 US ROUTE 1, SCARBOROUGH, MAINE 04074

tel 207.883.1000 fax 207.883.1001 e-mail ncs@necs.net  
800.882.2227

SHEET	1
OF	1

SHEET PLAN, NORTHEAST CIVIL SOLUTIONS, INC.

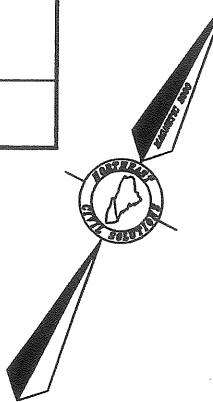
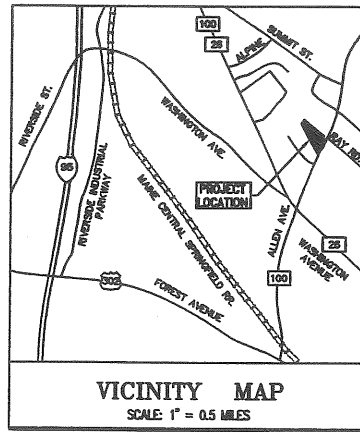










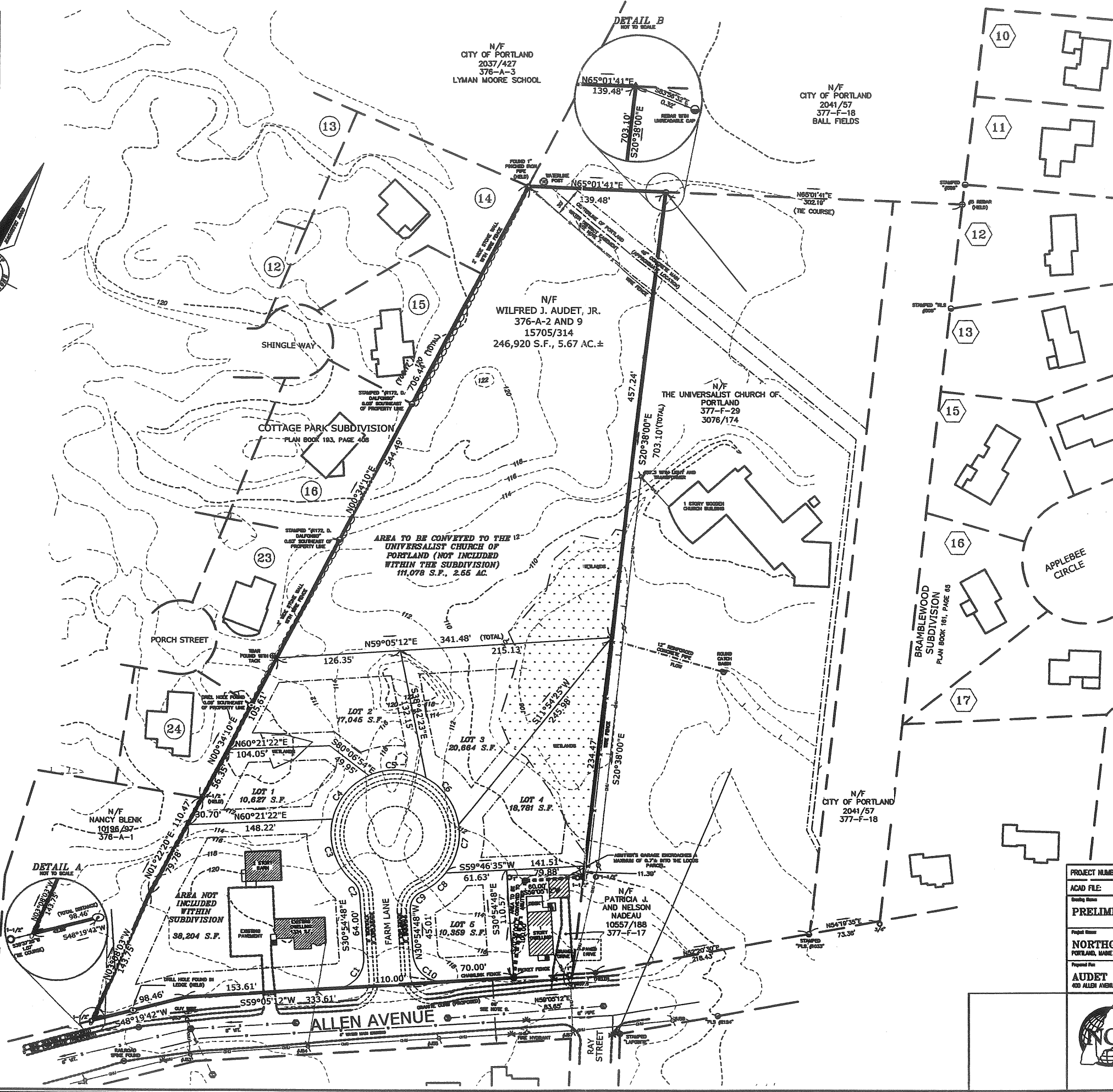


CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA	TANGENT
1	47.12	30.00	N14°05'12"E	42.43	92°00'00"	30.00
2	15.82	20.00	N53°34'41"W	15.41	45°18'46"	8.35
3	70.19	65.00	S49°18'20"E	66.83	61°52'27"	38.96
4	60.00	85.00	S12°04'28"W	57.89	52°33'10"	32.33
5	60.00	85.00	S84°07'36"W	57.89	52°33'10"	32.33
6	60.00	85.00	N82°08'12"E	57.89	52°33'10"	32.33
7	52.82	65.00	N12°11'14"E	51.18	45°22'46"	27.85
8	31.28	65.00	N24°27'25"E	30.68	27°34'39"	15.85
9	24.14	20.00	S03°38'56"W	22.70	69°08'28"	13.79
10	47.12	30.00	S75°34'48"E	42.43	92°00'00"	30.00

TOTAL AREA	97,633 S.F.
1) STORM WATER (ESTIMATED)-	6,000 S.F.
2) WATERCOURSES	0
3) INACCESSIBLE AREA	0
4) WETLANDS	19,885 S.F.
5) EASEMENTS	0
6) SLOPES	4,575 S.F.
	67,173 S.F.
7) 20% OF REMAINING AREA	-13,435 S.F.
<b>TOTAL NET RESIDENTIAL AREA</b>	<b>53,738 S.F.</b>

APPROVED BY THE CITY OF  
PORTLAND PLANNING BOARD

CHAIRPERSON	DATE



●	SET #5 REBAR WITH PLASTIC CAP STAMPED "DES LAURENS PLS 1314"
○	FOUND #5 REBAR WITH CAP STAMPED AS NOTED
○	FOUND IRON PIPE (SIZE AS NOTED)
○	FOUND REBAR (SIZE AS NOTED)
○	FOUND "M" HOLE
○	SEWER MANHOLE
○	WATER SHUTOFF VALVE
○	UTILITY POLE
---	TREE LINE (APPROXIMATE)
---	STONEWALL
( )	PARENTHESES DENOTE RECORD DATA
-X-X-X-	ABUTTER OR RIGHT-OF-WAY LINE
---	BOUNDARY LINE
-X-X-X-	FENCE (TYPE AS NOTED)
---	BUILDING ENVELOPE
N/F	NOW OR FORMERLY OWNED BY
---	THE COURSE
---	TRAVELLED WAY
---	OVERHEAD UTILITY LINE
---	UNDERGROUND SEWER LINE
---	UNDERGROUND WATER LINE
---	EDGE OF WETLANDS
---	CONTOUR LINE (EXISTING)
1234/567	DEED BOOK AND PAGE (CCRD)
378-A-2	TAX MAP-BLOCK-LOT
⊙	LOT NUMBER (BRAMBLEWOOD SUBDIVISION)
⊙	LOT NUMBER (COTTAGE PARK SUBDIVISION)
⊙	WETLAND AREA

- |     |   |
|-----|---|
| 1.  | THE BASIS OF BEARING FOR THIS SURVEY IS 2000 MAGNETIC NORTH MERIDIAN.   |
| 2.  | DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS. (CCRD)  |
| 3.  | RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM CHARLES B. AND JEAN D. WER TO WILFRED J. AUDET, JR. DATED SEPTEMBER 1, 2000 AND RECORDED IN DEED BOOK 15705, PAGE 314.  |
| 4.  | REFERENCE IS MADE TO THE FOLLOWING PLANS: <ul style="list-style-type: none"> <li>a. "PLAN OF LANDS FOR NORTH DEERING SCHOOL PROPERTY MADE FOR THE CITY OF PORTLAND," BY H.L. &amp; E.C. JORDAN, DATED NOVEMBER, 1915. (NOT RECORDED)</li> <li>b. "PLAN OF PROPERTY FOR ROBERT L.S. MCCLURE III AND JOANNE D. MCCLURE," BY SURVEY, INC., DATED NOVEMBER 1984. (NOT RECORDED)</li> <li>c. "PLAN OF LYMAN MOORE MIDDLE SCHOOL," BY CITY OF PORTLAND PUBLIC WORKS DEPARTMENT, DATED JUNE 14, 1994. (NOT RECORDED)</li> <li>d. "BRAMBLEWOOD," BY SURVEY, INC., DATED FEBRUARY, 1967, RECORDED IN PLAN BOOK 181, PAGE 65.</li> <li>e. "COTTAGE PARK PRUD LAYOUT PLAN," BY PERHAM &amp; GREER, DATED OCTOBER 28, 1993, RECORDED IN PLAN BOOK 193, PAGE 408.</li> </ul> |
| 5.  | THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSOR'S MAP 378, BLOCK A, PARCELS 2 AND 9.   |
| 6.  | THE PARCEL SURVEYED IS LOCATED IN THE RESIDENTIAL 3 (R-3) ZONE. BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS FOR A PLANNED RESIDENTIAL UNIT DEVELOPMENT (PRUD): <ul style="list-style-type: none"> <li>MINIMUM LOT SIZE: 3 ACRES</li> <li>MINIMUM LOT AREA PER DWELLING UNIT: 6500 S.F.</li> <li>MAXIMUM NUMBER OF UNITS IN A BUILDING OF 5 AC. OR MORE: 6 UNITS</li> <li>MAXIMUM AVERAGE NUMBER OF UNITS IN A BUILDING OF 5 AC. OR MORE: 5 UNITS</li> <li>MAXIMUM LENGTH OF "PRUD" BUILDING WITH INTEGRAL GARAGE: 140'</li> <li>MINIMUM BUILDING SETBACK FROM EXTERNAL SUBDIVISION PROPERTY LINES WITH 4 OR MORE DWELLING UNITS IN BUILDING: 35 FEET</li> <li>MINIMUM RECREATION OPEN SPACE AREA: 300 S.F. PER DWELLING UNIT.</li> </ul>                         |
| 7.  | REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD: WATER LINE EASEMENT CONVEYED TO THE PORTLAND WATER DISTRICT IN A DEED DATED JANUARY 15, 1954 AND RECORDED IN DEED BOOK 2167, PAGE 182.  |
| 8.  | THE WESTERLY BOUNDARY LINES WERE ESTABLISHED USING FOUND MONUMENTS AND EVIDENCE OF OCCUPATION.  |
| 9.  | THE WIDTH AND LAYOUT OF ALLEN AVENUE WAS FOUND IN THE "BLUE SHEETS" RECORDS OF THE CITY OF PORTLAND ENGINEER'S OFFICE. SAID WIDTH IS 66'. THE RIGHT-OF-WAY WAS ESTABLISHED USING THE RECORD LAYOUT ("BLUE SHEETS") AND FOUND MONUMENTATION.   |
| 10. | THE SUBJECT PARCEL IS LOCATED IN ZONE C OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 220051-00028 WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1998 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.  |

PROJECT NUMBER:	20358	SCALE:	1" = 50'	DATE:	JULY 3, 2001
ACAD FILE:	20358SSS.dwg				
<b>PRELIMINARY SUBDIVISION PLAN</b>					
Project Name:					
<b>NORTHGATE FARMS ON ALLEN AVENUE</b>					
Prepared For:					
<b>AUDET LAND COMPANY, LLC.</b>					
400 ALLEN AVENUE, PORTLAND, MAINE 04053					
 <b>Northeast Civil Solutions</b> INCORPORATED 153 US ROUTE 1, SCARBOROUGH, MAINE 04074 tel 207.883.1000 fax 207.883.1001 e-mail ncs@necs.net 207.883.2227					SHEET
					1
					OF
					1

SKETCH PLAN, NORTHEAST CIVIL SOLUTIONS, INC.



SHEET PLAN, NORTHWEST CORNER SOLUTIONS, INC.

**NCS**  
Northeast Civil Solutions  
SURVEYING ENGINEERING LAND PLANNING  
INCORPORATED  
153 US ROUTE 1, SCARBOROUGH, MAINE 04074  
Tel: 207.883.1000  
Fax: 207.883.2227  
www.northeastcivil.com

PROJECT NUMBER: 20358  
 ACD FILE: 20358.dwg  
 SCALE: 1" = 50'  
 DATE: JULY 3, 2001

PRELIMINARY SUBDIVISION PLAN  
 NORTHGATE FARMS ON ALLEN AVENUE  
 NORTHGATE FARMS, LLC.  
 AUDLET LAND COMPANY, LLC.  
 400 ALLEN AVENUE, PORTLAND, MAINE 04103

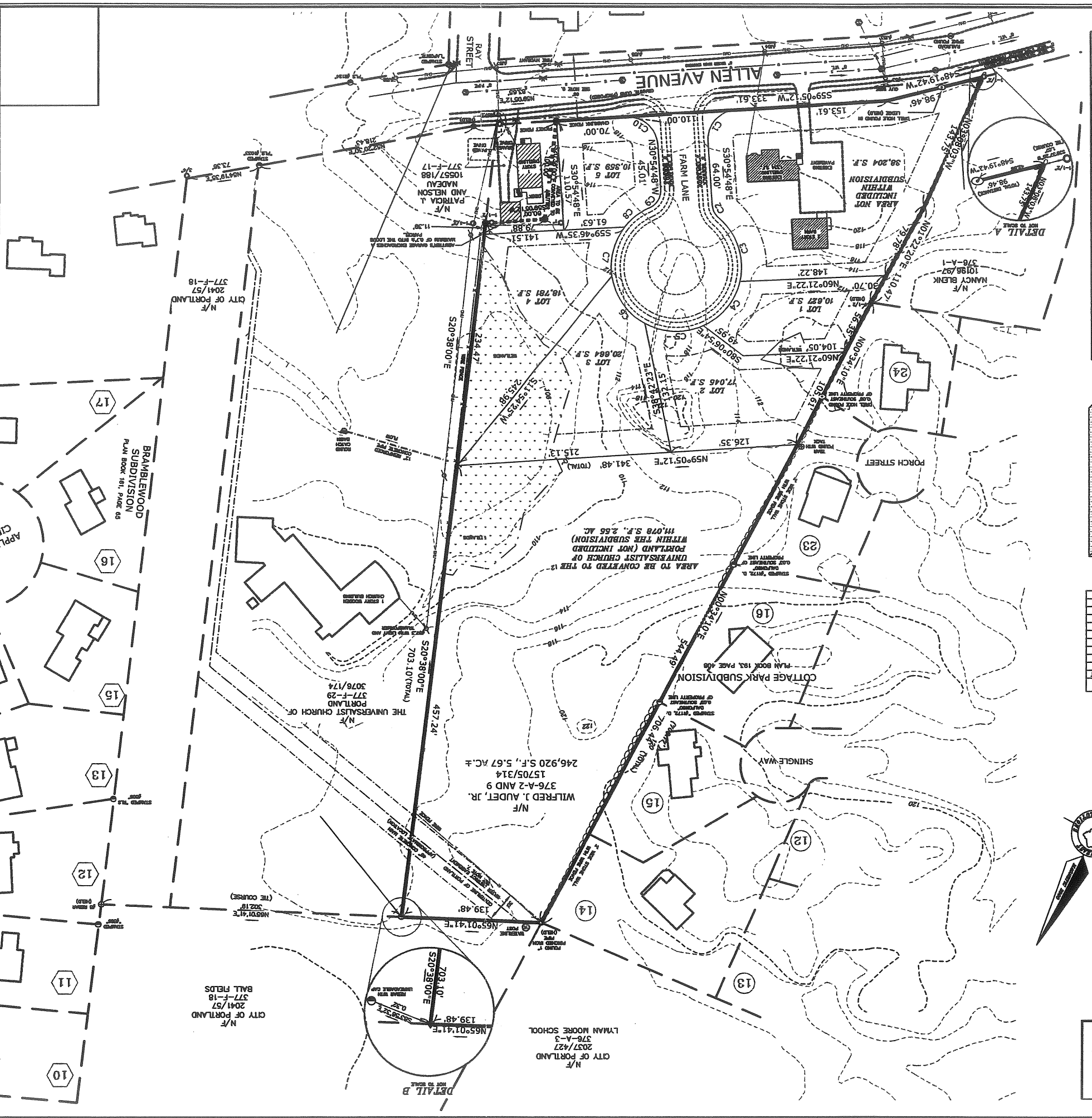
1. THE BASIS OF BEARING FOR THIS SURVEY IS 2000 MAGNETIC NORTH MERIDIAN.  
 2. DEED AND PLAN BOOK REFERENCES ARE TO THE CAMDENLAND COUNTY  
 REGISTRY OF DEEDS (CORD).  
 3. RECORD OWNERSHIP OF THE PARCELS SURVEYED CAN BE FOUND IN A DEED  
 SEPTEMBER 1, 2000 AND RECORDED IN DEED BOOK 1707A, PAGE 314.  
 4. PLAN OF LOTS FOR NORTH DERRIS PROPERTY MADE FOR THE  
 CITY OF PORTLAND, BY H.L. & C.C. JORDAN, DATED NOVEMBER, 1918,  
 (NOT RECORDED).  
 5. PLAN OF PROPERTY FOR ROBERT L.S. MOULTON III AND JANE D.  
 MOULTON, BY SWARTZ, INC., DATED WINTER 1904, (NOT RECORDED).  
 6. PLAN OF LYMAN MOORE SCHOOL, BY CITY OF PORTLAND  
 WORKS DEPARTMENT, DATED JUNE 14, 1904, (NOT RECORDED).  
 7. BRAMBLEWOOD, BY SURVEY, INC., DATED FEBRUARY, 1907, RECORDED  
 IN PLAN BOOK 62, PAGE 181.  
 8. COTTAGE PARK, BY SURVEY, INC., DATED OCTOBER 28, 1903, RECORDED IN PLAN BOOK 193, PAGE 400.  
 9. MAP 376, BLOCK A, PAGES 2 AND 8.  
 10. THE PARCELS SURVEYED IS LOCATED IN THE CITY OF PORTLAND ASSESSORS'  
 MAP 376, BLOCK A, PAGES 2 AND 8.  
 11. THE PARCELS SURVEYED IS LOCATED IN THE 3 (R-3) ZONE. BULK  
 UNIT DEVELOPMENT (PUD) AND SPACE REQUIREMENTS AS FOLLOWS FOR A PLANNED RESIDENTIAL  
 DEVELOPMENT (PUD):  
 1. MINIMUM LOT SIZE: 3 ACRES  
 2. MINIMUM LOT AREA PER DWELLING UNIT: 6500 S.F.  
 3. MAXIMUM NUMBER OF UNITS IN A BUILDING OR MORE: 6 UNITS  
 4. MAXIMUM AVERAGE NUMBER OF UNITS IN A BUILDING (PRUD OF 5 A.C. OR  
 MORE): 5 UNITS  
 5. MAXIMUM LENGTH OF "PRUD" BUILDING WITH INTERNAL GARAGE: 140'  
 6. MAXIMUM BUILDING SETBACK FROM EXTERNAL SUBDIVISION PROPERTY LINES  
 WITH 4' OR MORE DWELLING UNITS IN BUILDING: 35 FEET  
 7. MAXIMUM BUILDING SETBACK FROM EXTERNAL SUBDIVISION PROPERTY LINES  
 WITH 5 OR MORE DWELLING UNITS IN BUILDING: 35 FEET  
 8. MAXIMUM RECEPTION OPEN SPACE AREA: 300 S.F. PER DWELLING UNIT.  
 9. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD: WATER  
 LINE EASEMENT CONVEYED TO THE PORTLAND WATER DISTRICT IN A DEED  
 DATED JANUARY 15, 1954 AND RECORDED IN DEED BOOK 2187, PAGE 182.  
 10. THE WESTERN BOUNDARY LINES WERE ESTABLISHED USING FOUND MONUMENTS  
 AND EVIDENCE OF OCCUPANCY.  
 11. THE WIDTH AND LAYOUT OF ALLEN AVENUE WAS FOUND IN THE TALE  
 SHEETS' RECORDS OF THE CITY OF PORTLAND ENGINEER'S OFFICE. SAID  
 WIDTH IS 66'. THE RIGHT-OF-WAY WAS ESTABLISHED USING THE RECORDED  
 LAYOUT (TALE SHEETS) AND FOUND MONUMENTATION.  
 12. THE SUBJECT PARCELS IS LOCATED IN ZONE C OF THE FLOOD INSURANCE RATE OF  
 MAP COMMUNITY PANEL 230051-0028 WHICH BEGINS AN EFFECTIVE DATE OF  
 JULY 17, 1988 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

**GENERAL NOTES**

SET #5 REBAR WITH PLASTIC CAP STAPLED  
 FOUND REBAR PLS 1314  
 FOUND #5 REBAR WITH CAP STAPLED AS NOTED  
 FOUND IRON PIPE (SIZE AS NOTED)  
 FOUND REBAR (SIZE AS NOTED)  
 FOUND "PK" NAIL  
 SEWER MANHOLE  
 WATER SHUTOFF VALVE  
 UTILITY POLE  
 TREE LINE (APPROXIMATE)  
 PAPER REBAR DEPENDS RECORD DATA  
 BOUNDARY LINE  
 FENCE (TYPE AS NOTED)  
 BUILDING ENVELOPE  
 NOW OR FORMERLY OWNED BY  
 THE COURSE  
 TRAVELLED WAY  
 OVERHEAD UTILITY LINE  
 UNDERGROUND SEWER LINE  
 UNDERGROUND WATER LINE  
 EDGE OF WETLANDS  
 CONTOUR LINE (EXISTING)  
 1234/567  
 DEED BOOK AND PAGE (CORD)  
 TAX MAP-BLOCK-LOT  
 376-A-2  
 LOT NUMBER (BRAMBLEWOOD SUBDIVISION)  
 LOT NUMBER (COTTAGE PARK SUBDIVISION)  
 WETLAND AREA

**LEGEND**

● SET #5 REBAR WITH PLASTIC CAP STAPLED  
 ○ FOUND REBAR PLS 1314  
 ○ FOUND #5 REBAR WITH CAP STAPLED AS NOTED  
 ○ FOUND IRON PIPE (SIZE AS NOTED)  
 ○ FOUND REBAR (SIZE AS NOTED)  
 ○ FOUND "PK" NAIL  
 ○ SEWER MANHOLE  
 ○ WATER SHUTOFF VALVE  
 ○ UTILITY POLE  
 ○ TREE LINE (APPROXIMATE)  
 ○ PAPER REBAR DEPENDS RECORD DATA  
 ○ BOUNDARY LINE  
 ○ FENCE (TYPE AS NOTED)  
 ○ BUILDING ENVELOPE  
 ○ NOW OR FORMERLY OWNED BY  
 ○ THE COURSE  
 ○ TRAVELLED WAY  
 ○ OVERHEAD UTILITY LINE  
 ○ UNDERGROUND SEWER LINE  
 ○ UNDERGROUND WATER LINE  
 ○ EDGE OF WETLANDS  
 ○ CONTOUR LINE (EXISTING)  
 ○ 1234/567  
 ○ DEED BOOK AND PAGE (CORD)  
 ○ TAX MAP-BLOCK-LOT  
 ○ 376-A-2  
 ○ LOT NUMBER (BRAMBLEWOOD SUBDIVISION)  
 ○ LOT NUMBER (COTTAGE PARK SUBDIVISION)  
 ○ WETLAND AREA



**APPROVED BY THE CITY OF  
 PORTLAND PLANNING BOARD**

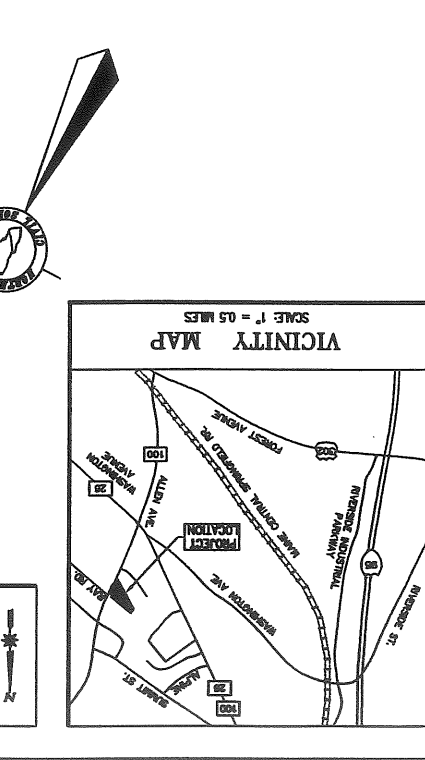
CHAIRPERSON  
 DATE

**NET RESIDENTIAL AREA CALCULATIONS**

TOTAL AREA	97,633 S.F.
(1) STORM WATER (ESTIMATED)	- 6,000 S.F.
(2) WATERCOURSES	0
(3) INACCESSIBLE AREA	0
(4) WETLANDS	- 19,885 S.F.
(5) EASEMENTS	0
(6) SLOPES	- 4,575 S.F.
7) 20% OF REMAINING AREA	- 13,435 S.F.
TOTAL NET RESIDENTIAL AREA	53,738 S.F.

**CURVE TABLE**

CURVE LENGTH	RADIUS	BEARING	CHORD	DELTA	TANGENT	
1	4712	30.00	N18°01'27"E	42.43	8070.00	30.00
2	1382	20.00	N53°24'14"W	15.41	4578.45	8.30
3	7018	65.00	S12°02'22"E	65.83	8253.27	33.88
4	60.00	65.00	S48°57'38"W	57.89	8253.10	32.33
5	60.00	65.00	S48°57'38"W	57.89	8253.10	32.33
6	60.00	65.00	N62°08'12"W	57.89	8253.10	32.33
7	52.82	65.00	N12°01'14"W	51.18	4622.46	27.85
8	31.28	65.00	N42°27'23"E	29.88	2724.32	14.85
9	2414	20.00	S33°38'38"W	22.70	8898.28	13.78
10	4712	30.00	S73°34'47"E	42.43	8070.00	30.00



PROJECT NUMBER: 20258  
 ACAD FILE: 20258.dwg  
 SCALE: 1" = 50'  
 DATE: JULY 3, 2001

PRELIMINARY SUBDIVISION PLAN  
 NORTHGATE FARMS ON ALLEN AVENUE  
 PORTLAND, OREGON

AUDET LAND COMPANY, LLC  
 400 ALLEN AVENUE, PORTLAND, OREGON

ENGINEERING AND PLANNING  
 153 US ROUTE 1, SCARBOROUGH, MAINE 04074  
 207.883.2222  
 207.883.1001  
 207.883.2222

CHARTERSON  
 DATE

APPROVED BY THE CITY OF  
 PORTLAND PLANNING BOARD

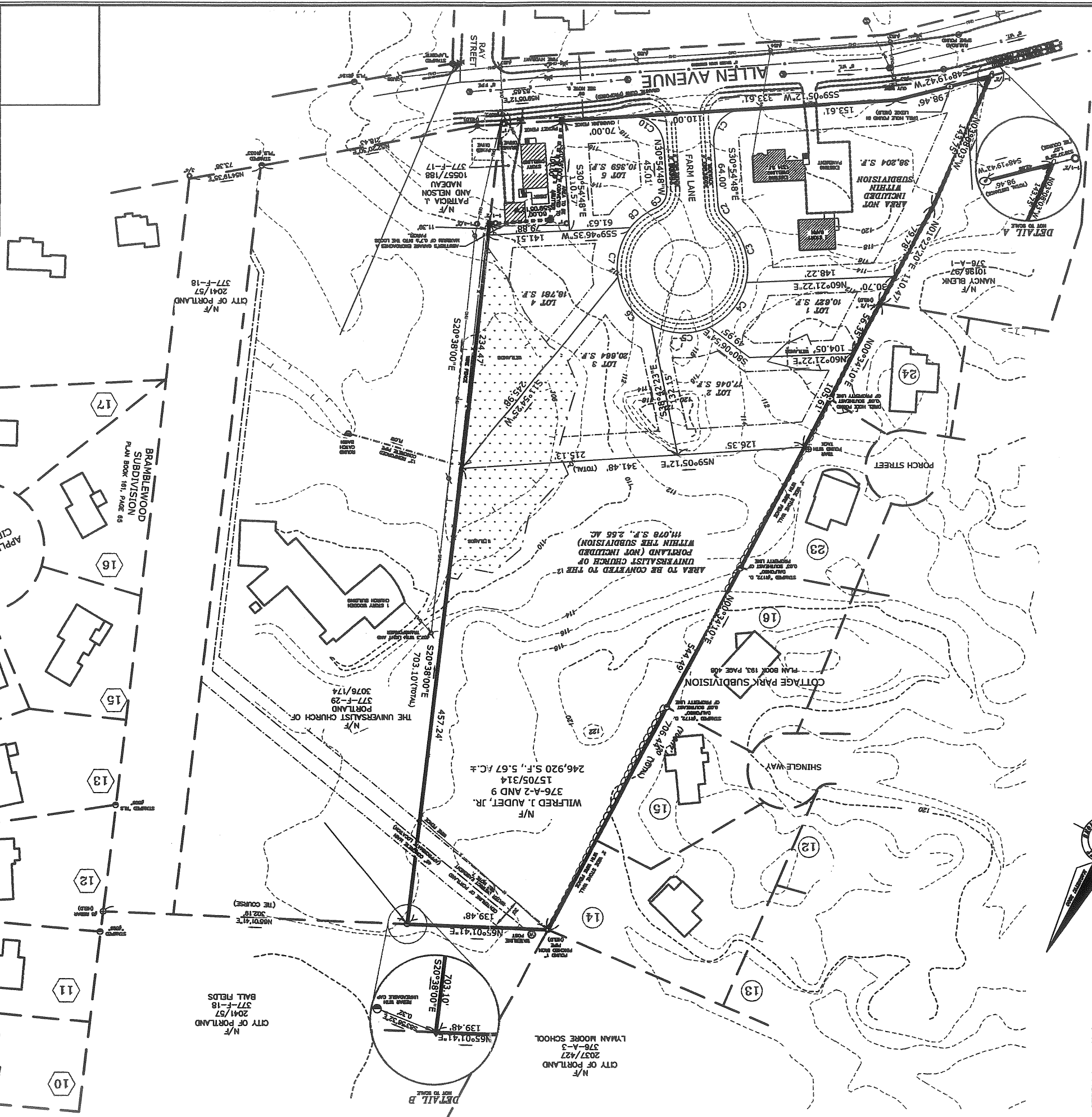
NET RESIDENTIAL AREA CALCULATIONS

TOTAL AREA	97,633 S.F.
(1) STORM WATER (ESTIMATED)	- 6,000 S.F.
(2) WATERCOURSES	0
(3) INACCESSIBLE AREA	0
(4) WETLANDS	- 19,885 S.F.
(5) EASEMENTS	0
(6) SLOPES	- 4,575 S.F.
(7) 20% OF REMAINING AREA	- 13,435 S.F.
TOTAL NET RESIDENTIAL AREA	53,738 S.F.

- GENERAL NOTES**
- THE BASIS OF BEARING FOR THIS SURVEY IS 2000 MAGNETIC NORTH MEANING.
  - DEED AND PLAN BOOK REFERENCES ARE TO THE CLATSOP COUNTY.
  - RECORD OWNERSHIP OF THE PARCELS SURVEYED CAN BE FOUND IN A DEED FROM CHARLES B. AND JEAN D. WERT TO WILFRED J. AUDET, JR. DATED SEPTEMBER 1, 2000 AND RECORDED IN DEED BOOK 15700, PAGE 314.
  - REFERENCE IS MADE TO THE FOLLOWING PLANS:
    - a. PLAN OF LANDS FOR NORTH DEERING SCHOOL PROPERTY MADE FOR THE CITY OF PORTLAND, BY H. & E.C. JOHNSON, DATED NOVEMBER, 1918.
    - b. PLAN OF PROPERTY FOR ROBERT L.S. MCCLURE III AND JANE D. MCCLURE, BY SWANEY, INC., DATED NOVEMBER 1904, (NOT RECORDED).
    - c. PLAN OF LYMAN MOORE MIDDLE SCHOOL, BY CITY OF PORTLAND PUBLIC WORKS DEPARTMENT, DATED JUNE 14, 1904, (NOT RECORDED).
    - d. "BRAMBLEWOOD, BY SURVEY, INC." DATED FEBRUARY, 1987, RECORDED IN PLAN BOOK 181, PAGE 62.
    - e. "COTTAGE PARK LAYOUT PLAN," BY PERINAW & GREEN, DATED OCTOBER 22, 1983, RECORDED IN PLAN BOOK 183, PAGE 408.
  - THE PARCELS SURVEYED IS DEPICTED ON THE CITY OF PORTLAND ASSESSORS' MAP 376, BLOCK A, PARCELS 2 AND 9.
  - THE PARCELS SURVEYED IS LOCATED IN THE RESIDENTIAL ZONE, BULK AND SPACE REQUIREMENTS ARE AS FOLLOWS FOR A PLANNED RESIDENTIAL UNIT DEVELOPMENT (PRUD):
    - a. MAXIMUM LOT AREA PER DWELLING UNIT: 6,000 S.F.
    - b. MAXIMUM NUMBER OF UNITS IN A BUILDING OR 5 AC. OR MORE: 6 UNITS
    - c. MAXIMUM AVERAGE NUMBER OF UNITS IN A BUILDING (PRUD OF 5 AC. OR MORE): 4 UNITS
    - d. MAXIMUM BUILDING SETBACK FROM EXTERNAL SUBDIVISION PROPERTY LINES WITH 4 OR MORE DWELLING UNITS IN BUILDING: 35 FEET
    - e. MAXIMUM RECREATION OPEN SPACE AREA: 300 S.F. PER DWELLING UNIT.
  - REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD: WATER EASEMENT TO THE CITY OF PORTLAND, DEED BOOK 2187, PAGE 182, DATED JANUARY 15, 1954 AND RECORDED IN DEED BOOK 2187, PAGE 182.
  - THE WESTEY BOUNDARY LINES WERE ESTABLISHED USING FOUND MONUMENTS AND EVIDENCE OF OCCUPATION.
  - THE WIDTH AND LAYOUT OF ALLEN AVENUE WAS FOUND IN THE TABLE SHEETS "RECORDS OF THE CITY OF PORTLAND ENGINEERS OFFICE, SAID WITHIN IS 65'. THE RIGHT-OF-WAY WAS ESTABLISHED USING THE RECORD LAYOUT (SITE SHEETS) AND FOUND MONUMENTATION.
  - THE SUBJECT PARCELS IS LOCATED IN ZONE C OF THE FLOOD INSURANCE RATE OF JULY 17, 1988 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

**LEGEND**

- SET #5 BEARS WITH PLASTIC CAP STAMPED
- FOUND #5 BEARS WITH CAP STAMPED AS NOTED
- FOUND #4 BEARS (SIZE AS NOTED)
- FOUND #3 BEARS (SIZE AS NOTED)
- FOUND #2 BEARS (SIZE AS NOTED)
- FOUND #1 BEARS (SIZE AS NOTED)
- SEWER MANHOLE
- WATER SHUTOFF VALVE
- UTILITY POLE
- TREE LINE (APPROXIMATE)
- STONEWALL
- PARISHES DENOTE RECORDED DATA
- ABUTTER OR RIGHT-OF-WAY LINE
- BOUNDARY LINE
- FENCE (THREE AS NOTED)
- BUILDING ENVELOPE
- N/F: NOW OR FORMERLY OWNED BY
- TRAVELED WAY
- OVERHEAD UTILITY LINE
- UNDERGROUND WATER LINE
- EDGE OF WETLANDS
- CONTOUR LINE (CONSTANT)
- DEED BOOK AND PAGE (CORD)
- TAX MAP-BLOCK-LOT
- LOT NUMBER (BRAMBLEWOOD SUBDIVISION)
- LOT NUMBER (COTTAGE PARK SUBDIVISION)
- WETLAND AREA

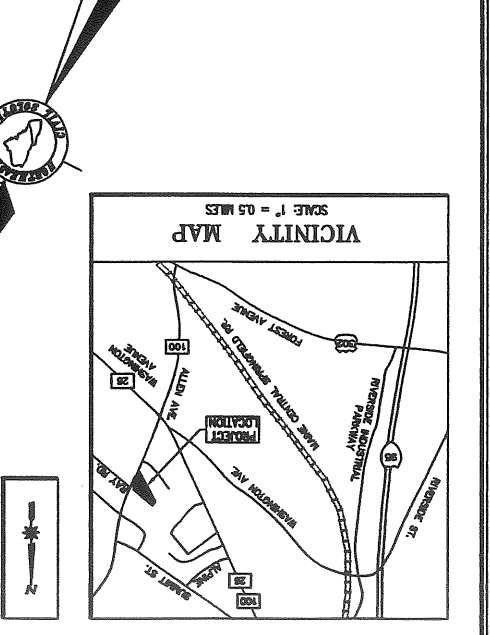


CHARTERSON  
 DATE

APPROVED BY THE CITY OF  
 PORTLAND PLANNING BOARD

**CURVE TABLE**

CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA	TANGENT
1	47.12	30.00	N65°01'41"E	42.43	80°00'00"	30.00
2	13.82	20.00	N37°34'11"W	14.41	45°14'45"	8.36
3	70.19	60.00	S48°18'27"E	68.83	61°36'27"	38.96
4	60.00	60.00	S12°04'28"W	57.89	52°53'10"	32.33
5	60.00	60.00	S84°37'37"W	57.89	52°53'10"	32.33
6	60.00	60.00	N82°01'12"W	57.89	52°53'10"	32.33
7	52.82	60.00	N12°11'14"E	51.19	48°22'48"	27.85
8	31.28	60.00	N67°27'23"E	30.88	27°34'22"	15.89
9	24.14	20.00	S37°34'11"W	22.70	68°00'28"	13.79
10	47.12	30.00	S75°34'48"E	42.43	80°00'00"	30.00





**NCS**  
Northeast Civil Solutions

SURVEYING ENGINEERING LAND PLANNING  
INCORPORATED  
153 US ROUTE 1, SPARBOROUGH, MAINE 04074  
Tel: 207.882.2227  
Fax: 207.882.1000

**PRELIMINARY SUBDIVISION PLAN**

**NORTGATE FARMS ON ALLEN AVENUE**

**AUDET LAND COMPANY, LLC.**

Project Name: NORTGATE FARMS ON ALLEN AVENUE  
City: PORTLAND, MAINE

Map Date: 20080805.dwg  
Scale: 1" = 50'  
Date: JULY 3, 2001  
Project Number: 20358

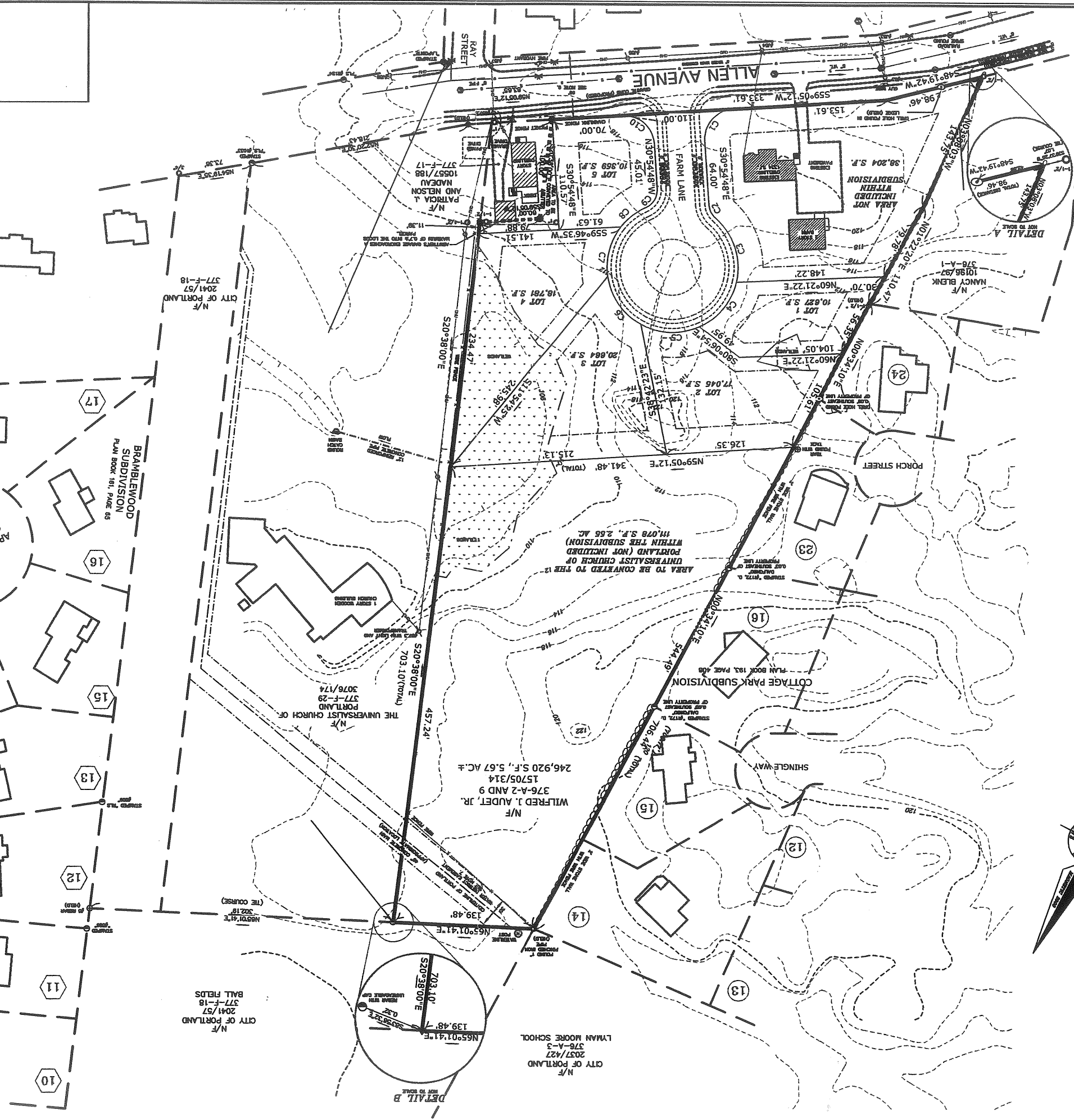
1. THE BASIS OF BEARING FOR THIS SURVEY IS 2000 MAGNETIC NORTH MERIDIAN.  
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY  
3. RECORD OWNERS OF THE PLOTS SURVEYED CAN BE FOUND IN A DEED  
FROM CHARLES B. AND JEAN D. WERT TO WALTER, JR. DATED  
SEPTEMBER 1, 2000 AND RECORDED IN DEED BOOK 19703, PAGE 314.  
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:  
a. PLAN OF LOTS FOR NORTH DEERING SCHOOL PROPERTY MADE FOR THE  
CITY OF PORTLAND, BY H.L. & E.C. JOHNSON, DATED NOVEMBER, 1915.  
b. PLAN OF PROPERTY T.S. WOODS, JR. AND JENNIE D.  
(NOT RECORDED)  
c. PLAN OF LYMAN MOORE MIDDLE SCHOOL, BY CITY OF PORTLAND PUBLIC  
WORKS DEPARTMENT, DATED JUNE 14, 1944. (NOT RECORDED)  
d. PLAN OF COTTAGE PARK LAYOUT PLAN, BY PASCAL & GREEN, DATED  
OCTOBER 28, 1943, RECORDED IN PLAN BOOK 183, PAGE 408.  
5. THE PARCEL SURVEYED IS IDENTIFIED ON THE CITY OF PORTLAND ASSESSORS'  
MAP 378, BLOCK A, PARCELS 2 AND 9.  
6. THE PARCEL SURVEYED IS LOCATED IN THE RESIDENTIAL 3 (R-3) ZONE. BUILD-  
ING AND SPACE REQUIREMENTS ARE AS FOLLOWS FOR A PLANNED RESIDENTIAL  
UNIT DEVELOPMENT (PUD):  
a. MAXIMUM NUMBER OF UNITS IN A BUILDING OR TRACT OF 5 AC. OR  
LESS: 5 UNITS  
b. MAXIMUM AVERAGE NUMBER OF UNITS IN A BUILDING (TRACT OF 5 AC. OR  
LESS): 3 UNITS  
c. MINIMUM LOT AREA PER CHANGING UNIT: 6000 S.F.  
d. MINIMUM NUMBER OF UNITS IN A BUILDING OF 5 AC. OR MORE: 6 UNITS  
e. MINIMUM BUILDING SETBACK FROM EXTERIOR SUBDIVISION PROPERTY LINES:  
140 FEET  
f. MINIMUM BUILDING SETBACK FROM EXTERIOR SUBDIVISION PROPERTY LINES  
WITH 4 OR MORE DWELLING UNITS IN BUILDING: 35 FEET  
g. MINIMUM RECREATION OPEN SPACE AREA: 300 S.F. PER DWELLING UNIT.  
7. REFERENCE IS MADE TO THE FOLLOWING EVIDENTS OF RECORD: WATER  
LINE EASEMENT CONVEYED TO THE PORTLAND WATER DISTRICT IN A DEED  
DATED JANUARY 15, 1944 AND RECORDED IN DEED BOOK 2167, PAGE 182.  
8. THE WESTERLY BOUNDARY LINES WERE ESTABLISHED USING FOUND MONUMENTS  
AND EVIDENCE OF OCCUPATION.  
9. THE WIDTH AND LAYOUT OF ALLEN AVENUE WAS FOUND IN THE "BLUE  
SHEETS" RECORDS OF THE CITY OF PORTLAND ENGINEERS' OFFICE. SAID  
WIDTH IS 60'. THE RIGHT-OF-WAY WAS ESTABLISHED USING THE RECORDED  
LAYOUT (BLUE SHEETS) AND FOUND MONUMENTATION.  
10. THE SUBJECT PARCEL IS LOCATED IN ZONE C OF THE FLOOD INSURANCE RATE OF  
MAINE COMMUNITY MAP 200501-0028 WHICH BECAME AN EFFECTIVE DATE OF  
JULY 17, 1988 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

**GENERAL NOTES**

1. SET #5 BEARS WITH PLASTIC CAP STAMPED  
DESIGNERS PLS 1314  
2. FOUND #9 BEARS WITH CAP STAMPED AS NOTED  
3. FOUND IRON PIPE (SIZE AS NOTED)  
4. FOUND REBAR (SIZE AS NOTED)  
5. FINDER MARK  
6. CENTER MARK  
7. WATER SHUTOFF VALVE  
8. UTILITY POLE  
9. TREE LINE (APPROXIMATE)  
10. STONEWALL  
11. PARENTHESES DENOTE RECORD DATA  
12. BOUNDARY LINE  
13. FENCE (TYPE AS NOTED)  
14. BUILDING ENVELOPE  
15. NOW OR FORMERLY OWNED BY  
16. TRAMPLED WAY  
17. OVERHEAD UTILITY LINE  
18. UNDERGROUND SEWER LINE  
19. EDGE OF WETLANDS  
20. CONTOUR LINE (ELEVATION)  
21. DEED BOOK AND PAGE (CORD)  
22. TAX MAP-BLOCK-LOT  
23. LOT NUMBER (COTTAGE PARK SUBDIVISION)  
24. WETLAND AREA

**LEGEND**

10 11 12 13 14 15 16 17 18 19 20 21 22 23 24



**APPROVED BY THE CITY OF PORTLAND PLANNING BOARD**

CHAIRPERSON \_\_\_\_\_  
DATE \_\_\_\_\_

**NET RESIDENTIAL AREA CALCULATIONS**

TOTAL AREA	297,633 S.F.
(1) STORM WATER (ESTIMATED)	- 6,000 S.F.
(2) WATERCOURSES	0
(3) INACCESSIBLE AREA	0
(4) WETLANDS	- 19,885 S.F.
(5) EASEMENTS	0
(6) SLOPES	- 4,575 S.F.
(7) 20% OF REMAINING AREA	- 13,435 S.F.
<b>TOTAL NET RESIDENTIAL AREA</b>	<b>53,738 S.F.</b>

**CURVE TABLE**

CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA	TANGENT
1	47.12	30.00	N14°01'2"E	42.43	90°00'0"	30.00
2	13.82	20.00	N83°34'4"W	15.41	45°18'4"	8.35
3	20.19	65.00	S49°18'20"E	66.83	81°32'27"	38.98
4	60.00	65.00	S12°28'12"W	57.89	52°33'10"	32.33
5	60.00	65.00	S84°52'28"W	57.89	52°33'10"	32.33
6	60.00	65.00	N82°08'12"W	57.89	52°33'10"	32.33
7	52.82	65.00	N12°31'14"W	51.19	48°22'46"	27.85
8	31.28	65.00	N42°27'25"E	30.98	27°24'32"	15.95
9	24.14	20.00	S33°36'36"W	22.70	88°08'28"	13.78
10	47.12	30.00	S75°54'48"E	42.43	90°00'0"	30.00

