



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning & Urban Development Department

Penny St. Louis Littell, Director

Planning Division

Alexander Jaegerman, Director

April 27, 2010

Frank Normandin
A & D Realty LLC
5 Militia Drive
Lexington, MA 02421

Kevin Paton
142 Crescent Street
Brockton, MA 02301

**RE: Northgate Plaza/CVS Expansion with Pharmacy Drive Thru
Amendment to Approved Site Plan
Dimension changes to drive – thru area and modifications to roof design**

**Vicinity of 91- 125 Auburn Street
Application No (HTE) 10-99600003
CBL 325 C 023 001**

Dear Mr. Normandin and Mr. Paton:

On April 27, 2010 the Portland Planning Authority approved the amended site plan for the Northgate Plaza CVS Expansion originally approved on June 9, 2009 to allow for a 4 foot narrowing and associated adjustments of the drive thru area opening (between the wall of the new CVS and the wall of the existing plaza structure) and modifications to the roof design and canopies in the vicinity of the drive thru and nearby Plaza structures. The amendments are shown in Appledore Engineering Inc Plans C-2 Rev dated 3.31.2010 and C-2A Rev dated 3.31.2010; BKA Architects Inc Proposed Drive-thru/Crosswalk Sheet 2 (color) dated 3.24.2010, Exterior View (CVS front elevation; color) dated 3.26.2010, and Roof Plan Sheet A2.1 Rev 3.11.2010.

The approval is based on the submitted plans. If you need to make any modifications to the approved site plan, you must submit an amended site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

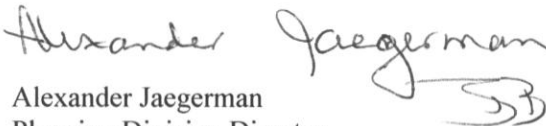
1. The above approval does not constitute approval for building plans, which must be reviewed and approved the City of Portland's Inspection Division.
2. Where submission drawings are available in electronic form, final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.

3. Five (5) paper copies (at scale) of Appledore Engineering Inc Plan C-2A, Rev dated 3.31.2010 shall be submitted to the Planning Division prior to any Certificate of Occupancy.
4. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at (207) 874 8728.

Sincerely,


Alexander Jaegerman
Planning Division Director

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director
Gayle Guertin, Inspections Division
Lisa Danforth, Inspections Division
Lannie Dobson, Inspections Division
Michael Bobinsky, Public Services Director
Kathi Earley, Public Services
Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Greg Vining, Public Services
John Low, Public Services
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File

Hard Copy: Project File