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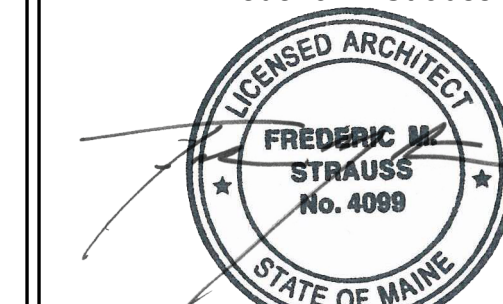
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Revision Schedule

Rev	Date	By	Description

PROJECT NAME:
NORTHGATE PLAZA

PROJECT ADDRESS:
91 AUBURN STREET,
PORTLAND ME 04103

STORE #: 2830
PROJECT #: 22764-021
CONCEPT:
PALETTE:
ISSUE DATE: 12/19/2013
DESIGN MANAGER: Eta Kliger
LEED® AP:
PRODUCTION DESIGNER: AH
CHECKED BY: Allison Stadnyck

SHEET TITLE:
DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

SHEET NUMBER:
I-1101

ITEM TO PRESERVE:

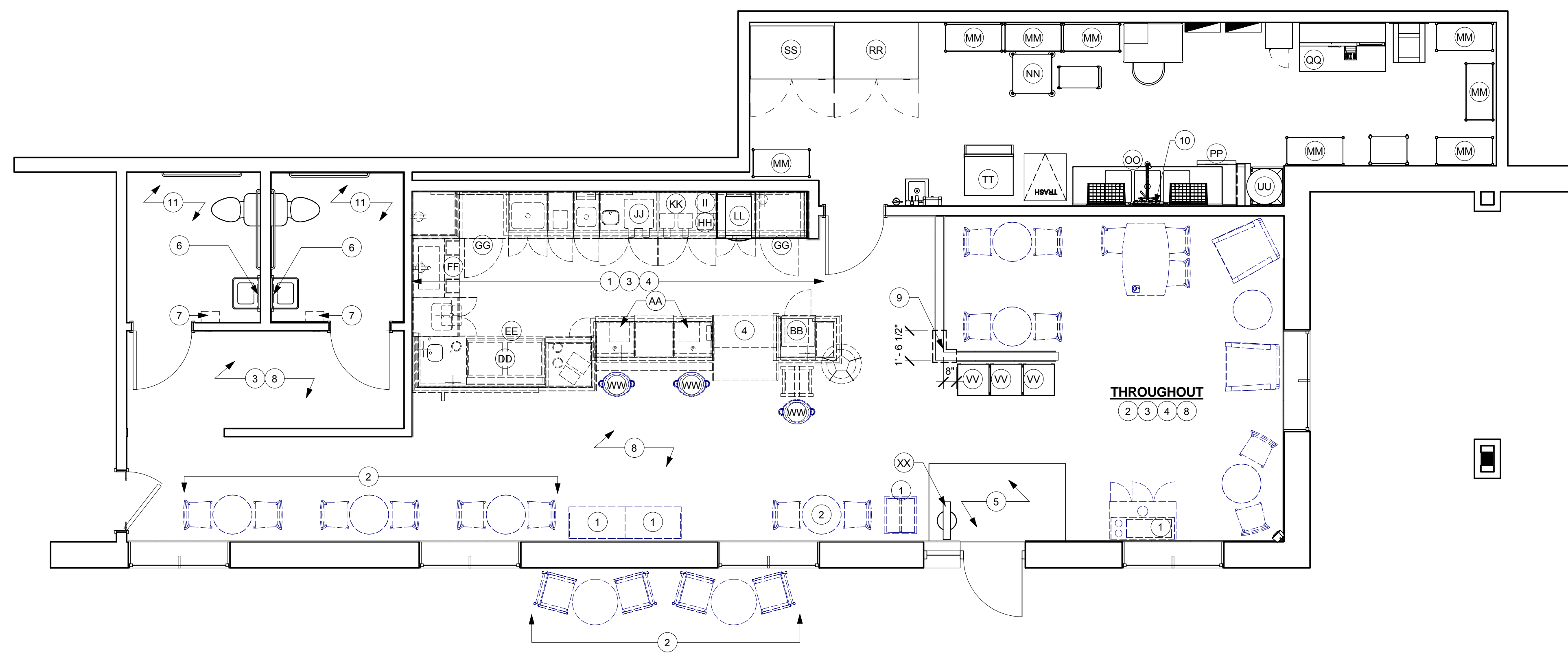
- FRONTBAR
AA. POINT OF SALE EQUIPMENT
BB. SAFE
CC. NOT USED
DD. (2) ESPRESSO MACHINE (VERISMO/MASTRENA)
EE. 2-DOOR UNDERCOUNTER REFRIGERATOR
- BACKBAR
FF. (2) BLENDER
GG. (2) 1-DOOR UNDERCOUNTER REFRIGERATORS
HH. SCALE
II. RETAIL GRINDER
JJ. BREWER
KK. (2) SHUTTLE
LL. WARMING OVEN
- WORKROOM
MM. METRO SHELVES
NN. ROLLING PASTRY RACK
OO. 3-COMP SINK
PP. SANITIZER
QQ. MANAGERS DESK
RR. 2-DOOR REFRIGERATOR
SS. 2-DOOR FREEZER
TT. ICE MACHINE
UU. HOT WATER HEATER
- CAFE
VV. TALL & SHORT MERCH CUBE
WW. FLOOR BASKET
XX. PROMOTIONAL BANNER

DEMOLITION PLAN NOTES

- A. IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE INTEGRITY OF STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY.
- B. GENERAL CONTRACTOR RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
- C. EXISTING WALLS TO REMAIN. PATCH AND REPAIR AS REQUIRED TO PROVIDE A SMOOTH, PAINT READY FINISH.
- D. DEMOLISH EXISTING WALLS AND DOORS AS NECESSARY.
- E. DEMOLISH EXISTING FLOOR FINISHES AS NECESSARY. REPAIR OR REPLACE SUB-FLOOR AS REQUIRED TO PROVIDE AN EVEN WALKING SURFACE/FINISH FLOOR CONDITION.
- F. DEMOLISH EXISTING GYPSUM WALL BOARD, CEILING TILE, GRID AND/OR OTHER CEILING FINISH AS NECESSARY TO PROVIDE FOR NEW CEILING READY CONDITION.
- G. DEMOLISH EXISTING WALL FINISHES AS NECESSARY.
- H. REMOVE EXISTING LIGHT FIXTURES, AUXILIARY EQUIPMENT/FIXTURES AND POWER LINES AS NECESSARY.
- J. REMOVE EXISTING PLUMBING FIXTURES AS NECESSARY. CAP LINES AS NECESSARY FOR THOSE NOT BEING RE-USED.
- K. REMOVE EXTRANEIOUS EQUIPMENT AS NECESSARY.
- L. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF SIZE OF EXISTING RESTROOM AND LOCATION AND CONDITION OF FIXTURES PRIOR TO DEMOLITION OR CONSTRUCTION. PLUMBING FIXTURES TO BE RE-USED ARE TO BE REMOVED AND PROPERLY STORED FOR RE-INSTALLATION.

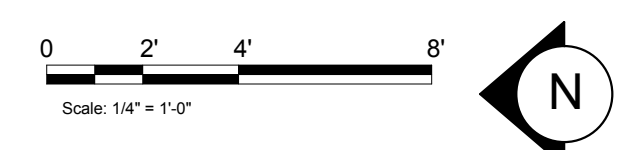
SHEET NOTES

- 1. REMOVE CASEWORK & ALL ASSOCIATED ITEMS SHOWN DASHED, UNLESS NOTED OTHERWISE. PRESERVE POWER & PLUMBING LINES TO BE RELOCATED & REUSED.
- 2. REMOVE & DISPOSE OF FURNITURE SHOWN DASHED.
- 3. DEMOLISH EXISTING ARTWORK & WALL FINISHES UNLESS OTHERWISE NOTED. PATCH & REPAIR WALL SURFACES TO PROVIDE SMOOTH PAINT READY FINISH.
- 4. REMOVE & DISPOSE OF EXISTING EQUIPMENT SHOWN DASHED, UNLESS OTHERWISE NOTED. PRESERVE POWER/PLUMBING LINES FOR REUSE.
- 5. REMOVE EXISTING WALK-OFF MAT. REPAIR/REPLACE SUB-FLOOR AS REQUIRED TO PROVIDE AN EVEN, FINISH-READY CONDITION IN PREPARATION FOR NEW WALK-OFF MAT.
- 6. REMOVE & DISPOSE OF EXISTING MIRROR. PATCH & REPAIR ADJACENT FINISHES AS REQUIRED.
- 7. REMOVE & DISPOSE OF EXISTING PAPER TOWEL DISPENSER. PATCH & REPAIR ADJACENT FINISHES AS REQUIRED.
- 8. EXISTING FLOOR TO REMAIN.
- 9. DEMOLISH PORTION OF EXISTING PARTIAL HEIGHT PARTITION AND ASSOCIATED FINISHES, AS INDICATED, TO ACCOMMODATE NEW WALL OF CHILL.
- 10. DEMOLISH EXISTING WATER FILTRATION IN WORKROOM AS INDICATED.
- 11. DEMOLISH EXISTING ARTWORK AND WALL FINISHES IN RESTROOM. EXISTING PLAM, FLOORING AND BASE TO REMAIN.



WALL LEGEND - DEMO PLAN

- MATERIAL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- EXISTING COLUMN TO REMAIN



1ST FLOOR - DEMOLITION PLAN
Scale: 1/4" = 1'-0"

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