CVS/pharmacy

NORTHGATE PLAZA, 91 AUBURN STREET, PORTLAND, ME
CVS STORE #324

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PROJECT INFORMATION

The building shall be in compliance with the

2003 INTERNATIONAL BUILDING CODE
2003 INTERNATIONAL MECHANICAL CODE
STATE OF MAINE PLUMBING CODE
2002 NATIONAL ELECTRIC CODE
2003 INTERNATIONAL FIRE CODE
2003 INTERNATIONAL ENERGY CONSERVATION CODE
1991 NFPA LIFE SAFETY CODE
ADA ACCESSIBILITY GUIDELINES

TEAM MEMBERS

LANDLORD:	A & D REALTY, L.L.C. 5 MILITIA DRIVE LEXINGTON, MA 02421	FRANK NORMANDIN TEL: (781) 862-9700 FAX: (781) 862-9070	CONTRACTOR:	TRB DEVELOPMENT GROUP, INC. 36 LONDONDERRY TURNPIKE HOOKSETT, NH	TIM BOISVERT TEL: (603) 669-8500 FAX: (603) 626-0939
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			ELECTRICAL ENGINEER:	R.W. SULLIVAN THE SCHRAFFT CENTER SUITE 203 BOSTON, MA 02129	GEORGE CHAN TEL: (617) 523-8227 FAX: (617) 523-8016

SYMBOLS

1.5 — CENTERLINE OF COLUMN

3 / A-5.1 — ELEVATION MARK

23 / A-7.1 — ENLARGED PLAN DETAIL MARK

3 / A-5.1 — SECTION MARK 'SIM' – SIMILAR 'OH' – OPPOSITE HAND

ABBREVIATIONS

(ABBREVIATIONS SHOWN ARE NOT NECESSARILY USED ON THE DRAWINGS)

A

AB	ANCHOR BOLT
A/C	AIR CONDITIONING
AC	ALTERNATING CURRENT
ACI	AMERICAN CONCRETE INSTITUTE
ADA	AMERICANS WITH DISABILITIES ACT
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
AISC	AMERICAN INSTITUTE OF STEEL CONS.
ALUM	ALUMINUM
AMP	AMPERE, AMPS
ARCH	ARCHITECT, ARCHITECTURAL
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS

B

BLDG	BUILDING
BM	BEAM
BOTT	BOTTOM
BTU	BRITISH THERMAL UNIT
BOF	BOTTOM OF FOOTING
BRG	BEARING

C

CF	CUBIC FEET
CD	CONDENSATE
CERTS	CERTIFICATES
CFM	CUBIC FEET PER MINUTE
CKT	CIRCUIT
℄	CENTERLINE
CLG	CEILING
CLR	CLEAR OR CLEARANCE
CMU	CONCRETE MASONRY UNIT
CO	CLEANOUT
COL	COLUMN
CONC	CONCRETE, CONCENTRIC
CONT	CONTINUOUS, CONTINUATION
COORD	COORDINATE

C (CONTINUED)

CJ	CONTROL JOINT
CTR	CENTER
CV	CHECK VALVE
CW	COLD WATER

D

DBL	DOUBLE
DC	DIRECT CURRENT
DEG	DEGREES
DEFS	DIRECT-APPLIED EXTERIOR FINISH SYSTEM
DIA	DIAMETER
DIM	DIMENSION
DL	DEADLOAD
DN	DOWN
DS	DOWNSPOUT
DTL	DETAIL
DWGS	DRAWINGS

E

EA	EACH
EF	EXHAUST FAN
	EXPANSION JOINT
ELEV	ELEVATION
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM
ELEC	ELECTRICAL
EMBED	EMBEDMENT
EMP	EMPLOYEE
EMS	ENERGY MANAGEMENT SYSTEM
ENCL	ENCLOSURE
EOD	EDGE OF DECK
EQ	EQUAL
EQUIP	EQUIPMENT
EXGR	EXTERIOR GRADE
EXH	EXHAUST
EXP	EXPANSION
EXIST	EXISTING
EXT	EXTERIOR, EXTERIOR
EW	EACH WAY
EWC	ELECTRIC WATER COOLER

F

FA	FIRE ALARM
FACP	FIRE ALARM CONTROL PANEL
FCO	FLOOR CLEANOUT
FD	FIRE DAMPER, FLOOR DRAIN
FIN	FINISH (ED)
FIXT	FIXTURE
FDN	FOUNDATION
FLG	FLANGE
FTG	FOOTING
FF	FINISHED FLOOR
FL	FLOOR
FR	FIRE-RETARDANT-TREATED MATERIALS
FRP	FIBERGLASS REINFORCED PANEL
FT	FOOT, FEET

G

GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GB	GRADE BEAM
GWB	GYPSUM WALL BOARD
GAB	GRADED AGGREGATE BASE
GYP	GYPSUM WALL BOARD

H

HGT	HEIGHT
HORIZ	HORIZONTAL
HP	HORSEPOWER OR HIGH POINT
HTR	HEATER
HVAC	HEATING, VENTILATING AND AIR CONDITIONING

I

ID	INSIDE DIAMETER
IE	INVERT ELEVATION
INT	INTERIOR
IN	INCH, INCHES
INSUL	INSULATION

J

J-BOX	JUNCTION BOX
JT	JOINT
JST	JOIST

K

k	KIPS (1000 LBS)
kV	KILOVOLT
kVA	KILOVOLT-AMPS
kW	KILOWATT
kWH	KILOWATT-HOUR

L

LB	POUNDS
LF	LINEAR FEET
LL	LIVE LOAD, LANDLORD
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LONG	LONGITUDINAL
LP	LOW POINT
LTG	LIGHTING
LWC	LIGHT WEIGHT CONCRETE
L	LENGTH

M

MAX	MAXIMUM
MDP	MAIN DISTRIBUTION PANEL
MECH	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MLO	MAIN LUGS ONLY
MO	MASONRY OPENING
MSB	MAIN SWITCHBOARD
MTD	MOUNTED

N

N/A	NOT APPLICABLE
NEC	NATIONAL ELECTRICAL CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOC.
NF	NEAR FACE

N (CONTINUED)

NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE

O

OA	OUTSIDE AIR
OC	ON CENTER
OCC	OCCUPANTS
OF	OUTSIDE FACE
OD	OUTSIDE DIAMETER
OH	OPPOSITE HAND
OPNG	OPENING
OSB	ORIENTED STRAND BOARD
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION

P

PAR	PARALLEL
PC	PIECE
PDU	POWER DISTRIBUTION UNIT
PH	PHASE
PL	PLATE
PLBG	PLUMBING
PNL	PANEL
PIV	POST INDICATOR VALVE
PSF	POUNDS PER SQUARE FOOT
PVC	POLYVINYL CHLORIDE
PWD	PLYWOOD

Q

QTY	QUANTITY

R

RA	RETURN AIR
RAD	RADIUS
RCP	REFLECTED CEILING PLAN, ROOF DRAIN
RD	REFERENCE, REFER
RE	REINFORCING
REQD	REQUIRED
RO	ROUGH OPENING
RPM	REVOLUTIONS PER MINUTE
RTU	ROOFTOP UNIT

S

SCHED	SCHEDULED
SD	SMOKE DAMPER, STORM DRAIN
SECT	SECTION
S	SENSOR
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SHT MTL	SHEET METAL
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL, SANITARY SEWER
STD	STANDARD
STL	STEEL
STIFF	STIFFENER
STIR	STIRRUPS
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SJ	SAW JOINT

T

T&B	TOP AND BOTTOM
T/FTG	TOP OF FOOTING
TP	TEMPERATURE
THICK	THICKNESS
THRESH	THRESHOLD
TO	TOP OF
TOJ	TOP OF JOIST
TOS	TOP OF STEEL

T (CONTINUED)

THRU	THROUGH
T	THERMOSTAT
TYP	TYPICAL
T	THICKNESS (STRUCT)
TS	TUBULAR STEEL (STRUCT)
TRS	TRUSS (STRUCT)

U

UL	UNDERWRITERS LABORATORIES, INC.
UON	UNLESS OTHERWISE NOTED
UPS	UNINTERRUPTIBLE POWER SUPPLY

V

V	VOLT
VA	VOLT-AMPERE
VERT	VERTICAL
VIF	VERIFY IN FIELD
VRC	VERTICAL RECIPROCATING CONVEYOR
VTR	VENT THROUGH ROOF

W

W	WIDTH
W/	WITH
W/O	WITHOUT
WCO	WALL CLEANOUT
WC	WATER CLOSET
WD	WOOD
WL	WIND LOAD
WP	WEATHERPROOF
WO	WALL OPENING
WWF	WELDED WIRE FABRIC
WF	WIDE FLANGE (STRUCT)

X

XFMR	TRANSFORMER

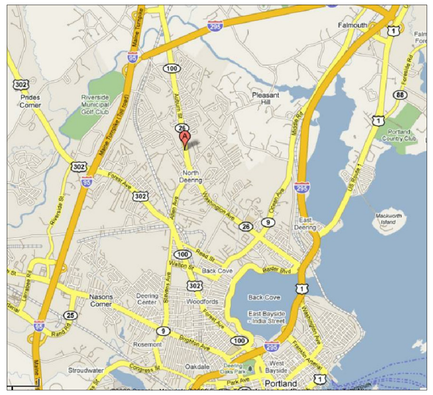
Y

YD	YARD

GENERAL NOTES

1. CONTRACTORS SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS OR INFORMATION, CONTRACTOR SHALL NOTIFY ARCHITECT. FIGURED AND CALCULATED DIMENSION TAKES PRECEDENCE OVER SCALED MEASUREMENTS. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. ALL PLAN DETAILS AND WALL SECTIONS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS DETAILED OR NOTED OTHERWISE.
2. ALL FINISHED FLOOR ELEVATIONS RE: TO ARCHITECTURAL DRAWINGS ONLY. RE: CIVIL DRAWINGS FOR RELATIONSHIP TO PROJECT BENCHMARK(S).
3. VERIFY ALL DIMENSIONS, CONDITIONS, AND GRADES AT JOB SITE. ALL CONTRACTORS SHALL COORDINATE THEIR WORK WITH OTHER TRADES AND REPORT DISCREPANCIES, PRIOR TO THEIR CONSTRUCTION, TO THE ARCHITECT FOR REVIEW AND CLARIFICATION OR ACTION.
4. VERIFY SIZE, LOCATIONS AND CHARACTERISTICS OF ALL EQUIPMENT TO BE FURNISHED WITH MANUFACTURERS OR SUPPLIERS BEFORE BEGINNING CONSTRUCTION.
5. VERIFY SIZE AND LOCATION OF ALL OPENINGS FOR MECHANICAL AND ELECTRICAL EQUIPMENT AND RELATED WORK WITH CONTRACTORS INVOLVED AND EQUIPMENT TO BE FURNISHED. FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS / DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
6. CEILING HEIGHTS SCHEDULED ON THE ROOM FINISH SCHEDULE OR REFLECTED CEILING PLAN ARE TAKEN FROM THE FINISHED FLOOR ELEVATION.
7. ALL PLAN DIMENSIONS ARE TO FINISHED FACE OF FINISHED WALLS, FACE OF MASONRY, AND CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE.
8. VERIFY ALL ELEVATIONS AND DIMENSIONS OF STRUCTURAL ELEMENTS WITH ARCHITECTURAL DRAWINGS. IN CASE OF CONFLICT, NOTIFY ARCHITECT. THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THEM. ALL DIMENSIONAL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
9. ADD SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT (ANGLES, CHANNELS, ETC.) WITHIN WALLS WHERE THE WEIGHT OF ATTACHED ITEMS OR EQUIPMENT IS TOO GREAT TO BE SUPPORTED BY METAL STUDS. PROVIDE BLOCKING FOR OWNER FURNISHED OR INSTALLED ITEMS.
10. PARTITIONS WHERE INDICATED BY SYMBOL ARE TO EXTEND AND SEAL AGAINST THE BOTTOM OF THE DECK ABOVE.
11. INSTALL METAL TRIM ON ALL GYPSUM BOARD EDGES ABUTTING OTHER MATERIALS OR STOPPING SHORT OF OTHER MATERIALS TO FORM A REVEAL OR RECESS.
12. USE METAL CORNER BEADS ON ALL GYPSUM BOARD EXTERIOR CORNERS.
13. COORDINATE WITH MECHANICAL CONTRACTOR FOR LOCATIONS OF ALL FLOOR DRAINS.
14. ALL PLUMBING WET WALLS (EXCLUDING CHASES) SHALL BE FRAMED WITH 6" METAL STUDS.
15. ALL PRODUCTS UTILIZED IN THIS CONSTRUCTION SHALL BE ASBESTOS FREE.
16. TRANSITION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL OCCUR AT CENTERLINE OF DOORS TYPICALLY.
17. PAINT ALL WALL SURFACES, DOOR FRAMES, BULKHEADS AND CEILINGS IN ROOMS WHERE INDICATED ON ROOM FINISH SCHEDULE. PAINT BEHIND ALL MOVEABLE ITEMS ADJACENT TO WALLS RECEIVING PAINT AND RELOCATE ITEMS.
18. ALL WEATHER – EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF.

LOCATION MAP



RESPONSIBILITY SCHEDULE (TURNKEY)

Revised:02/19/09

DIV	DESCRIPTION	LANDLORD GC FURNISH	LANDLORD GC UNLOAD	LANDLORD GC INSTALL	CVS GC FURNISH	CVS GC UNLOAD	CVS GC INSTALL	REMARKS
1	GENERAL RQUIREMENTS							
	1. Permits and Fees	X						Includes building permit & tap fees and winter conditions if applicable and approved by CVS Project Manager and Director of Construction as an allowance.
2	SITE CONSTRUCTION							
	1. Landscaping	X	X	X				
	2. Outdoor Trash Recaptacle	X	X	X				
3	CONCRETE							
	1. Concrete Testing	X						Landlord GC to include concrete testing.
4	MASONRY	X	X	X				
5	METALS	X	X	X				
6	WOOD AND PLASTIC							
	1. Millwork (Includes Cart Corral)		X	X	X			
	2. Carpentry	X	X	X				
7	THERMAL MOISTURE PROTECTION	X	X	X				
8	DOORS AND WINDOWS							
	1. Drive-Thru Window	X	X	X				Landlord GC to provide complete installation of window unit. Coordinate all electrical requirements with vendor. Allow 6-8 weeks from time of order to site delivery. Call CVS National Account vendor for quote. All items are under Landlord GC's contract.
	2. Entrance Doors	X	X	X				Landlord GC to supply/install glass, glazing and perimeter caulking. Allow 6-8 weeks lead from time of order to site delivery/ installation. Call CVS National Account vendor for quote.
	3. Building Security Grilles	X	X	X				High security stores only. Confirm with CVS Project Manager.
	4. Rolling Service Door	X	X	X				Installation by product distributor. Landlord GC to provide metal angle jamb/head rough opening prior to installation. CVS to supply padlock.
	5. RX Dept. Security Grille	X	X	X				Landlord GC to provide necessary structural support. Actual product install is by CVS National Account vendor under Landlords GC's contract.
9	FINISHES							
	1. Carpet Tile	X	X	X				Landlord GC to obtain quote from CVS National Account vendor. Carpet price will include installation and adhesive. CVS responsible for Drive Aisle install through National Account vendor after gondola installation.
	2. VCT	X	X	X				
	3. Wall Covering	X	X	X				
10	SPECIALTIES							
	1. Bulletin Board	X	X	X				
	2. Pylon Signs Electronic Message Board (EMB)				X	X	X	Landlord GC to supply electrical, including conduits for EMB to each pylon per approved town/city site plan. CVS National Account vendor is responsible for foundation, EMB and final electrical connections. All items are under the Landlord GC's contract.
	3. Monument Signs Electronic Message Board (If applicable)				X	X	X	Landlord GC to supply electrical, including conduits for EMB to each monument (if applicable) per approved town/city site plan. CVS National Account vendor is responsible for foundation, EMB and final electrical connections. All items are under the Landlord GC's contract.
	4. Drive-Thru Signs				X	X	X	See Site Plan
	5. Building Signs				X	X	X	Landlord GC to supply electrical and plywood backing. CVS National Account vendor is responsible for final electrical connections. All items are under the Landlord GC's contract.
	6. Interior Signs				X	X	X	
	7. Fire Extinguishers	X	X	X				
	8. Toilet Accessories	X	X	X				
	9. UNIWEB/ Early Release Locier				X	X	X	
11	EQUIPMENT							
	1. Safe				X	X	X	
	2. Compactor	X	X	X				Landlord GC to furnish and install compactor door and frame for thru-wall chute, mag-switch and start/stop station.
	3. Compactor Pad/ Enclosure	X		X				
	4. Dumpster				X	X	X	
	5. Dumpster Pad/ Enclosure	X		X				
	6. Walk-In Cooler	X	X	X				Landlord GC to purchase from CVS National Account vendor.
	7. Refrigerators/Freezers				X	X	X	Electrical outlet by Landlord GC. CVS to provide/ CVS vendor to install.
12	FURNISHINGS							
	1. Steel Gondola				X	X	X	Note: Install is dictated by local labor union issues. In union areas the Landlord's GC is responsible for the install. In non-union areas, CVS Store Set-up is responsible. There are exceptions therefore please confirm with CVS Project Manager. See merchandise plan.
	2. Wall Strapping	X	X	X				Landlord GC to provide wall strapping along perimeter walls per CVS merchandise plan.
13	SPECIAL CONSTRUCTION							
	1. Fire Alarm	X	X	X				Landlord GC to purchase from CVS National Account vendor.
14	CONVEYING SYSTEMS							
	1. Vertical Lift or Conveyor Unit	X	X	X				
	2. Pneumatic Tube Delivery System	X	X	X				Installed by CVS National Account vendor. Under Landlord's GC contract.
15	MECHANICAL/ PLUMBING							
	1. Water Meter	X	X	X				Includes tap fees.
	2. Irrigation Meter	X	X	X				Includes tap fees.
	3. Gas Meter	X	X	X				Includes tap fees.
	4. Water Purification System	X	X	X				Landlord GC to purchase from CVS National Account vendor.
16	ELECTRICAL							
	1. Site Lighting	X	X	X				Landlord GC to purchase from CVS National Account vendor. Includes poles, fixtures and circuiting.
	2. Building Lighting	X	X	X				Landlord GC to purchase from CVS National Account vendor. Includes interior and exterior lighting.
	3. Compactor Disconnect	X	X	X				Coordinate with compactor location.
	4. EAS and POS Cabling	X	X	X				Landlord GC to purchase from CVS National Account vendor. CVS to connect equipement. All conduit by Landlord GC.
	5. Telephone Conduit	X	X	X				All conduit by Landlord GC from street to building with pull string requirements from telephone company. Landlord GC to install plywood backer board in electrical area per CVS construction plans. CVS to order phone service.
	6. Telephone System				X	X	X	CVS to connect to equipment. All conduit by Landlord GC.
	7. EMS Relay Panel	X	X	X				Landlord GC to purchase from CVS National Account vendor. Landlord GC to install cabinet.
	8. Pylon/ Monument Signs				X	X	X	Landlord GC to supply electrical. CVS National Account vendor is responsible for foundation and final electrical connections. All items are under the Landlord's GC contract.
	9. Drive-Thru Signs				X	X	X	
	10. Building Signs				X	X	X	Landlord GC to supply electrical and plywood backing. CVS National Account vendor is responsible for final electrical connections. All items are under the Landlord's GC contract.
	11. EMS System Connection	X	X	X				Landlord GC to purchase from CVS National Account vendor. Landlord GC to install relay panel. Final programming by CVS.
	12. Switchgear and Disconnects	X	X	X				Landlord GC to purchase from CVS National Account vendor. Main contactor connections and installation by Landlord GC.
	13. Electrical Meter	X	X	X				
	14. Burglar Alarm/ CCTV	X	X	X				Landlord GC to purchase from CVS National Account vendor. Landlord GC to furnish all conduits/ outlets.

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CONSULTANT:

SEAL:

CVS/pharmacy

NEW

STORE NUMBER: 329

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PORTLAND, MAINE

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LEXINGTON, MA 02421

REVISIONS:

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DATE: XX/XX/XX
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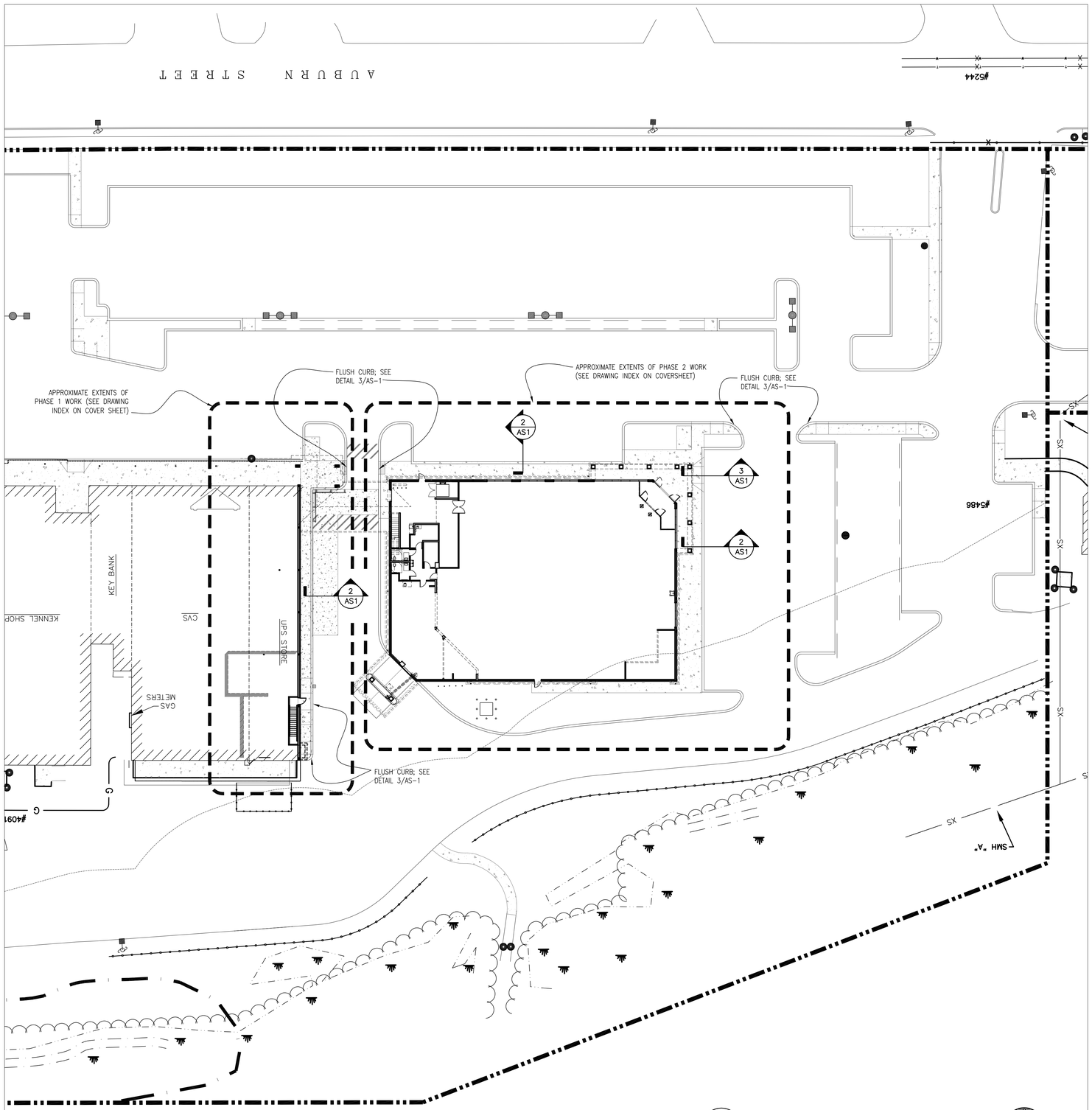
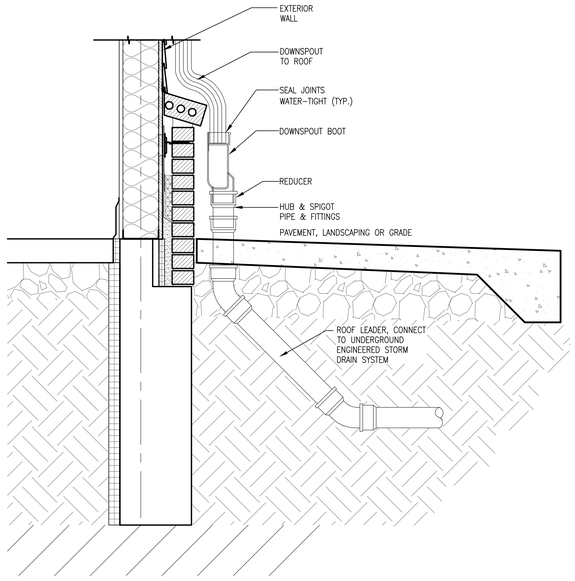


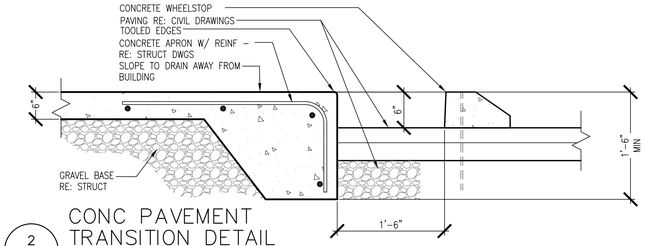
1 AS-1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 50'-0"

GENERAL NOTES:

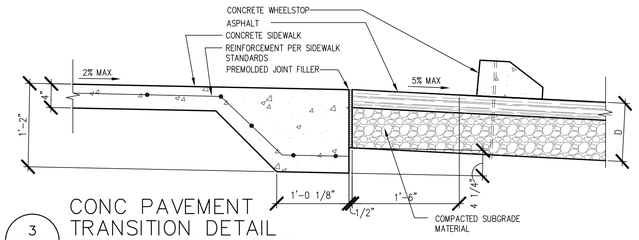
1. COORDINATE HANDICAP PARKING WITH CIVIL DRAWINGS AND SIDEWALK PLAN FOR SIDEWALK ACCESSABLE ACCESS
2. COORDINATE PARKING STALLS WITH CIVIL PLANS
3. COORDINATE LOCATION OF SITE UTILITIES WITH CIVIL DRAWINGS AND BUILDING ENGINEERED DRAWINGS
4. COORDINATE ALL CONCRETE PADS WITH ARCHITECTURAL DRAWINGS AND CIVIL DRAWINGS
5. ALL SIDEWALK CONCRETE PER THIS PLAN SHOULD BE PRICED UNDER THE BUILDING COST PER ARCHITECTURAL DRAWINGS. SIDEWALK TO BE 4" CONCRETE WITH 6"x6" WIRE MESH REINF, SLOPE AWAY FROM BUILDING. COORDINATE SUB-BASE WITH STRUCTURAL DRAWINGS AND GEOTECHNICAL REPORT
6. ALL CURB PER THIS PLAN SHOULD BE PRICED UNDER THE SITE WORK COST PER CIVIL DRAWINGS
7. ALL HC AND EXPECTANT MOTHER SIGNS SHOULD BE PRICED UNDER THE SITE WORK COST.
8. COORDINATE CURBING WITH CIVIL DRAWINGS
9. CONTRACTOR NOTE: ALL SIDEWALKS AT STOREFRONT SHALL BE POURED BEFORE STOREFRONT IS INSTALLED.
10. THIS SITE PLAN IS PRELIMINARY AND MAY HAVE BEEN MODIFIED BY THE CIVIL ENGINER. REFER TO THE CIVIL DRAWINGS FOR ALL SITE ASPECTS AND RELATED WORK.
11. CONTRACTOR TO VERIFY ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF LIGHT POLE BASES AND CONDUIT.
12. LAWN AREAS MAY BE ESTABLISHED WITH SOD OR SEED, AT THE CONTRACTOR'S DISCRETION. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A FULL STAND OF GRASS AT THE TIME OF POSSESSION BY CVS, COORDINATE WITH CVS P.M. AND CIVIL ENGINEER.
13. WHEN REQUIRED, CONTRACTOR IS TO PROVIDE A REGULATION MAILBOX IN LOCATION AS SPECIFIED BY POST OFFICE.
14. INSTALL VAN ACCESSIBLE SIGN BELOW HANDICAP SIGN.
15. EXTERIOR FINISH GRADE MUST BE FLUSH WITH BLDG FFE AT ALL DOORS.
16. PROVIDE PREMOLDED EXPANSION JOINT BETWEEN BUILDING & SIDEWALK.
17. INSTALL HANDICAP SIGN ON 2" GALV POLE (TYP OF 4) PER CODE, MIN 60" ABOVE FINISH SIDEWALK.
18. INSTALL SIGN READING "PARKING FOR EXPECTING MOMS AND CUSTOMERS WITH INFANTS" ON WHITE SIGN W/ GREEN LETTERS AND BORDER. SIGN TO BE SAME SIZE AS HANDICAP SIGN AND MOUNTED ON 2" GALV POLE.
19. REFER TO CIVIL FOR PARKING LAYOUT.



4 AS-1 LEADER BOOT DETAIL
SCALE: 1"=1'-0"



2 AS-1 CONC PAVEMENT TRANSITION DETAIL
SCALE: 1" = 1'-0"



3 AS-1 CONC PAVEMENT TRANSITION DETAIL
SCALE: 1" = 1'-0"

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NEW

STORE NUMBER: 329

NORTHGATE PLAZA
91 AUBURN STREET
PORTLAND, MAINE

DEVELOPER:

A & D REALTY, LLC
5 MILITIA DRIVE
LEXINGTON, MA 02421

REVISIONS:

DRAWING BY: RTK
DATE: XX/XX/XX
JOB NUMBER: 209017
TITLE: ARCHITECTURAL SITE PLAN & DETAILS
SHEET NUMBER: AS-1

COMMENTS:
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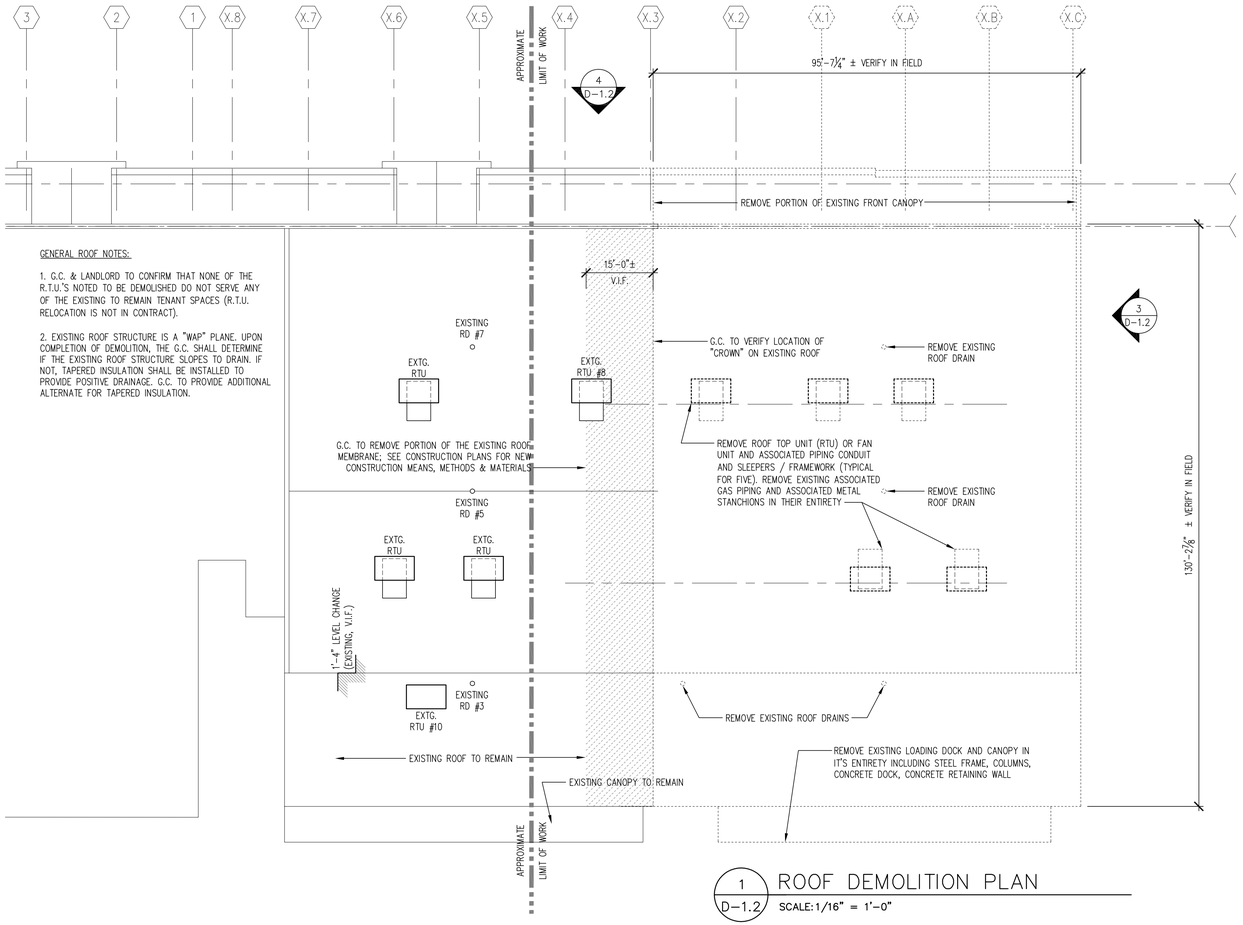
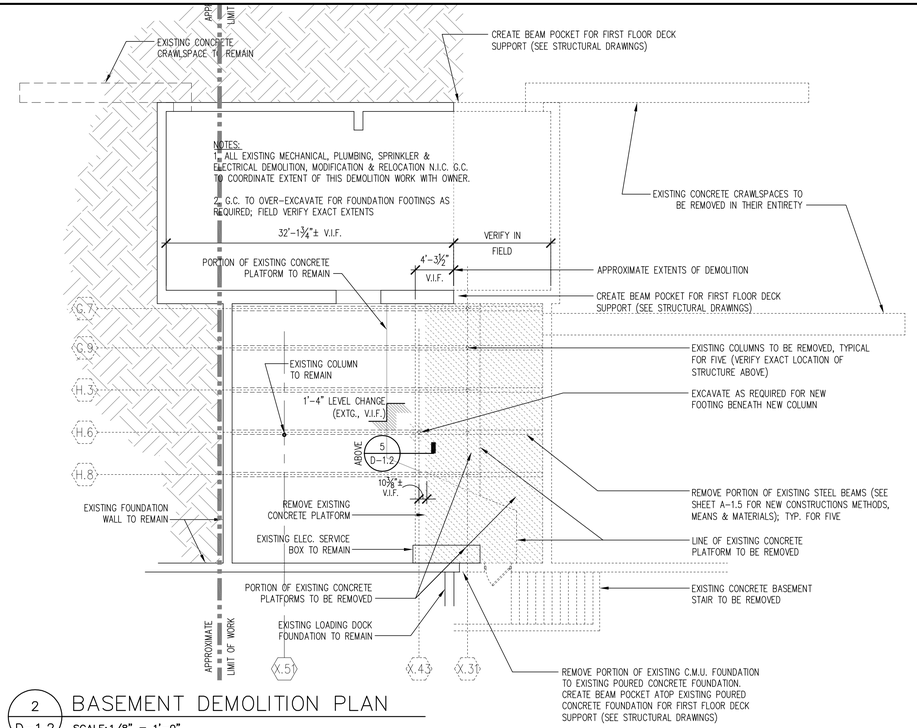
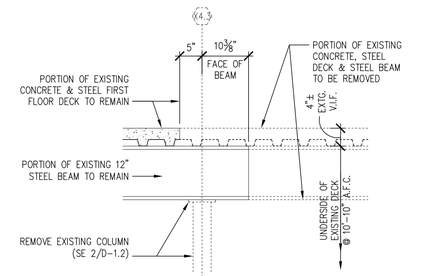


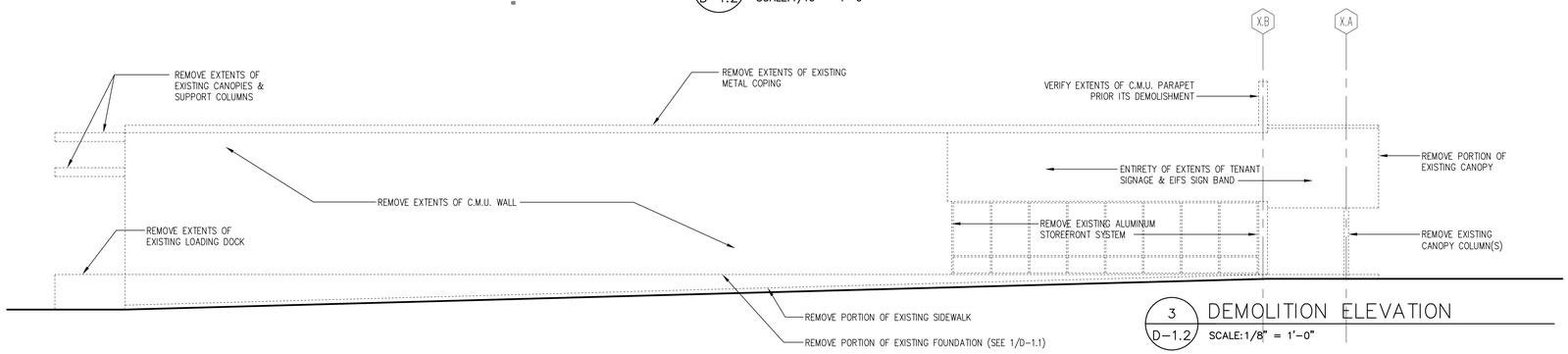
1 D-1.2 ROOF DEMOLITION PLAN
SCALE: 1/16" = 1'-0"



2 D-1.2 BASEMENT DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



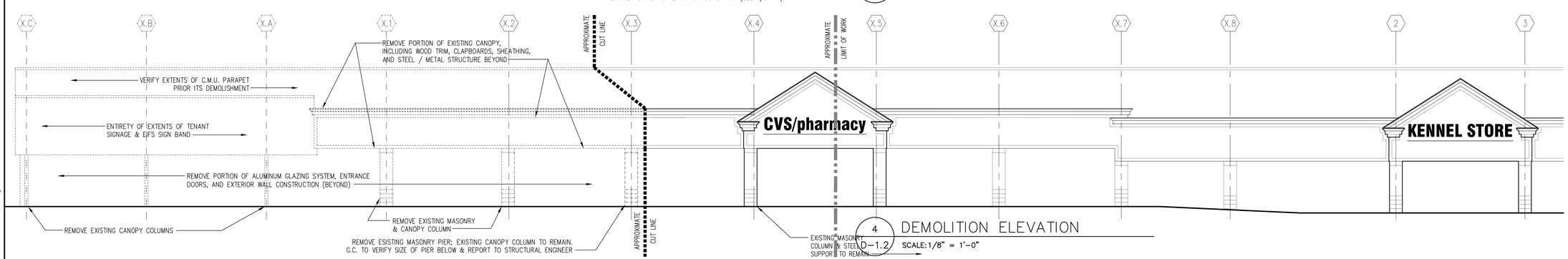
5 D-1.2 DETAIL
SCALE: 3/4" = 1'-0"



3 D-1.2 DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"

DRAWING KEY

X.2 EXISTING COLUMN LINE TO REMAIN	EXISTING WALL OR ITEM TO REMAIN
X.1 EXISTING COLUMN LINE TO BE DEMOLISHED	EXISTING WALL OR ITEM TO BE DEMOLISHED
A NEW COLUMN LINE	NEW TEMPORARY PARTITION (SEE DETAIL 2/D-1.1)
A EXISTING COLUMN LINE WITH NEW COLUMN	NEW WALL OR PARTITION CONSTRUCTION
	EXISTING DOOR AND FRAME ASSEMBLY TO BE DEMOLISHED
	EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN
	NEW DOOR & FRAME ASSEMBLY



4 D-1.2 DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"

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DEMOLITION PLANS & NOTES

SHEET NUMBER:
D-1.2

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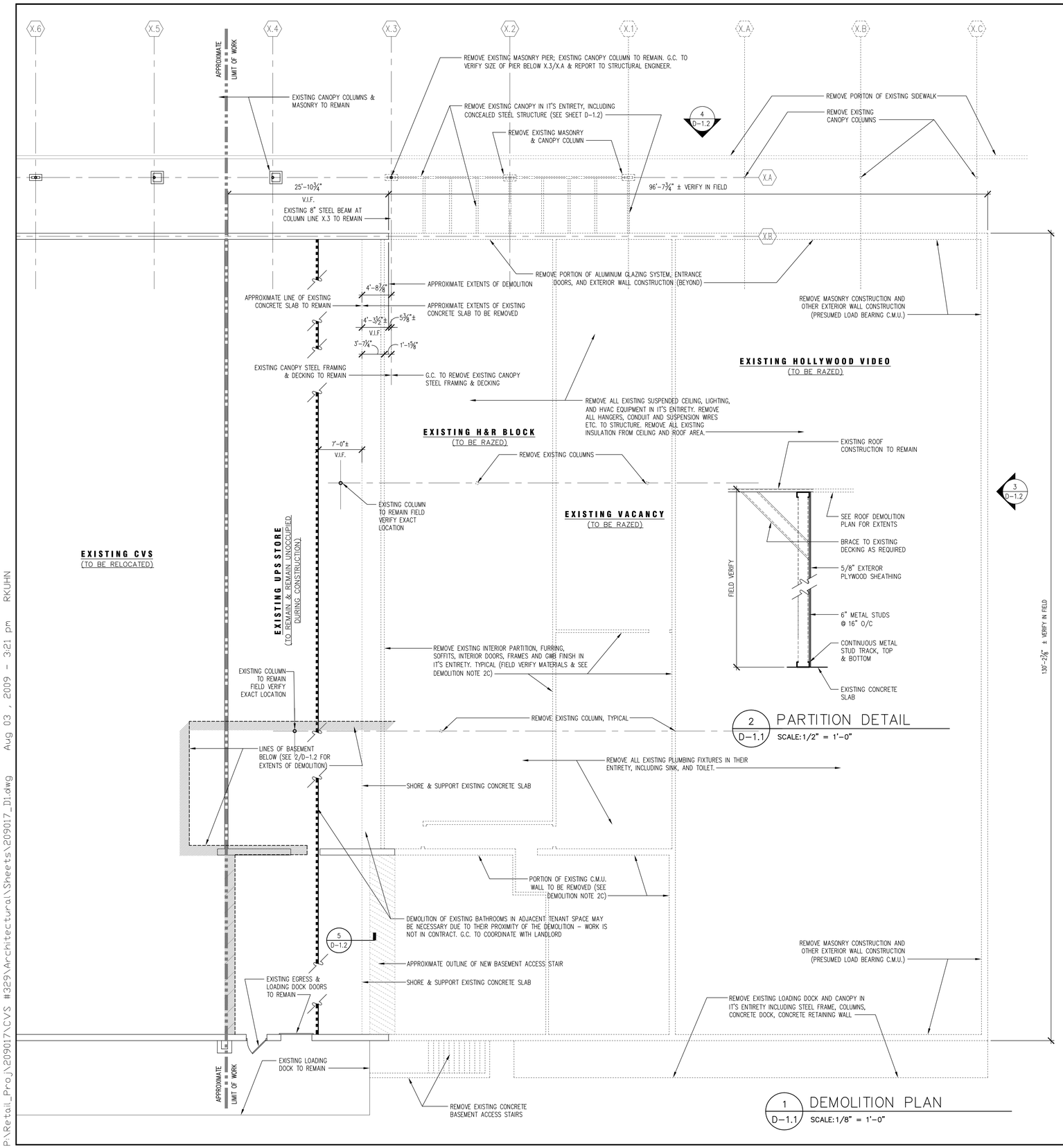

EXISTING CONDITIONS GENERAL NOTE:

EXISTING CONDITIONS SHOWN IN THESE DRAWING CONVEY THE PROBABLE CONSTRUCTION AND MAKE-UP WITHIN, & NOT NECESSARILY THE ACTUAL ON-SITE CONDITIONS INCLUDING THE LOCATION & VERIFICATION OF ALL STRUCTURAL CONDITIONS . THE EXISTING CONDITIONS SHALL BE VERIFIED BY THE G.C. THE G.C. SHALL NOTIFY THE ARCHITECT WHERE THE EXISTING CONDITIONS DEMAND VARIANCE FROM THE ARCHITECT'S INTENT.

DEMOLITION SPECIFICATIONS:

1. GENERAL

A. SUBMIT FOR APPROVAL SELECTIVE DEMOLITION SCHEDULE, INCLUDING SCHEDULE AND METHODS FOR CAPPING AND CONTINUING UTILITY SERVICES.

B. USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK OF THIS SECTION.

C. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY, OSHA, 29 CMR 10 AND ALL OTHER LOCAL, STATE AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.

D. DEMOLITION CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL CITY OF PORTLAND AND STATE OF MAINE REQUIREMENTS FOR PROTECTION OF PERSONS, PROPERTY, TRAFFIC, CONTROL, BARRICADES, TEMP. LIGHTING, ETC. FOR THE DURATION OF THE DEMOLITION CONTRACT.

E. GENERAL CONTRACTOR TO PROVIDE AND COORDINATE A SCHEDULE FOR DEMOLITION WITH SPECIFIC ITEMS TO CONFORM WITH SCHEDULING FOR OTHER TRADES REQUIRED TO COMPLETE OR PERFORM A DIRECTLY RELATED PORTION OF WORK. THE G.C. SHALL COORDINATE WITH OWNER AND ABUTTERS REGARDING DEMOLITION, NOISE, ETC. PRIOR TO CONSTRUCTION AT A PRE-CONSTRUCTION CONFERENCE.

2. HANDLING

A. WHEN THE NATURE OF DEMOLITION WORK REQUIRES THEIR USE, ERECT AND MAINTAIN DUST CHUTES & BARRIERS FOR THE DISPOSAL OF MATERIALS, RUBBISH, AND DEBRIS.

B. REMOVE AND SALVAGE DEBRIS FROM THE SITE AS IT ACCUMULATES ON A DAILY BASIS. DO NOT STORE, SELL, BURN, OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIALS IN SUCH A MANNER AS TO PREVENT SPILLAGE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE, CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER OFF-SITE.

C. ERECT AND MAINTAIN TEMPORARY BRACING, SHORING FOR THE BUILDING, SHORING FOR CONSTRUCTION EQUIPMENT, CRIBBING & OTHER TEMPORARY SUPPORTS AS REQUIRED, ANY AND ALL FORMS OF SCAFFOLDING, PARTITIONS, BARRICADES, WARNING SIGNS, LIGHTS, AND GUARDS NECESSARY TO PROTECT ADJACENT BUILDING OCCUPANTS, AND WORKERS FROM INJURY, AND/OR DAMAGE, ALL IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS. COMPLY WITH APPLICABLE REQUIREMENTS OF OSHA AND OTHER GOVERNING BODIES HAVING JURISDICITON AT THE SITE.

D. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN. ITEMS OF SALVAGE VALUE WHICH ARE NOT INCLUDED ON SCHEDULE OF SALVAGE ITEMS TO BE RETURNED TO OWNER SHALL BE REVIEWED WITH OWNER AS TO WHETHER THEY CAN BE REMOVED FROM THE PREMISES. STORAGE OR SALE OF ITEMS AT PROJECT SITE IS PROHIBITED. DEMOLISHED MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF USING LEGAL METHODS.

E. DO NOT CLOSE OR OBSTRUCT THE MEANS OF EGRESS, CORRIDORS, OR OTHER OCCUPIED SPACES. REVIEW ANY SEQUENCE OR PHASING ISSUES W/ BKA ARCHITECTS AND CITY OF PORTLAND, ME. PROJECT REPRESENTATIVE. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER OR AUTHORITIES HAVING JURISDICTION. IF NECESSARY, PROVIDE TEMPORARY UTILITIES.

F. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.

3. SEQUENCING AND EXECUTION

A. BY CAREFUL STUDY OF THE CONTRACT DOCUMENTS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION TO BE PERFORMED.

B. VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED PRIOR TO STARTING THE WORK.

1. CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
2. MARK INTERFACE SURFACES AS REQUIRED TO ENABLE WORKMAN TO ALSO IDENTIFY ITEMS TO BE REMOVED, ITEMS TO BE LEFT IN PLACE INTACT, ITEMS TO BE SALVAGED AND/OR FOR REUSE AND RELOCATION, AND ITEMS TO BE REMOVED AND SORTED FOR RECYCLING.

C. PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS.

1. SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION. NOTIFY DIG-SAFE AND CITY OF PORTLAND, ME, PRIOR TO EXCAVATION.

2. COMPLETELY REMOVED ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE. IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS & GOVERNMENTAL AGENCIES HAVING JURISDICTION.

D. USE MEANS NECESSARY TO PREVENT DUST BECOMING A NUISANCE TO WORKERS IN THE BUILDING, THE PUBLIC, NEIGHBORING BUILDINGS, AND TO OTHER WORK BEING PERFORMED.

E. SCHEDULE & EXECUTE DEMOLITION WORK TO ENSURE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY WIND-BLOWN OR FALLING DEBRIS.

F. IN THE EVENT DEMOLITION OF ITEMS NOT SO SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AT NO ADDITIONAL INCREASE IN COST OR TIME TO THE OWNER.

G. WHERE EXISTING CONSTRUCTION TO REMAIN IS AFFECTED BY DEMOLITION OR INSTALLATION OF NEW WORK, PATCH, REPAIR OR REPLACE THE WORK AT SURFACES WHICH HAVE BEEN DAMAGED AND FINISH TO MATCH EXISTING (T.M.E.) ADJACENT CONSTRUCTION.

H. FINISH NEW AND EXISTING SURFACES AS SCHEDULED. CLEAN EXISTING SURFACES OF DIRT, GREASE, AND LOOSE PAINT BEFORE REFINISHING.

I. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, RE-USE, SHUT-OFF, STUB-OFF, CAPPING-OFF, OR UPGRADING OF ALL EXISTING, PLUMBING, HVAC, FIRE ALARM, SECURITY AND ELECTRICAL SYSTEMS, EQUIPMENT, AND APPURTENANCES – INCLUDING, BUT NOT LIMITED TO, UTILITY LINES, DUCTS, CONNECTIONS, PANELS, VENTS, FANS, PIPING, DEVICES, CONTROLS, OUTLETS, AND CONDUIT DURING CONSTRUCTION AS REQUIRED, AS SCHEDULED, OR AS SPECIFIED IN ACCORDANCE WITH ALL LOCAL, MUNICIPAL AND STATE CODES TO SUIT THE WORK.

4. SCOPE

ITEMS TO BE DEMOLISHED AND REMOVED – INCLUDING BUT NOT LIMITED TO:
1a. EXISTING WALL CONSTRUCTION AS INDICATED TO BE REMOVED ON THE CONSTRUCTION DRAWINGS.

2a. PORTIONS OF EXISTING PLUMBING, HVAC, AND ELECTRICAL SYSTEMS AS INDICATED FOR THE INSTALLATION OF NEW WORK.

3a. EXISTING CEILING SYSTEMS AND RELATED LIGHTING DEVICES, WIRING, CONDUIT, ETC. AS REQUIRED BY THE NEW WORK.

4a. EXISTING INTERIOR STAIRS AS INDICATED ON THE DRAWINGS.

5a. EXISTING FLOORING FINISH SYSTEMS AS REQUIRED TO ACCEPT NEW WORK.

EXISTING CONSTRUCTION TO REMAIN – INCLUDING BUT NOT LIMITED TO:
1. EXISTING BUILDING EXTERIOR SHELL SCHEDULED TO REMAIN, INCLUDING BUT NOT LIMITED TO FOUNDATION SYSTEMS, SUPERSTRUCTURE, WALLS, ROOF AND RELATED CONSTRUCTION, ETC.

2. EXISTING ARCHITECTURAL, STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL SYSTEMS, SERVICES, EQUIPMENT, FIXTURES, AND RELATED ACCESSORIES SCHEDULED TO REMAIN OR NOT NOTED OR SCHEDULED TO BE DEMOLISHED.

ITEMS TO BE SALVAGED FOR REUSE OR TO BE SORTED FOR RECYCLING:
1b. ALL METAL PRODUCTS, INCLUDING BUT NOT LIMITED TO MISCELLANEOUS METALS, ORNAMENTAL METALWORK, METAL DOORS AND FRAMES, STRUCTURAL STEEL, PLEXIGLASS, ALL UNDAMAGED ACOUSTICAL CEILING PANELS & DUCTWORK.

2b. MEP ITEMS PER DWGS. AND SPECS. ALL ALUMINUM PRODUCTS, INCLUDING BUT NOT LIMITED TO ALUMINUM DOORS, FRAMES, AND DUCTWORK.

3b. ANY OTHER ITEMS DEEMED RECYCLABLE BY THE G.C., OWNER OR ARCHITECT PRIOR TO THE START OF DEMOLITION.

REMOVAL OF HAZARDOUS MATERIALS:

1. IN THE EVENT THAT HAZARDOUS MATERIAL IS UNCOVERED DURING DEMOLITION, THE G.C. SHALL BE RESPONSIBLE FOR THE ABATEMENT OF ALL HAZARDOUS MATERIALS INCLUDING, BUT NOT LIMITED TO, LEAD PAINT, PCB'S, ASBESTOS, ETC. IN ACCORDANCE WITH ALL PREVAILING M.G.L. THIS INCLUDES INDOOR AIR QUALITY TESTING AND COORDINATION AS PER THE CODE OF FEDERAL REGULATIONS 29.

2. G.C. SHALL FORWARD ALL TESTING REPORTS AND DOCUMENTATION INDICATING REMOVAL OF HAZARDOUS MATERIALS TO OWNER AND ARCHITECT.

DRAWING KEY

- X.2 — EXISTING COLUMN LINE TO REMAIN
- X.1 — EXISTING COLUMN LINE TO BE DEMOLISHED
- A — NEW COLUMN LINE
- A — EXISTING COLUMN LINE WITH NEW COLUMN
- EXISTING WALL OR ITEM TO REMAIN
- EXISTING WALL OR ITEM TO BE DEMOLISHED
- NEW TEMPORARY PARTITION (SEE DETAIL 2/D-1.1)
- NEW WALL OR PARTITION CONSTRUCTION
- EXISTING DOOR AND FRAME ASSEMBLY TO BE DEMOLISHED
- EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN
- NEW DOOR & FRAME ASSEMBLY

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TITLE: DEMOLITION PLANS & NOTES

SHEET NUMBER: D-1.1

COMMENTS: PROGRESS – NOT FOR CONSTRUCTION (8/3/09)

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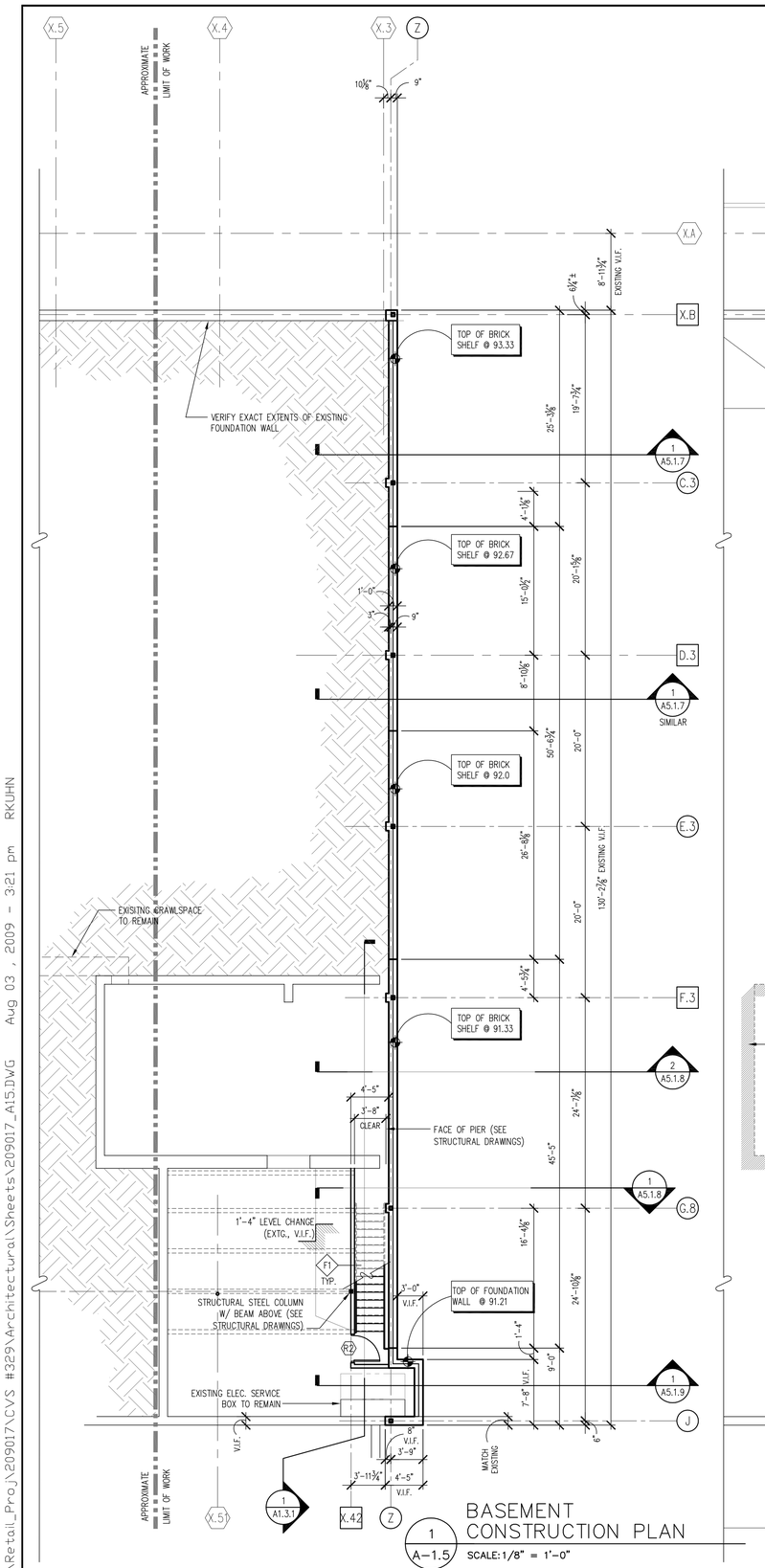
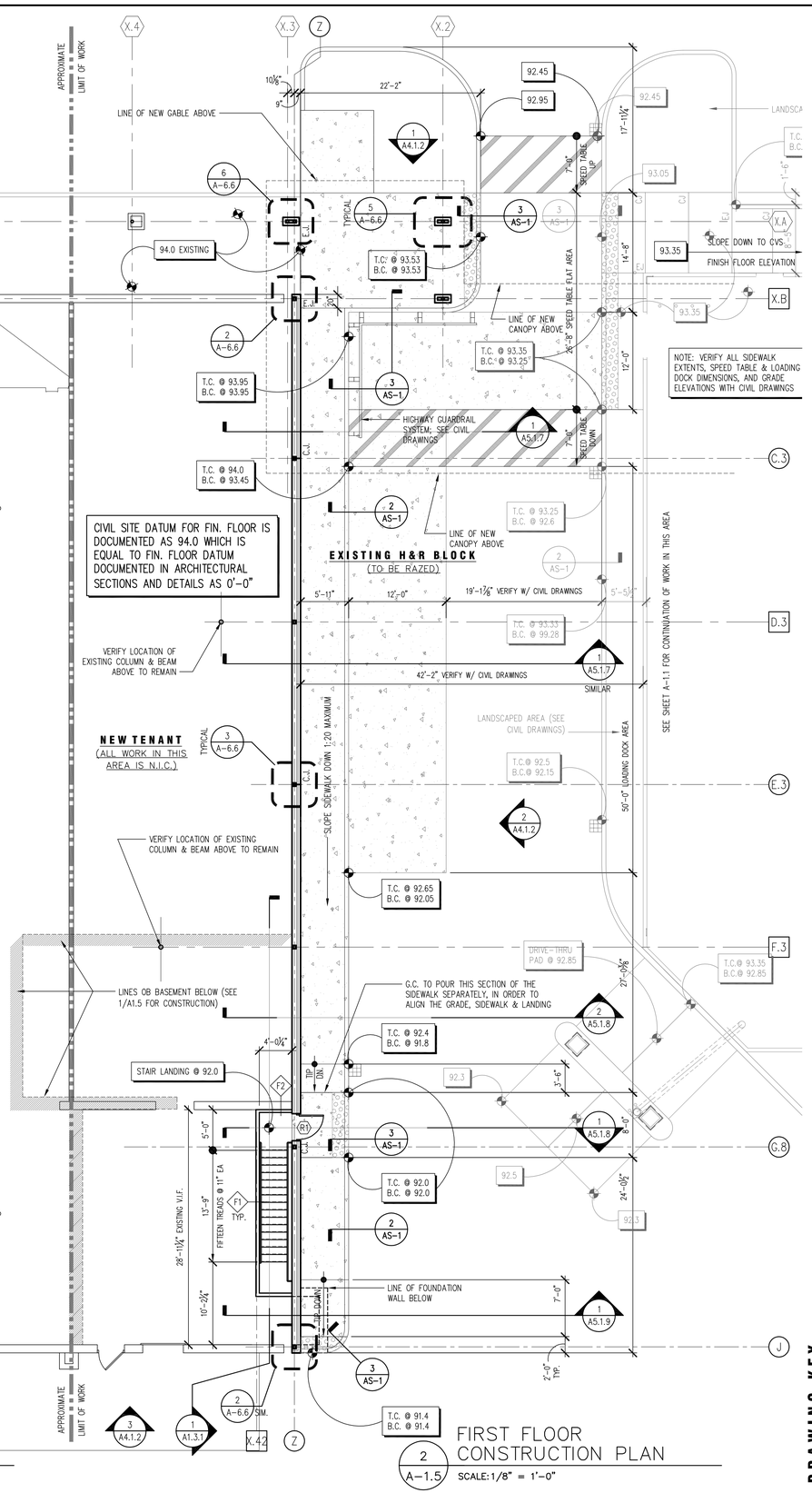


1 A-1.5 BASEMENT CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"



2 A-1.5 FIRST FLOOR CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"

DESIGN/BUILD NOTES

1.) THE G.C. AND THE DESIGN/BUILD (D/B) SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING COMPLETE D/B PLUMBING, FIRE PROTECTION, H.V.A.C., A.V. SYSTEMS, SMOKE & HEAT DETECTORS, ELECTRICAL DESIGN AND LAYOUT DRAWINGS WITH CALCULATIONS & LOADS WHICH CONFORM TO ALL STATE AND LOCAL CODES, STAMPED AND CERTIFIED BY A REGISTERED P.E. AS REQUIRED BY THE TOWN OF PLYMOUTH BUILDING & FIRE DEPTS. AT THE TIME OF PERMIT & AT THE TIME OF PROJECT CLOSE-OUT. THIS INCLUDES ANY ENERGY CONSERVATION DATA AND NARRATIVES AS REQUIRED PER PER THE I.E.C.C. (INTERNATIONAL ENERGY CONSERVATION CODE)

2.) THE G.C. SHALL BE RESPONSIBLE FOR COORDINATING FIRE EXTINGUISHER AND A-V FIRE ALARM REQUIREMENTS WITH THE CITY OF PORTLAND, MAINE, FIRE DEPARTMENT. CONFORM TO RHODE ISLAND BUILDING CODE FIRE REGULATIONS AND NFPA-10.

3.) COORDINATE BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES.

4.) PERFORM ALL WORK IN ACCORDANCE WITH THE R.I.B.C. AND ADAAG, AS WELL AS ALL MUNICIPAL BYLAWS AND FIRE SAFETY STATUTES.

5.) THE G.C. SHALL BE RESPONSIBLE FOR D/B SUBCONTRACTOR'S CONFORMANCE TO R.I.B.C. REQUIREMENTS FOR MECHANICAL AND ELECTRICAL SYSTEM AND COMPONENT SEISMIC PERFORMANCE.

6.) ALL CONSTRUCTION SHALL CONFORM TO THE TENETS OF AIA DOCUMENT A201: GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.

7.) THE G.C. SHALL COORDINATE THE WORK OF ALL TRADES REGARDING CEILING-MOUNTED AND ABOVE-CEILING-MOUNTED EQUIPMENT, DEVICES AND FIXTURES.

ELECTRICAL NOTES

1.) THE D/B ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL DESIGN, ENGINEERING, LAYOUT, AND INSTALLATION TO SUIT THE WORK. HE/SHE SHALL COORDINATE POWER WIRING AND CABLING, LIGHTING, DEVICES, EQUIPMENT, RUNS, TERMINATIONS, CIRCUITS AND PANEL LOCATION. COORDINATE ANY SPECIAL ELECTRICAL DEVICES OR EQUIPMENT REQUIREMENTS WITH THE OWNER PRIOR TO WORK. USE THE ARCHITECTURAL DRAWINGS AS GUIDE ONLY.

2.) THE G.C. AND D/B ELECTRICAL SUBCONTRACTOR SHALL REVIEW LIGHT FIXTURE SPECIFICATIONS WITH ARCHITECT AND OWNER PRIOR TO THE WORK.

3.) THE D/B ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO NEC & MEC LATEST EDITIONS FOR ALL ELECTRICAL WORK.

4.) CONFORM TO MSBC, NFPA 70 & ADAAG MOUNTING HEIGHTS OF ALL DEVICES AND FIRE ALARM SYSTEM COMPONENTS.

5.) THE D/B E.C. SHALL PROVIDE I.E.C.C. CALCULATIONS AND NARRATIVE FOR POWER AND LIGHTING AS REQUIRED BY THE TOWN OF TIVERTON

6.) THE D/B E.C. SHALL REVIEW EXISITNG FIRE ALARM SYSTEM & BEACONS, EXIT SIGNAGE, EXIT LIGHTING, AND EMERGENCY LIGHTING & RELOCATE OR PROVIDE NEW AS DIRECTED BY THE TOWN OF TIVERTON FIRE DEPEARTMENT & ALL AUTHORITIES HAVING JURISTICTION.

GENERAL NOTES

1.) COORDINATE THE ARCHITECTURAL DRAWINGS WITH ENGINEERED CIVIL, STRUCTURAL, PLUMBING, FIRE PROTECTION, HVAC, AND ELECTRICAL/FIRE ALARM DRAWINGS FOR THE VERIFICATION OF ALL PROJECT REQUIREMENTS WITH THE WORK OF ALL TRADES.

2.) REFER TO THE CIVIL ENGINEERING DRAWINGS FOR GRADING, UNDERGROUND AND SURFACE UTILITIES, SITE IMPROVEMENTS, RETAINING WALLS, UNDERGROUND DRAINAGE, DETENTION BASINS, EXTERIOR WALKS, PARKING, STRIPING, H.C. SIGNAGE/SYMBOLS, CURB CUTS, LIGHTING, LANDSCAPING, ETC.

3.) REFER TO THE ENGINEERED STRUCTURAL DRAWINGS FOR ALL NOTES, INFORMATION, AND DETAILS REGARDING FOOTINGS, FOUNDATIONS, SLABS, REINFORCEMENT, ANCHORING, BRACING, SUPERSTRUCTURE, FRAMING, CONNECTIONS, ETC.

4.) ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF G.W.B. TO FACE OF G.W.B. UNLESS SPECIFICALLY NOTED OTHERWISE. DO NOT SCALE DRAWINGS. REFER TO ENLARGED PLANS AND DETAILS FOR FURTHER DIMENSIONING INFORMATION. ALL WORK LINES AND LEVELS SHALL BE LAID OUT BY WRITTEN DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ALL DEVIATIONS AND DISCREPANCIES SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK. RECORD ALL MODIFICATIONS ON THE "AS-BUILTS"- DAILY.

5.) FIRE EXTINGUISHER AND CABINET QUANTITIES AND LOCATIONS TO BE COORDINATED WITH THE CITY OF PORTLAND FIRE DEPARTMENT PRIOR TO ORDERING AND INSTALLATION. CONFORM TO R.I.B.C FIRE REGS. AND NFPA-10. COORDINATE AND PROVIDE RELATED SIGNAGE.

6.) COORDINATE MASTER BOX, KNOX BOX, AND BEACON LOCATIONS WITH THE ELECTRICAL/FIRE ALARM DRAWINGS AND THE TOWN OF TIVERTON FIRE DEPARTMENT'S REQUIREMENTS. COORD. FINAL LOCATIONS W/ ARCHITECT.

7.) THE GENERAL CONTRACTOR (G.C.) SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO THE WORK AND SHALL NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.

8.) THE G.C. SHALL SUBMIT ALL SHOP DRAWINGS, SAMPLES, CATALOG CUTS ETC., INCLUDING COLOR CHARTS FOR PAINTS AND STAINS FOR ALL EXTERIOR AND INTERIOR FINISHES, TO THE ARCHITECT FOR SELECTION, REVIEW AND APPROVAL PRIOR TO FABRICATION, ORDERING, OR INSTALLATION. PRIORITIES ANY LONG-LEAD ITEMS.

9.) THE G.C. SHALL COORDINATE THE WORK OF ALL TRADES REGARDING CEILING-MOUNTED AND ABOVE-CEILING-MOUNTED EQUIPMENT, DEVICES AND FIXTURES.

10.) PERFORM ALL WORK IN ACCORDANCE WITH THE R.I.B.C., M.A.A.B., AND ADAAG, AS WELL AS ALL LOCAL CODES AND ORDINANCES.

11.) THE G.C. AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES AS REQUIRED BY THE TOWN OF TIVERTON

12.) THE G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS OFF SITE.

13.) THE G.C. SHALL SEAL ALL THROUGH-WALL & FLOOR PENETRATIONS WITH 3M BARRIER CAULK (O.A.E.) AND SEALANT ON USG SAFING, 2500 PSI GROUT AT CMU WALLS.

14.) INSTALL A CONTINUOUS SEALANT BEAD ON BACKER ROD AT ALL JUNCTURES OF DISSIMILAR MATERIALS (E.G.: METAL TO CMU, STEEL TO ALUMINUM) AND ALL MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, INDUSTRY STANDARDS AND GOOD PRACTICE.

15.) COORDINATE SOLID F.R.T.W. BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES, INCLUDING ITEMS REQ'D BY M.A.A.B. SECT.5.5 & 5.6. ADDITIONALLY, F.R.T.W. SHALL BE USED WHEREVER WOOD IS USES, UNLESS OTHERWISE ALLOWED BY MA 780 CMR OR OTHER APPLICABLE CODES.

16.) FILL ALL VOIDS AT EXTERIOR WALL NOT VENTED TO THE EXTERIOR W/"ZERO-DRAFT" FOAM INSULATION

17.) LT GA MTL STUD, BRACING, FRAMING MEMBERS, ETC. SHALL BE DESIGNED FOR SIZING, GAUGES, HEIGHT LIMITATIONS ETC. BY LT GA MTL SUPPLIER/SUB-CONTRACTOR.

DRAWING KEY

- X.2 — EXISTING COLUMN LINE TO REMAIN
- X.1 — EXISTING COLUMN LINE TO BE DEMOLISHED
- A — NEW COLUMN LINE
- A — EXISTING COLUMN LINE WITH NEW COLUMN
- EXISTING WALL OR ITEM TO REMAIN
- EXISTING WALL OR ITEM TO BE DEMOLISHED
- NEW TEMPORARY PARTITION (SEE DETAIL 2/D-1.1)
- NEW WALL OR PARTITION CONSTRUCTION
- EXISTING DOOR AND FRAME ASSEMBLY TO BE DEMOLISHED
- EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN
- NEW DOOR & FRAME ASSEMBLY

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91 AUBURN STREET
PORTLAND, MAINE

DEVELOPER:

A & D REALTY, LLC
5 MILITIA DRIVE
LEXINGTON, MA 02421

REVISIONS:

DRAWING BY: RTK
DATE: XX/XX/XX
JOB NUMBER: 209017

TITLE: CONSTRUCTION PLAN & NOTES

SHEET NUMBER: A-1.5

COMMENTS: PROGRESS - NOT FOR CONSTRUCTION (8/3/09)

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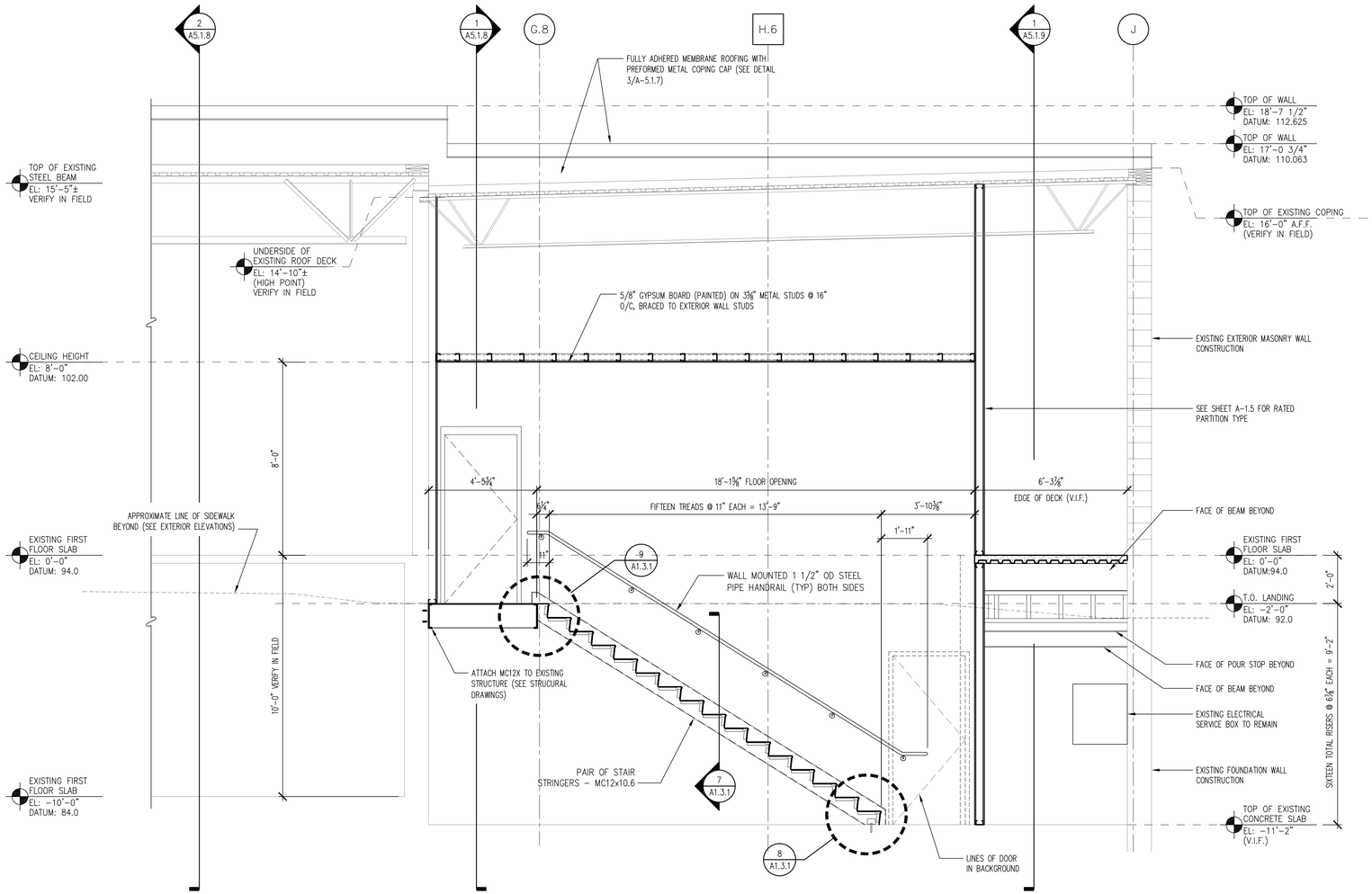
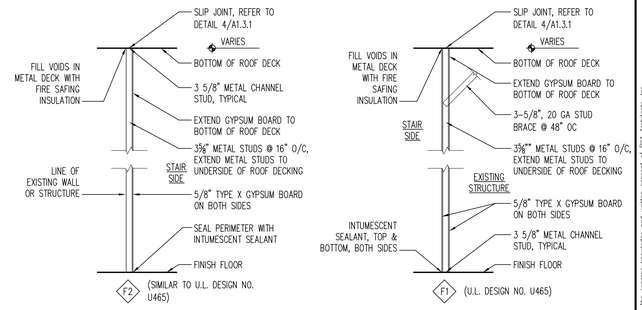
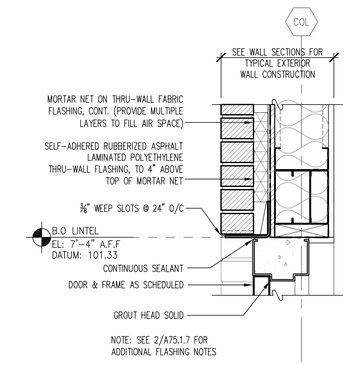


1 A1.3.1 STAIR SECTION
SCALE: 3/8" = 1'-0"

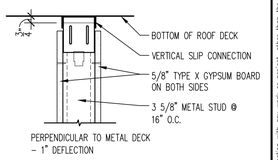


2 A1.3.1 PARTITION TYPES
SCALE: 1/4" = 1'-0"

NOTE: PAINT ALL GYPSUM BOARD BELOW CEILING(S), FIRE TAPE ALL GYPSUM BOARD ABOVE CEILING(S)



3 A1.3.1 HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



4 A1.3.1 PARTITION DETAIL
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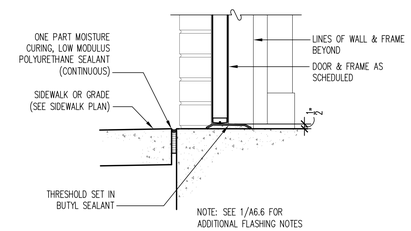

5 A1.3.1 THRESH DETAIL
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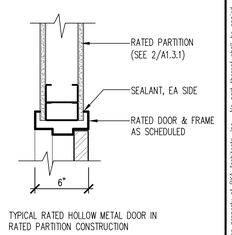
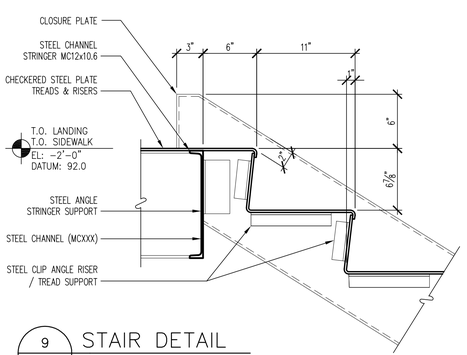
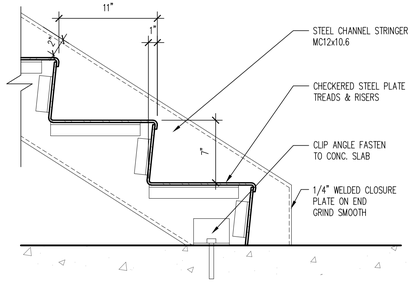


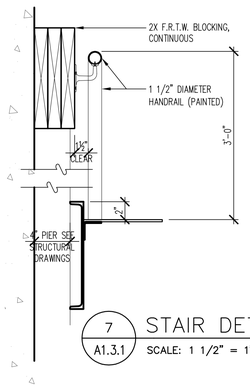
6 A1.3.1 HEAD / JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



9 A-1.3 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



8 A-1.3 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



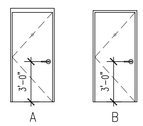
7 A1.3.1 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"

DOOR AND FRAME SCHEDULE

TAG	TYPE	DOOR SIZE WD	DOOR SIZE HGT	DOOR SIZE THK	DOOR MATL	GLAZING	LOUVER WD	LOUVER HGT	FRAME MATL	FRAME DETAIL HEAD	FRAME DETAIL JAMB	FRAME DETAIL SILL	FIRE RATING LABEL	HARDWARE SET	NOTES
R1	A	3'-0"	7'-0"	1 3/4"	INS. H.M.				H.M.	3/A1.3.1	3/A1.3.1 (SIM)	6/A1.3.1	1 HOUR	STORE ROOM	1,2,3
R2	B	3'-0"	7'-0"	1 3/4"	INS. H.M.				H.M.	6/A1.3.1	6/A1.3.1	---	1 HOUR	PASSAGE	1,2,3

REMARKS

1. PAINT EXTERIOR SIDE OF SIDE DOOR & FRAME BENJAMIN MOORE #HC-50 "GEORGIAN BRICK; PAINT INTERIOR SIDE OF DOOR & FRAME BENJAMIN MOORE #319-79 ("ATRIUM WHITE")
2. PAINT BOTH SIDES OF DOOR & FRAME BENJAMIN MOORE #319-79 ("ATRIUM WHITE")
3. PROVIDE WEATHER SEALS, 1.5 PR BUTTS NRP, THRESHOLD AND OFFICE LEAVER LOCK SET.



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A & D REALTY, LLC
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REVISIONS:

DRAWING BY: RTK

DATE: XX/XX/XX

JOB NUMBER: 209017

TITLE: STAIR SECTIONS & DETAILS

SHEET NUMBER: A-1.3.1

COMMENTS: PROGRESS - NOT FOR CONSTRUCTION (8/3/09)

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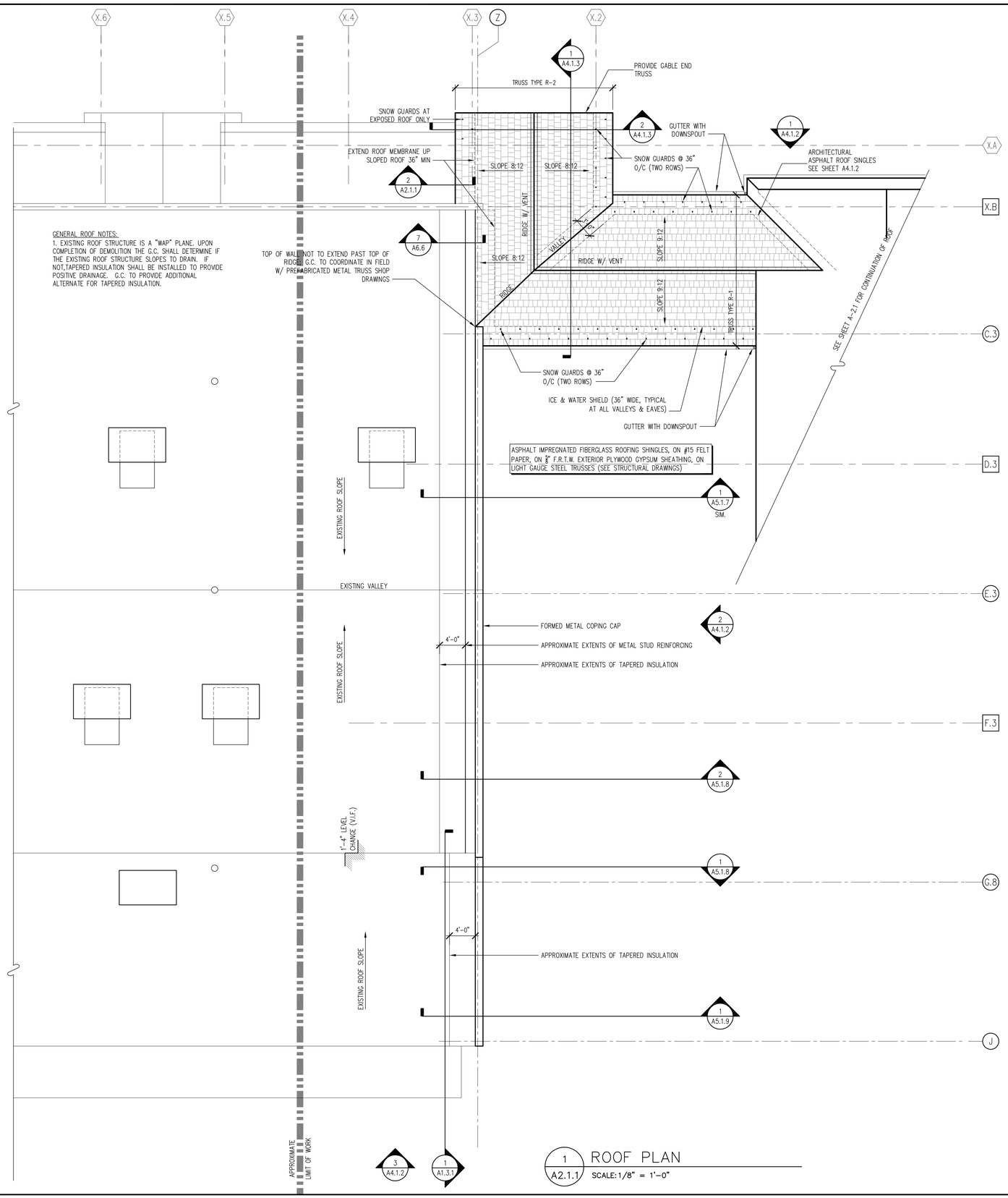
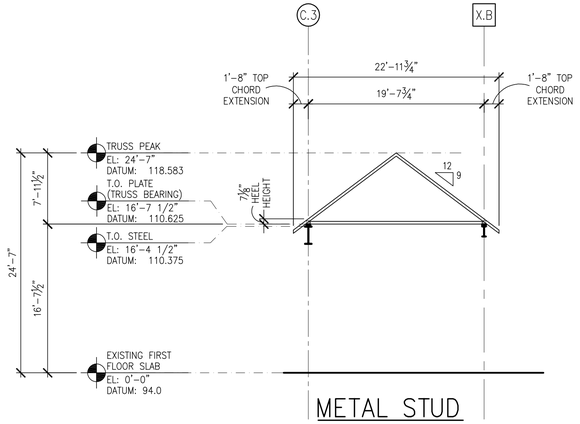
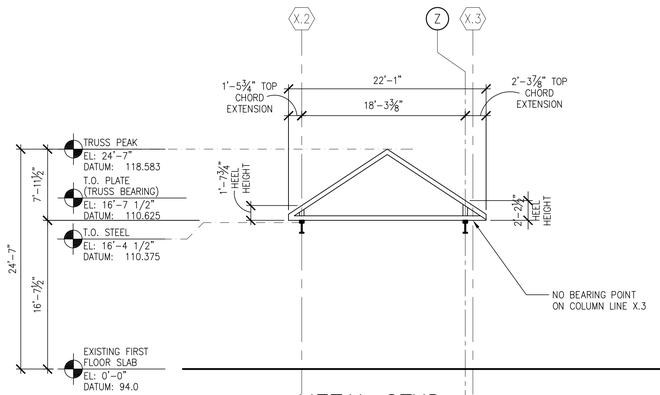


GENERAL ROOF NOTES:
1. EXISTING ROOF STRUCTURE IS A "WAP" PLANE. UPON COMPLETION OF DEMOLITION THE G.C. SHALL DETERMINE IF THE EXISTING ROOF STRUCTURE SLOPES TO DRAIN. IF NOT, TAPERED INSULATION SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE. G.C. TO PROVIDE ADDITIONAL ALTERNATE FOR TAPERED INSULATION.

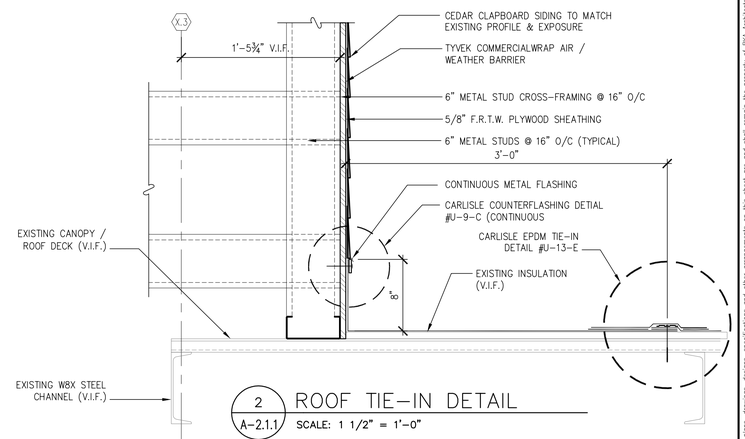
1 A2.1.1 ROOF PLAN
SCALE: 1/8" = 1'-0"



METAL STUD TRUSS TYPE R-1
(SEE 1/A2.1.1 FOR LOCATION)



METAL STUD TRUSS TYPE R-2
(SEE 1/A2.1.1 FOR LOCATION)



2 A-2.1.1 ROOF TIE-IN DETAIL
SCALE: 1 1/2" = 1'-0"

DRAWING KEY

- X.2 — EXISTING COLUMN LINE TO REMAIN
- X.1 — EXISTING COLUMN LINE TO BE DEMOLISHED
- A — NEW COLUMN LINE
- A — EXISTING COLUMN LINE WITH NEW COLUMN
- EXISTING WALL OR ITEM TO REMAIN
- EXISTING WALL OR ITEM TO BE DEMOLISHED
- NEW TEMPORARY PARTITION (SEE DETAIL 2/D-1.1)
- NEW WALL OR PARTITION CONSTRUCTION
- EXISTING DOOR AND FRAME ASSEMBLY TO BE DEMOLISHED
- EXISTING DOOR AND FRAME ASSEMBLY TO REMAIN
- NEW DOOR & FRAME ASSEMBLY

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REVISIONS:

DRAWING BY:	RTK
DATE:	XX/XX/XX
JOB NUMBER:	209017

TITLE:
ROOF PLAN, TRUSS PROFILES, & DETAILS

SHEET NUMBER:
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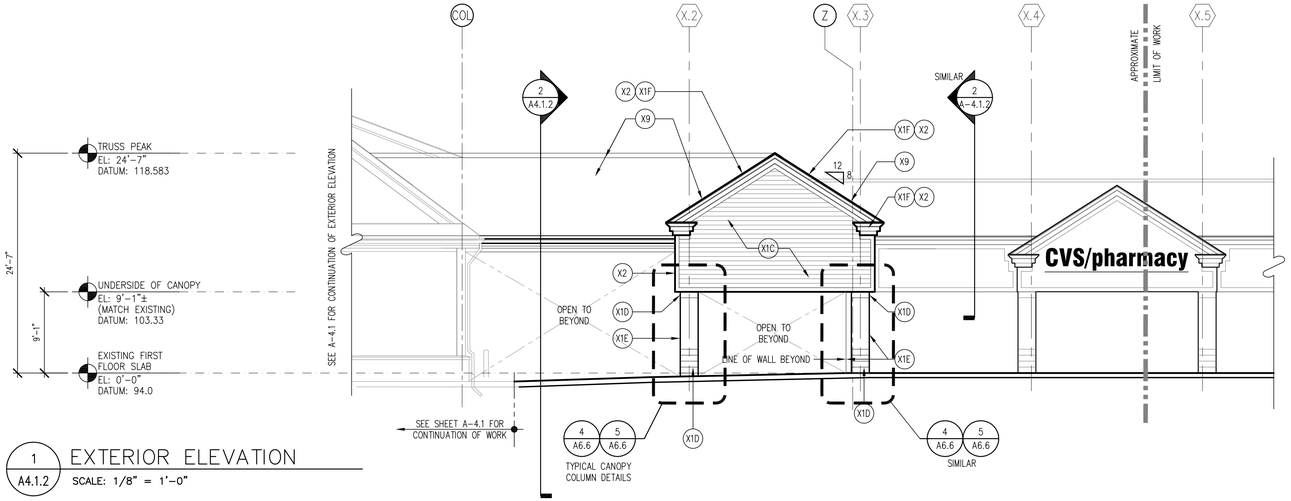
EXTERIOR FINISH SCHEDULE

TAG	MATERIAL/MFG.	COLOR/NO.	NOTES
X1	"WEREZALIT" RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE #1600	AMERICANA 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
X1A	"WEREZALIT" RESIN-BONDED WOOD SIDING PANEL SYSTEM	BENJAMIN MOORE 319-79	HERITAGE 6" EXPOSURE, TRADITION (SMOOTH SURFACE); SEE NOTE #4. PROVIDE PAINTED SAMPLE TO ARCHITECT
X1B	EXTERIOR FACE BRICK	CVS RED	MORTAR COLOR - NATURAL GREY
X1C	EXTERIOR CEDAR CLAPBOARD SIDING SYSTEM	PRIME & PAINT TO MATCH EXISTING	EXPOSURE TO MATCH EXISTING
X1D	C.M.U. BLOCK (SPLIT FACED, SINGLE SCORE)	NATURAL GSF 000" (TO MATCH EXISTING)	MANUFACTURED BY GENEST CONCRETE, SANFORD, ME (BUTCH KENEDY: 207-324-3250 X155)
X1E	EXTERIOR FACE BRICK	TO MATCH EXISTING EXTEIROR FACE BRICK	COORDINATE WITH GENEST CONCRETE, SANFORD, ME (BUTCH KENEDY: 207-324-3250 X155)
X1F	WOOD CROWN MOULDING	TO MATCH EXISTING	PROVIDE IN CLOSED CELL PVC IF AVIALABLE
X2	CLOSED CELL PVC TRIM	SMOOTH FACE; PAINT BENJAMIN MOORE 319-79 (TYPICAL AT ALL PVC TRIM)	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
X3	CLOSED CELL SHEET PVC CLADDING	5/4" ABBUTTING WOOD SIDING; OTHERWISE 1"	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE #4
X4	FYPON DECORATION	BENJAMIN MOORE 319-79	CUSTOM "FAN" BY "FYPON MOULDED MILLWORK", SIMILAR TO DESIGN 864 GABLE DECORATION, PROVIDE MAN. WITH ALL NECESSARY DIMENSIONS FOR CUSTIOM SIZE
X5	WIND./DOOR STOREFRONT "KAWNEER" TRIFAB II	VALSPAR IND. COATING #391A226, COLONIAL WHITE	#451-T SERIES FLUROPON FINISH Tel. 1-800-366-3698
X6	1" INSULATED FLOAT GLASS	OPAQUE WHITE SPANDEL	STOREFRONT WINDOWS
X6A	1" INSULATED FLOAT GLASS	CLEAR	STOREFRONT WINDOWS
X7	1/4" LAM SAFETY GLASS	CLEAR	DOORS & SIDELIGHTS
X8	PREFINISHED METAL COPING CAP	COLOR TO MATCH ADJACENT VENEER MASONRY	---
X9	FIBERGLASS ASPHALT ARCHITECTURAL ROOF SHINGLE.	PEWTER BLEND C.C. TO SUBMIT SAMPLES	GAF TIMBERLINE 30 YEAR - ARCHITECTURAL SHINGLE OR APPROVED EQUAL
X10	EXTERIOR PAINTED SURFACE BENJAMIN MOORE	ATRIUM WHITE #319-79	PROVIDE PAINT SAMPLE TO ARCHITECT; COLOR TO MATCH FACTORY FINISHED WINDOW FRAME ALL EXTERIOR SURFACES NOT FACTORY PRIMED & PAINTED TO RECIVE X10
X14	EXTERIOR PIPE BOLLARDS BENJAMIN MOORE	SAFETY YELLOW 4208-9400	DEVFLEX WB ACRYLIC, 4208- SERIES, HIGH PERFORMANCE
X15	STAINLESS STEEL SNOW GUARDS	ZALESKI SHOW GUARDS, MODEL #8 (STAINLESS STEEL)	PROVIDE TWO ROWS (STAGGERED), @ 36" O/C



1 A4.1.2 EXTERIOR ELEVATION
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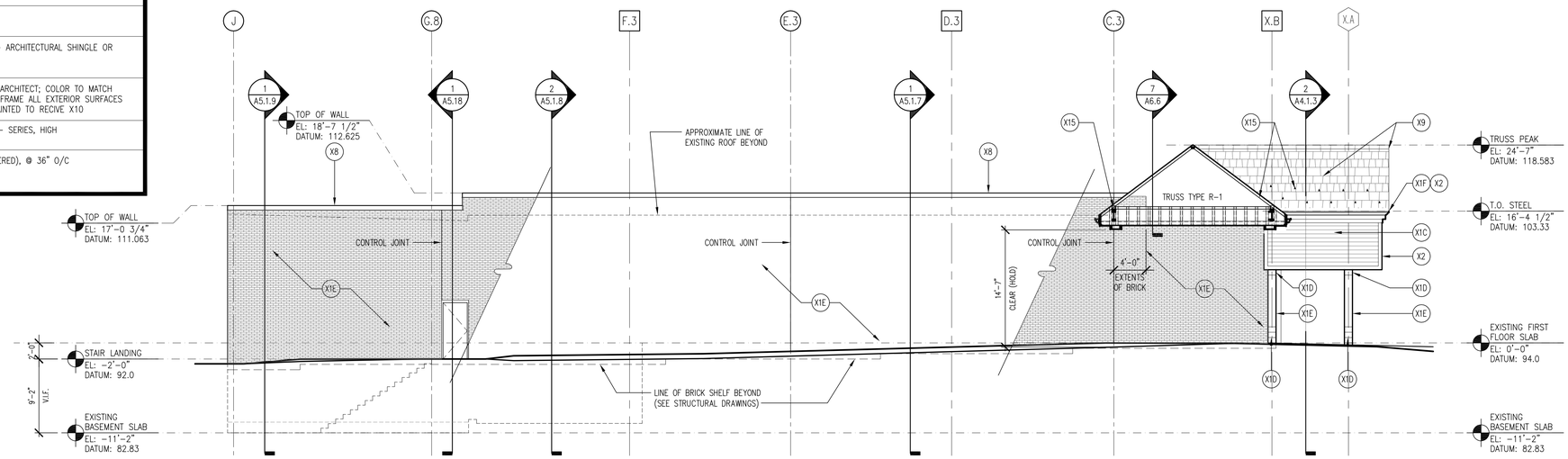

2 A4.1.2 EXTERIOR ELEVATION
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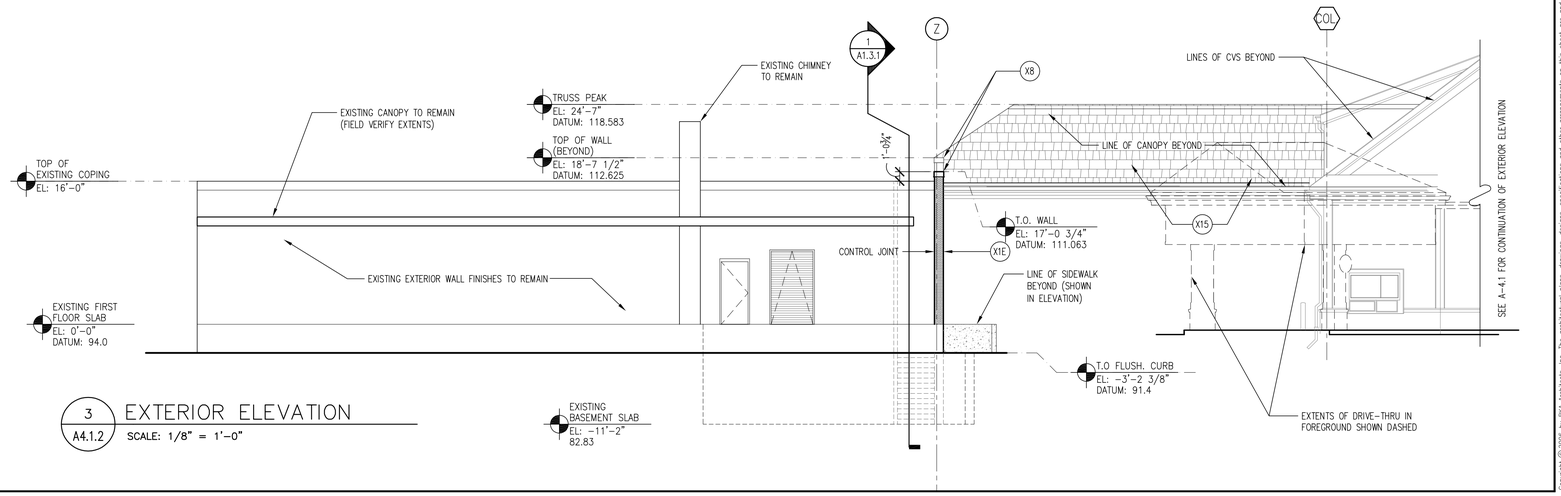

3 A4.1.2 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

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DATE: XX/XX/XX
JOB NUMBER: 209017

TITLE:
EXTERIOR ELEVATIONS & NOTES

SHEET NUMBER:
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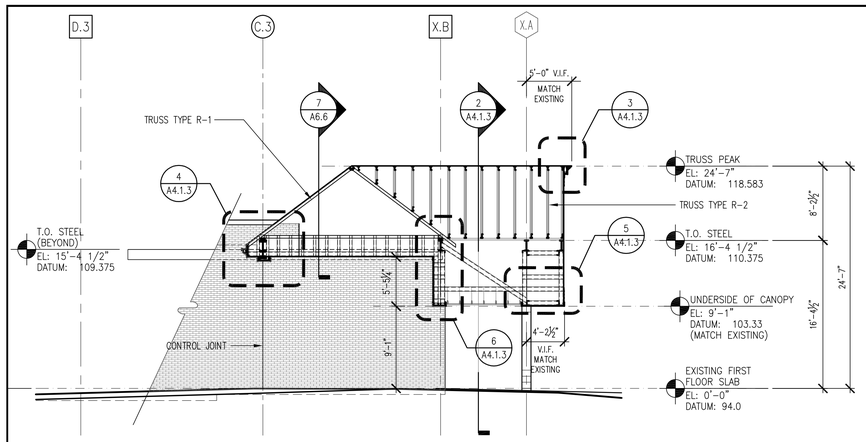

1 A-4.1.3 CANOPY SECTION
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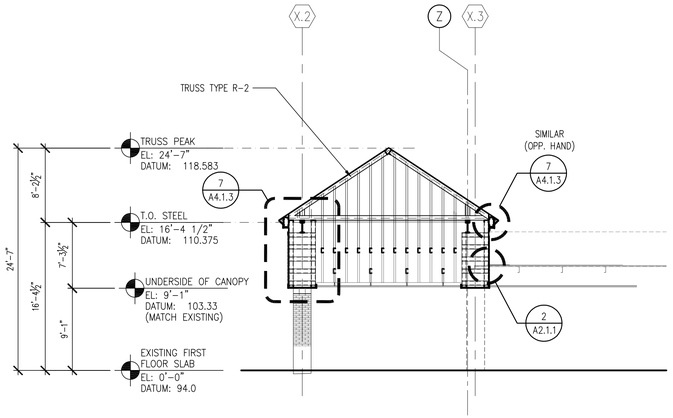
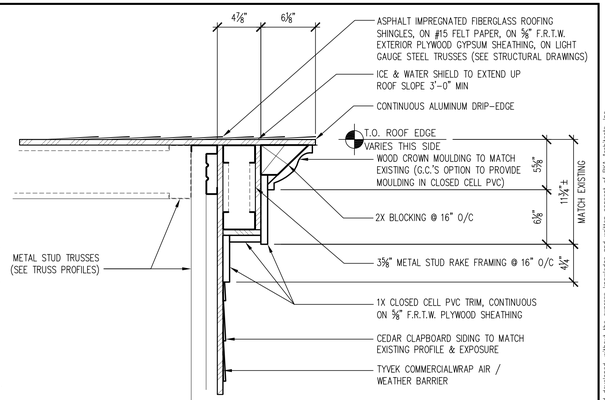
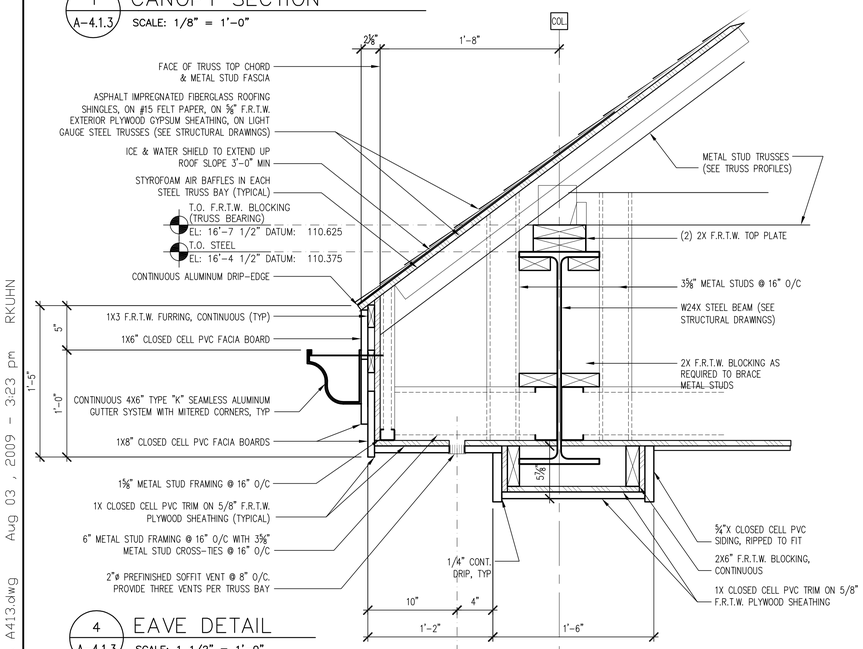


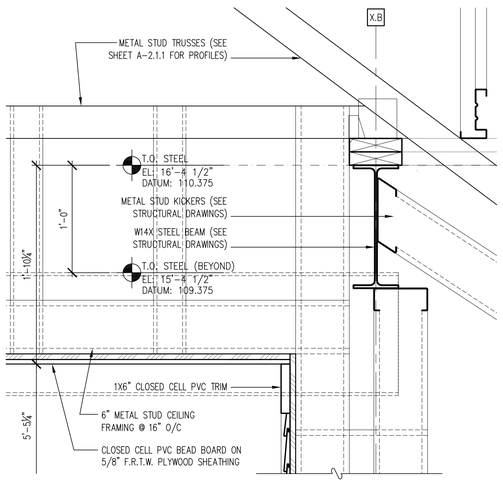
2 A-4.1.3 CANOPY SECTION
SCALE: 1/8" = 1'-0"

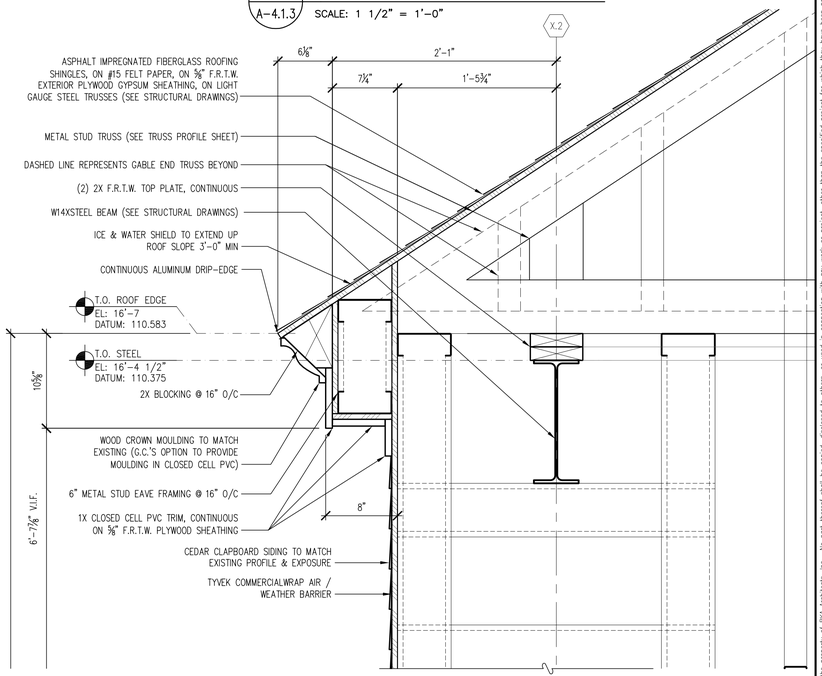


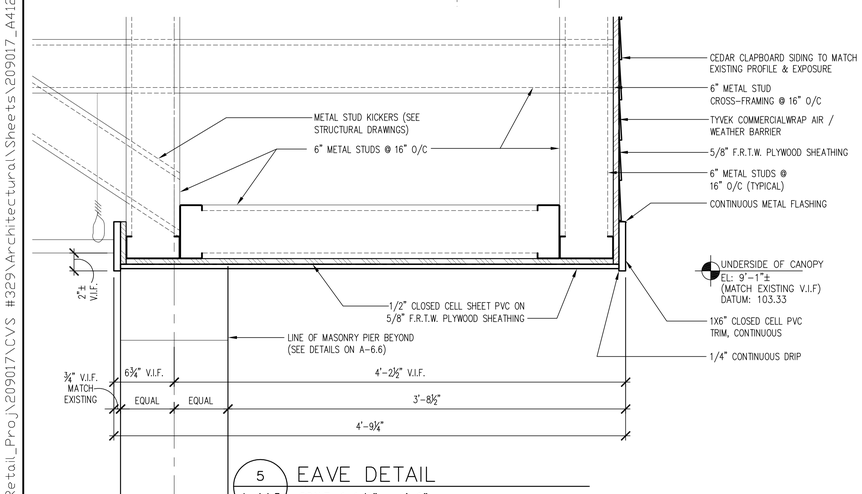
3 A-4.1.3 RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



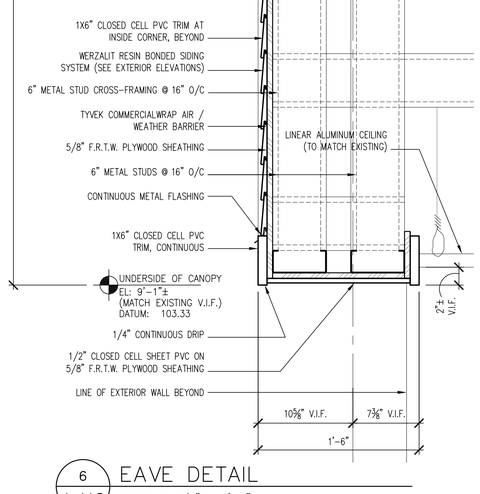
4 A-4.1.3 EAVE DETAIL
SCALE: 1 1/2" = 1'-0"

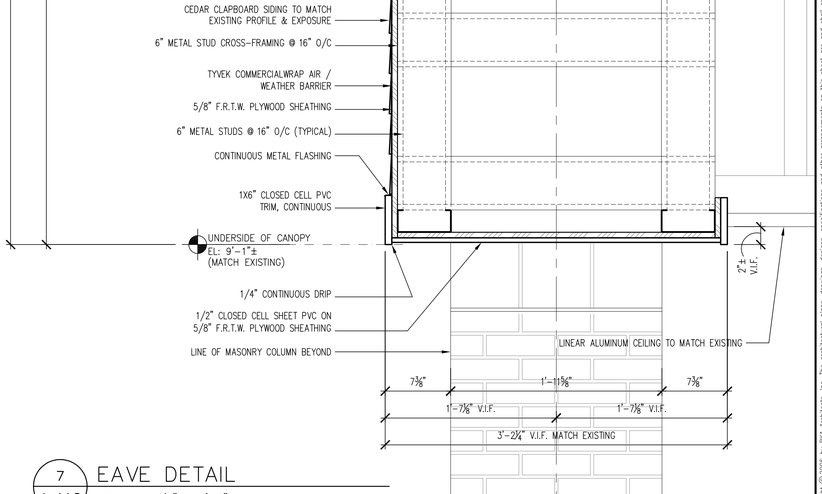






5 A-4.1.3 EAVE DETAIL
SCALE: 1 1/2" = 1'-0"





7 A-4.1.3 EAVE DETAIL
SCALE: 1 1/2" = 1'-0"

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JOB NUMBER: 209017

TITLE:
EXTERIOR TRIM DETAILS

SHEET NUMBER:
A-4.1.3

COMMENTS:
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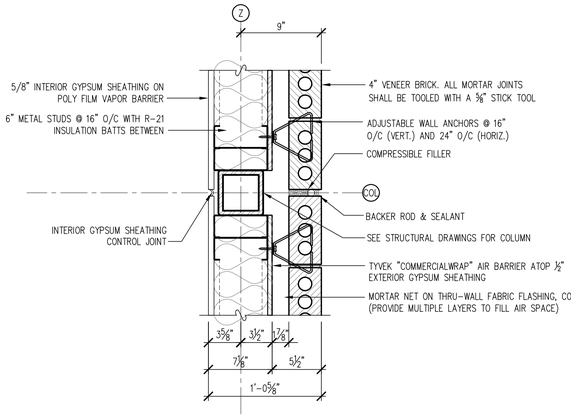
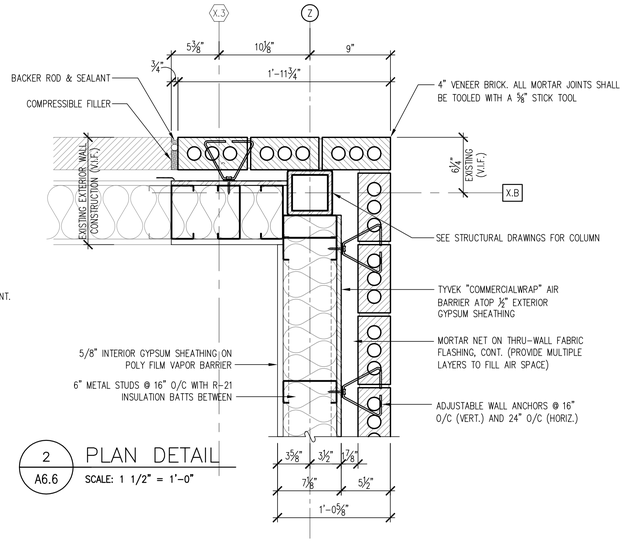
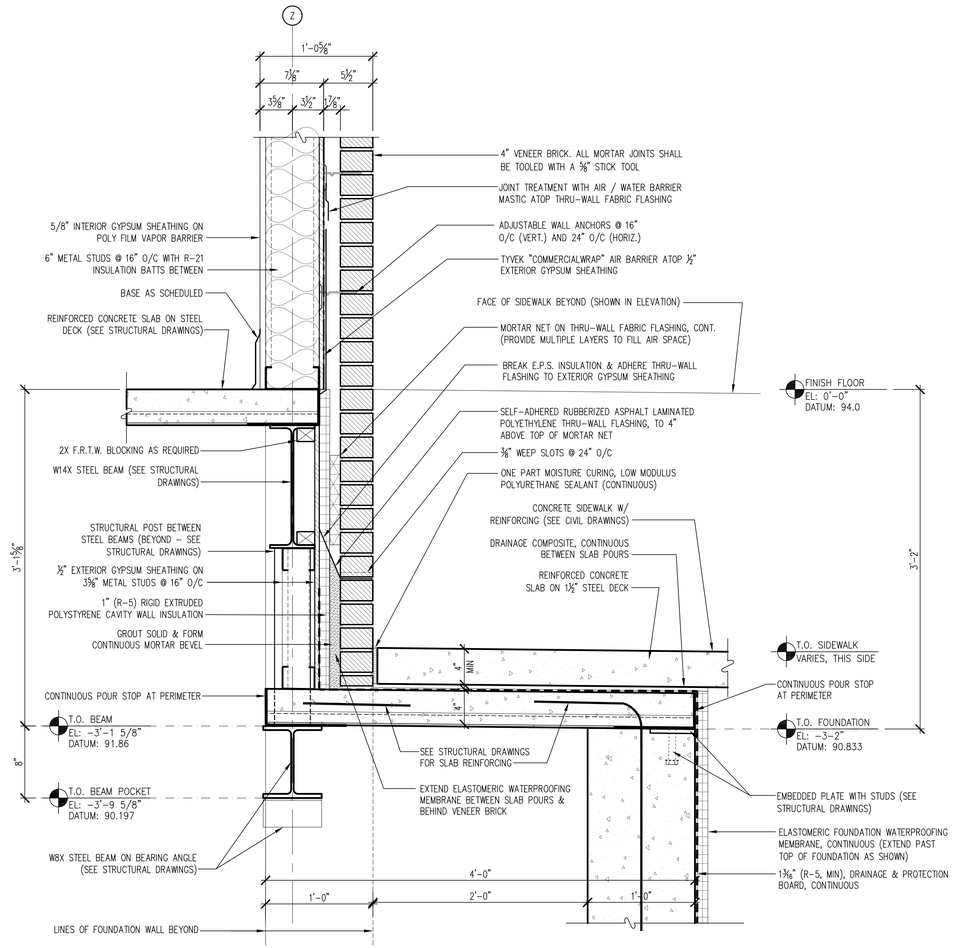


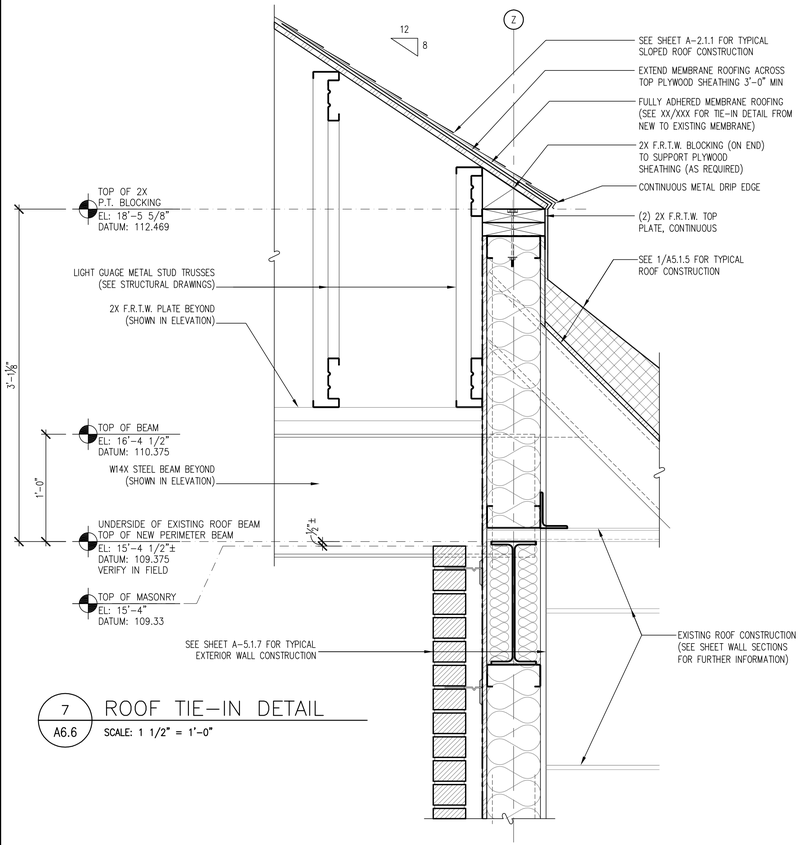
3 A6.6 CONTROL JOINT DETAIL
SCALE: 1 1/2" = 1'-0"



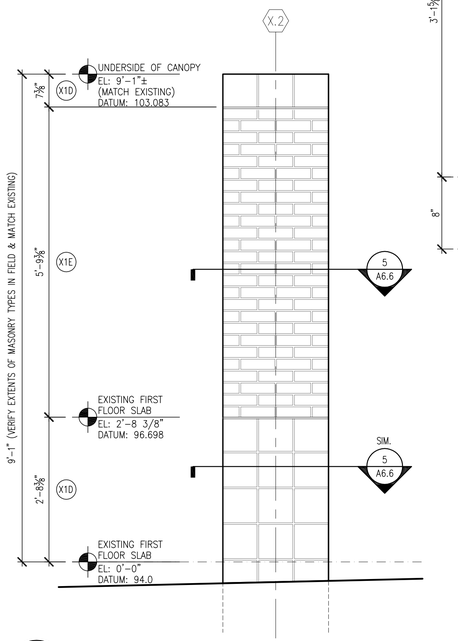
2 A6.6 PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



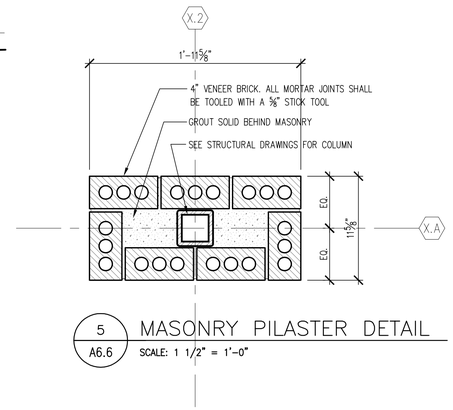
1 A6.6 DOUBLE-POUR DETAIL
SCALE: 1 1/2" = 1'-0"



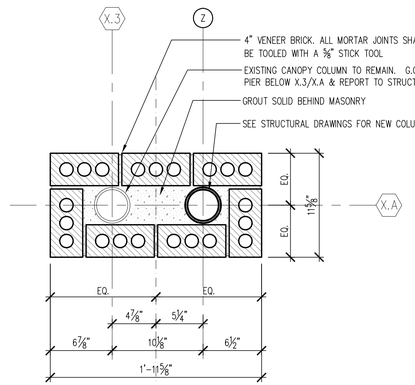
7 A6.6 ROOF TIE-IN DETAIL
SCALE: 1 1/2" = 1'-0"



4 A6.6 MASONRY PILASTER ELEVATION
SCALE: 3/4" = 1'-0"



5 A6.6 MASONRY PILASTER DETAIL
SCALE: 1 1/2" = 1'-0"



6 A6.6 MASONRY PILASTER DETAIL
SCALE: 1 1/2" = 1'-0"

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JOB NUMBER: 209017

TITLE:
ENLARGED SECTIONS & DETAILS

SHEET NUMBER:
A-6.6

COMMENTS:
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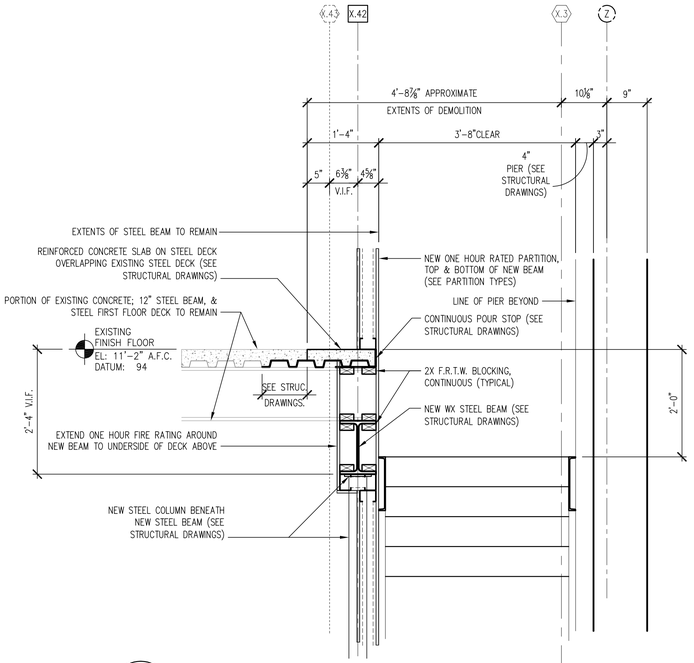
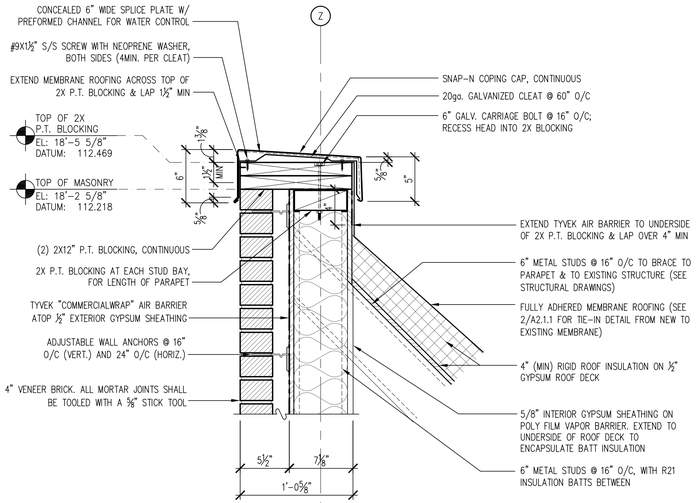
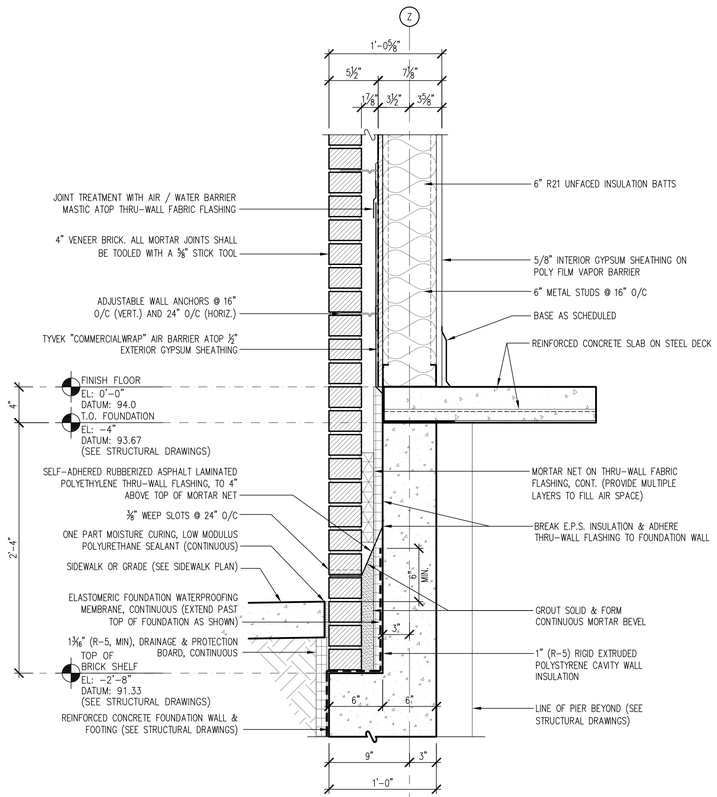


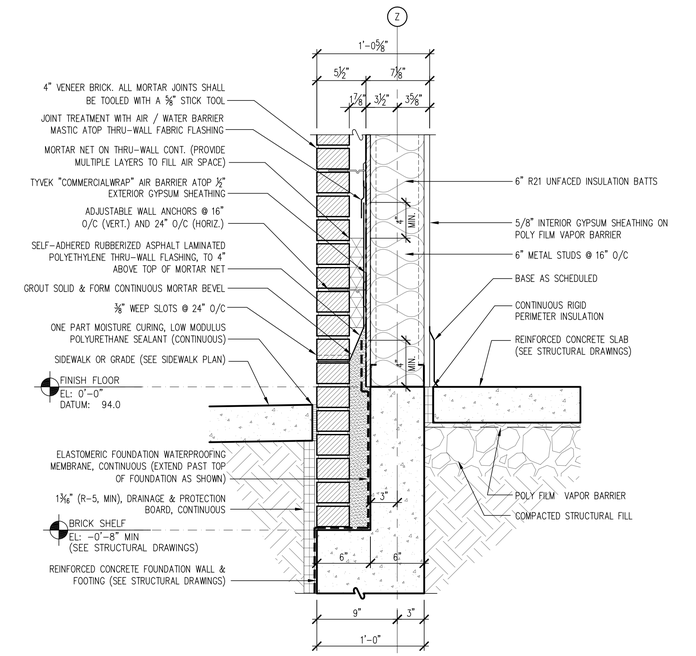
5 / A-5.1.7 FLOOR RE-SUPPORT DETAIL
SCALE: 3/4" = 1'-0"



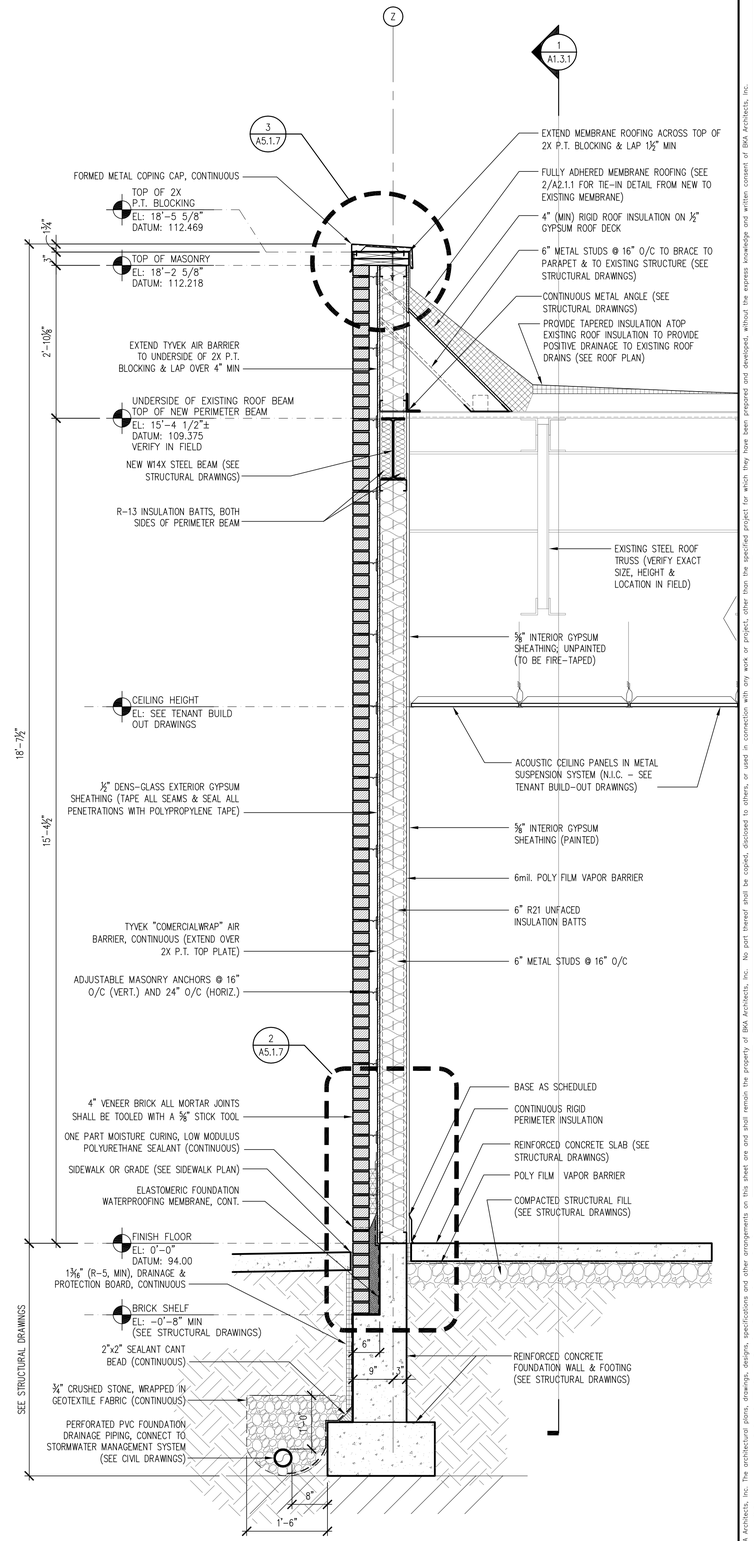
3 / A-5.1.7 TYPICAL TOP OF WALL DETAIL
SCALE: 1 1/2" = 1'-0"



4 / A-5.1.7 TYPICAL BOTTOM OF WALL DETAIL
SCALE: 1 1/2" = 1'-0"



2 / A-5.1.7 TYPICAL BOTTOM OF WALL DETAIL
SCALE: 1 1/2" = 1'-0"



1 / A-5.1.7 WALL SECTION
SCALE: 3/4" = 1'-0"

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WALL SECTIONS

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1 / A-5.1.9 WALL SECTION
SCALE: 3/4" = 1'-0"

TYPICAL DESIGN CRITERIA – PHASE 1 WORK
CVS: PORTLAND, ME #324

STUD FRAMING	
EXTERIOR WALLS	6" (18 GA MIN – SEE STRUCTURAL DRAWINGS)
INTERIOR WALLS	SEE PARTITION SCHEDULE
INSULATION	
FLAT ROOF	2 LAYERS 2" POLYISOCYANURATE FOR R-25 MIN.
TAPERED INSULATION	ISOCYANURATE ROOF INSULATION BOARD BY TREMCO. SCHEDULE AS NECESSARY TO ACHIEVE POSITIVE DRAINAGE TO EXISTING ROOF DRAINS
EXTERIOR WALLS	ONE LAYER 6" R-21 HIGH DENSITY UNFACED BATTS FRICTION FIT
FOUNDATION WALLS	TREMDRAIN DPI DRAINAGE & PROTECTION BOARD BY TREMCO SEALANTS (1⅝" THICK, R-5)
SLAB	SLAB EDGE: 1" RIGID INSULATION (R-5)
CAVITY INSULATION	STYROFOAM "CAVITY-MATE" RIGID EXPANDED POLYSTYRENE INSULATION BY DOW CORNING
EXTERIOR SHEATHING	
½" DENS-GLASS GOLD EXTERIOR GYPSUM SHEATHING	
AIR BARRIER SYSTEM	
"DUPONT" TYVEK COMMERCIAL WRAP LAP JOINTS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS & TAPE WITH TYVEK TAPE. EXTEND PAST TOP OF THRU-WALL FLASHING 4" MIN. & TAPE JOINT WATER-TIGHT	
"HOUSEWRAP" WILL NOT BE ACCEPTED OR ALLOWED.	
FASTENERS	PROVIDE "DUPONT" TYVEK 1"DIA. WRAP CAPS @ 16" O/C HORIZONTALLY & VERTICALLY. USE MANUFACTURER APPROVED STAPLES.
TAPE	"DUPONT" TYVEK TAPE, 3" WIDE.
BRICK VENEER SYSTEM	4" BRICK VENEER W/ BRICK VENEER ANCHORING SYSTEM OVER 2" AIR SPACE ON TYPICAL EXTERIOR WALL CONSTRUCTION.
ANCHORING SYSTEM	ANCHOR SPACING: VERTICAL: 16" O.C. MAX. HORIZONTAL: 24" O.C. MAX. "DUR-O-WALL, INC." D/A 210 GALVANIZED ADJUSTABLE WALL ANCHORS WITH 5" WIDE x 5" DEEP 3/16" DIA. GALVANIZED TRIANGLE TIES. ANCHORS SHALL BE ATTACHED TO WOOD STUDS WITH (2) #10 x 1½" LONG PHILLIPS PAN HEAD SELF-DRILLING, SELF-TAPPING SCREWS W/ NEOPRENE WASHERS. ANCHORS SHALL COVER A MAXIMUM OF 2 S.F. PER TIE. AN ALTERNATE ANCHOR SHOULD BE OF EQUAL OR BETTER STRENGTH AND QUALITY.
MORTAR COLLECTION SYSTEM	2X10 "MORTAR NET" CAVITY WALL DRAINAGE SYSTEM, MANUFACTURED FROM RECYCLED POLYESTER OR HIGH DENSITY POLYETHYLENE.
CELL VENTS	DA1006 CELL VENTS @ 24" O/C (COLOR TO BE CLEAR OR GREY TO MATCH MORTAR). PROVIDE AT BASE & TOP OF MASONRY WALLS ABOVE 25'-0" HIGH. TO EXTEND PAST C.M.U. BACKUP (IF ANY) TO FACE OF DRAINAGE PLANE
THRU-WALL FLASHING	EXOAIR TWF ("THRU-WALL FLASHING"), 40mil THICK RUBBERIZED ASPHALT LAMINATE POLYETHYLENE FILM WITH A SILICONIZED RELEASE LINER. PROVIDE EXOAIR 10 PRIMER AS RECOMMENDED BY MANUFACTURER **WEEP TUBES WITH COTTON WICKS WILL NOT ACCEPTED BE ALLOWED**
SLAB DRAINAGE	TREMDRAIN 1000 DRAINAGE COMPOSITE & PROTECTION BOARD BY TREMCO SEALANTS ATOP ELASTOMERIC WATERPROOFING MEMBRANE
FOUNDATION WATERPROOFING	TREMPROOF 250GC SINGLE COMPONENT, RAPID CURING, FLUID-APPLIED ELASTOMERIC WATERPROOFING MEMBRANE
SEALANT	AT EXTERIOR WALL & SIDEWALK INTERSECTION, PROVIDE VULKEM 45 SSL ONE PART, SEMI-SELF LEVELING POLYURETHANE SEALANT
INTERIOR GYPSUM SHEATHING	5/8" GYPSUM BOARD AS FOLLOWS: ALL GYPSUM BOARD BELOW FINISHED CEILING TO BE TAPED & PAINTED (I.E.: ALL EXPOSED GYPSUM BOARD) ALL GYPSUM BOARD ABOVE FINISHED CEILING TO BE FIRE TAPED (I.E.: ALL UNEXPOSED OR CONCEALED GYPSUM BOARD)
FIRE RESISTANT TREATED WOOD	ALL WOOD (OTHER THAN 2x1 ROOF EDGE BLOCKING) INSIDE A SPACE OF NON-COMBUSTIBLE CONSTRUCTION SHALL BE F.R.T.W. INCLUDING BUT NOT LIMITED TO CATWALKS, SIGN BACKING; WOOD SHIMS, BLOCKING, ETC.

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TITLE: WALL SECTION & DESIGN CRITERIA CHART

JOB NUMBER: 209017
DATE: XX/XX/XX
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SHEET NUMBER: A-5.1.9

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