Ger	neral Conditions	General Conditions (Continued)	General Conditions (Continued)
	TELAL CONTINUOUS	SECTION 01420 - REFERENCES	SECTION 01574 - CONSTRUCTION INDOOR AIR QUALITY MANAGMENT PLAN
	 SUMMARY A. This Section includes general requirements and procedures for compliance with certain U.S. Green Building Council's (USGBC) LEED prerequisites and credits needed for the Project to obtain LEED [Certified] [Silver] [Gold] [Platinum] certification based on [LEED for Retail-NC, Pilot] [LEED for Retail-CI, Pilot]. 1. Other LEED prerequisites and credits needed to obtain LEED certification are dependent on material selections and may not be specifically identified as LEED requirements. Compliance with requirements needed to obtain LEED prerequisites and credits may be used as one criterion to evaluate substitution requests. 	 PART 1 - GENERAL 1.1 INDUSTRY STANDARDS A. Applicability of Standards: Unless the Contract Documents include more stringent requirements, applicable construction industry standards have the same force and effect as if bound or copied directly into the Contract Documents to the extent referenced. Such standards are made a part of the Contract Documents by reference. B. Publication Dates: Comply with standards in effect as of date of the Contract Documents unless otherwise indicated. 	 1.1 SUMMARY A. Section Includes:
1.2	 requirements. Compliance with requirements needed to obtain LEED prerequisites and credits may be used as one criterion to evaluate substitution requests. Additional LEED prerequisites and credits needed to obtain the indicated LEED certification are dependent on the Architect's design and other aspects of the Project that are not part of the Work of the Contract. DEFINITIONS Certificates of Chain-of-Custody: Certificates signed by manufacturers certifying that wood used to make products was obtained from forests certified by an FSC-accredited certification body to comply with FSC 1.2, "Principles and Criteria." Certificates shall include evidence that mill is certified for chain-of-custody by an FSC-accredited certification body. LEED: Leadership in Energy & Environmental Design. Rapidly Renewable Materials: Materials made from agricultural products that are typically harvested within a ten-year or shorter cycle. Rapidly renewable materials include products made from bamboo, cotton, flax, jute, straw, sunflower seed hulls, vegetable oils, or wool. Regionally Manufactured Materials: Materials that are manufactured within a radius of 500 miles (800 km) from the Project location. Manufacturing refers to the final assembly of components into the building product that is installed at the Project site. Regionally Extracted, Harvested, or Recovered Materials: Materials that are extracted, harvested, or recovered and manufactured within a radius of 500 miles (800 km) from the Project site. Recycled Content: The percentage by weight of constituents that have been recovered or otherwise diverted from the solid waste stream, either during the manufacturing process (preconsumer), or after consumer use (post-consumer). Spills and scraps from the original manufacturing process that are combined with other constituents after a minimal amount of reprocessing for use in further production of the sam	 otherwise indicated. C. Copies of Standards: Each entity engaged in construction on Project should be familiar with industry standards applicable to its construction activity. Copies of applicable standards are not bound with the Contract Documents. 1. Where copies of standards are needed to perform a required construction activity, obtai copies directly from publication source. 1.2 ABBREVIATIONS AND ACRONYMS A. Industry Organizations: Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the entities in the following list. ACI American Concrete Institute AHA American Hardboard Association AITC American National Standards Institute APA APA - The Engineered Wood Association ASHRAE American Society of Heating, Refrigerating and Air-Conditioning Engineers ASTM ASTM International (American Society for Testing and Materials International) AWI Architectural Woodwork Institute AWPA American Wood Protection Association (Formerly: American Wood Preservers Association) CRI Carpet and Rug Institute (The) CRC Cool Roof Rating Council CSA Canadian Standards Association ISt International Approval Services) CSI Construction Specifications Institute (The) ETL SEMCO Intertek ETL SEMCO (Formerly: INS - Intertek Testing Service NA) FM Global FM Global (Formerly: FMG - FM Global) FSC Forest Stewardship Council HPVA Hardwood Plywood & Veneer Association ITS Intertek Testing Service NA (Now ETL SEMCO) MFMA Maple Flooring Manufacturers Association, Inc. MPI Master Painters Institute 	 equipment, products and services. Goals include: Protect workers on the site from undue health risks during construction. Prevent residual problems with indoor air quality in the completed building. 1.3 REFERENCES: A. SMACNA IAQ Guidelines for Occupied Buildings Under Construction, 1995. 1.4 CONSTRUCTION IAQ MANAGEMENT PLAN A. HVAC Protection: Contractor to avoid using permanent HVAC equipment. When not used, system is to be sealed. All penetrations, duct openings will be sealed immediately at the time of installation. When use of permanent HVAC equipment is unavoidable, all supply and return grills and openings are to have temporary filters of Merv 8 installed. HVAC equipment is not to be used during demolition and sanding activities. B. Provide temporary exhaust fans to maintain space air pressure negative to the outside. C. Use vacuum-assisted power tools whenever feasible (i.e. drywall sanders and concrete saws). Clean site daily with dust suppression techniques (wet mop, HEPA vacuum). Remove spills and excess applications immediately. Use low VOC, non-toxic cleansers only. D. Delivery of all materials, fixtures, equipment, and furniture will be directed to vacant available indoor space. All cartons and removed materials, etc. are to be kept clean and dry at all times. Any excessive indoor moisture to be addressed immediately by GC. E. Temporary construction entry mats will be provided and maintained to retain effectiveness to remove debris during construction. F. All volatile liquids and solvents to be kept tightly sealed when not in use and stored outside of tenant space. G. Avoid the use of gas powered tools and equipment. When gas engines are unavoidable, do not allow engine to idle inside indoor space. H. GC to include IAQ inspections within the weekly job reports, including photos and a tracking sheet. I. Begin "Before Occupancy" flush-out immed
	 Interfact. Costs exclude tabor, ovenlead, and profit. Include breakdul of costs for the following categories of items: Divisions 2-10. Divisions 1, 13, and 14. Division 12. Plumbing. Wood-based construction materials. EED Action Plans: Provide preliminary submittals within [seven] [14] <insert number=""> days of date established for [the Notice to Proceed] [the Notice of Award] indicating how the following requirements will be met.</insert> Credit MR 2, Construction Waste Management: Waste management plan complying with Division 1 Section "Construction Waste Management." Credit MR 3, Resource Reuse: List of proposed salvaged and refurbished materials. Identify each material that will be salvaged or refurbished, its source, and cost. Credit MR 4, Recycled Content: List of proposed materials with recycled content. Indicate cost, post-consumer recycled content, and pre-consumer recycled content for each product having recycled content. Credit MR 5.1[and 5.2], Regional Materials: List of proposed regionally manufactured materials. Identify each regionally extracted, harvested, or recovered materials]. Identify each regionally antifactured material, its source, and cost. Identify each regionally extracted, harvested or recovered materials]. Credit MR 7.0, Certified Wood: List of proposed certified wood products. Include statement indicating total cost for wood-based materials used for Project, including non-rented temporary construction. Credit RR 7.0, Costruction IAQ Management Plan, During Construction: Proposed revisions to the Construction IAQ Plan Template complying with SMACNA IAQ Guideling for Occupied Buildings Under Construction, 1995. LEED Action Plans for the following: 	 NIFPA NFPA (National Fire Protection Association) NOFMA NOFMA: The Wood Flooring Manufacturers Association (Formerly: National C Flooring Manufacturers Association) OPL Intertak SDI Steel Door Institute SMACNA Sheet Metal and Air Conditioning Contractors' National Association UL Underwriters Laboratories Inc. USGBC U.S. Green Building Council WCLIB West Coast Lumber Inspection Bureau WI Woodwork Institute (Formerly: WIC - Woodwork Institute of California) B. Code Agencies: Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the entities in the following list. DIN Deutsches Institut fur Normung e.V. ICC International Code Council ICC-ES ICC Evaluation Service, Inc. C. Federal Government Agencies: Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the entities in the following list. EPA Environmental Protection Agency D. Standards and Regulations: Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the standards and regulation in the following list. ADAAG Americans with Disabilities Act (ADA) Architectural Barriers Act (ABA) Accessibility Guidelines for Buildings and Facilities Available from U.S. Access Board CFR Code of Federal Regulations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the entities in the following list. EDAG Federal Regulations: Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the standards and regulation in the following list. ADAAG Americans with Disabilities Act (ADA) Acces	each day three fours prior to store occupancy and continue through days occupancy. Continue flush-out until a total of 14,000 cu. ft./sq. ft. of floor area has been achieved. At the end of flush-out provide new filters. END OF SECTION 01574 SECTION 02220 - SELECTIVE STRUCTURE DEMOLITION 1.1 SUMMARY A. Demolition and removal of [portions of a building or structure] [selected site elements]. B. Historic items removed and salvaged for Owner. r 1.2 SUBMITTALS A. Qualification Data: For demolition firm, refrigerant recovery technician. B. Schedule of Selective Demolition Activities: Indicate the following: 1. Detailed sequence of selective demolition and removal work, with starting and ending dates for each activity. Ensure Owner's building manager's and other tenants' on-site operations are uninterrupted. 2. Interruption of utility services. Indicate how long utility services will be interrupted. 3. Coordination for Shutoff, capping, and continuation of utility services. 4. Use of elevator and stairs. 5. Locations of proposed dust- and noise-control temporary partitions and means of egress, including for other tenants affected by selective demolition of existing building and of Owner's partial occupancy of completed Work. 7. Means of protection for items to remain and items in path of waste removal from building. 1.3 PROJECT CONDITIONS A. Owner will[not] occupy portions of building immediately adjacent to selective demolition area. B. Hazardous Materiais: Unknown whether hazardous materials will be encountered. If encountered, Owner will remove hazardous materials under a separate contract.
	 Credit MR 2.1[and Credit MR 2.2]: Waste reduction progress reports complying with Division 1 Section "Construction Waste Management." Credit MR 3: Salvaged and refurbished materials. Credit MR 3.1[and Credit MR 3.2]: Salvaged and refurbished materials. Credit MR 4.1[and Credit MR 4.2]: Recycled content. Credit MR 5.1[and Credit MR 5.2]: Regional materials. Credit MR 5.1[and Credit MR 5.2]: Regional materials. Credit MR 5.1[and Credit MR 5.2]: Regional materials. Credit MR 5.1[and Credit MR 5.2]: Regionally manufactured materials[and regionally extracted and manufactured materials]. Credit [MR 6] [MR 7]: Certified wood products. LEED Documentation Submittals: Credit SS 7.4, Heat Island Effect, Roof: Product Data for roofing materials indicating Solar Reflective Index. Credit WE 1, Water Use Reduction: Data and cutsheets for all waterclosets, urinals and flushometers. Credit MR 2, Construction Waste Management: Comply with Division 1 Section "Construction Waste Management." Credit MR 3, Resource Reuse: Receipts for salvaged and refurbished materials used for Project, indicating sources and costs for salvaged and refurbished materials. Credit MR 4, Recycled Content: Product Data and certification letter indicating percentages by weight of post-consumer and pre-consumer recycled content for constructor products having recycled content. Include statement 	 SECTION 01524 - CONSTRUCTION WASTE MANAGEMENT 1.1 SUMMARY A. Salvaging nonhazardous demolition and construction waste. B. Recycling nonhazardous demolition and construction waste. C. Disposing of nonhazardous demolition and construction waste. 1.2 DEFINITIONS A. Construction Waste: Building and site improvement materials and other solid waste resulting from construction, remodeling, renovation, or repair operations. Construction waste includes packaging. B. Demolition Waste: Building and site improvement materials resulting from demolition or selective demolition operations. C. Disposal: Removal off-site of demolition and construction waste and subsequent sale, recycling, reuse, or deposit in landfill or incinerator acceptable to authorities having jurisdiction. D. Recycle: Recovery of demolition or construction waste for subsequent processing in preparation for reuse. E. Salvage: Recovery of demolition or construction waste and subsequent sale or reuse in another facility. 	 A. Existing Warranties: <insert affected="" by="" demolition.="" existing="" list="" of="" selective="" warranties=""></insert> 1.5 EXECUTION A. Utility Services and Mechanical/Electrical Systems: Maintained to occupied facilities. 1. Shut Off: By [Owner] [Building manager] [Contractor]. B. Site Access and Temporary Controls: Minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities C. Temporary Facilities: 1. Temporary barricades to prevent injury to people. 2. Temporary weather protection. 3. Protection of furnishings and equipment. D. Temporary shoring. E. Removed and Salvaged Items: Cleaned, crated, stored, and transported to Owner's [on] [off]-site storage area. F. Removed and Reinstalled Items: Cleaned, repaired, crated, stored, and reinstalled. G. Existing Items to Remain: Existing construction protected against damage. H. Disposal of Demolished Items: 1. Burning: Not permitted. 2. Disposal: Comply with requirements in General Conditions of the Contract.
	 Contractor products having recycled content. Include statement indicating costs for each product having recycled content. 6. Credit MR 5.1 and Credit MR 5.2], Regional Materials: Product data indicating location of material manufacture for regionally manufactured materials. Include statement indicating cost for each regionally manufactured material. a. Include statement indicating distance from manufacture to Project for each regionally extracted and manufactured material. b. Include statement indicating location of and distance from Project to point of extraction, harvest, or recovery for each raw material used in regionally extracted and manufactured materials. 7. Credit MR 7.0, Certified Wood: Product Data and certificates of chain-of-custody for products containing certified wood. a. Include statement indicating total cost for wood-based materials used for Project, including non-rented temporary construction. 8. Credit EQ 3.1, Construction IAQ Management Plan, During Construction: a. Product Data for filtration media b. Product Data of the system and on-site stored or installed absorptive materials. 9. Credit EQ 3.2, Construction IAQ Management Plan, Buring occupancy. c. Construction Documentation: Six photographs at three different occasions during construction along with a brief description of the SMACNA approach employed, documenting implementation of the IAQ management measures, such as protection of ducts and on-site stored or installed absorptive materials. 9. Credit EQ 3.4, Construction IAQ Management Plan, Before Occupancy: a. Signed statement describing the building air flush-out procedures including the dates when flush-out was begun and completed and statement measures, such as protection of ducts and on-site stored or installed absorptive materials. 9. Credit EQ 3.4, Construction IAQ Management Plan, Before Occupancy: a. Signed statement d	 F. Salvage and Reuse: Recovery of demolition or construction waste and subsequent incorporation into the Work. 1.3 PERFORMANCE REQUIREMENTS A. End-of-Project Rates for Salvage/Recycling: [50] [75] percent. 1.4 WASTE MANAGEMENT PLAN A. Types of quantities of demolition and construction waste. B. Type of waste and whether it will be salvaged, recycled, or disposed of in landfill or incinerator. C. Net additional cost or net savings resulting from waste management plan. 1.5 LEED SUBMITTAL A. Waste Reduction Progress Reports: Concurrent with each Application for Payment, submit completed reporting template. B. Indicate receipt and acceptance of waste material by accepting and processing facilities licensed to accept them. Include manifests, type of material, weight tickets, receipts, and invoices. 1.6 RECYCLING WASTE A. Recycling Incentives: Revenues and other incentives for recycling will accrue to Owner. END OF SECTION 01524 	 SECTION 02225 - CUTTING AND PATCHING 1. SUMMARY A. Cutting and patching required by the following: Installation of other materials. Finishing. Alterations. Tests and inspections. 2. OUALITY ASSURANCE A. Limitations on Cutting and Patching: Structural Elements: <insert approval.="" architect's="" elements="" list="" of="" requires="" that=""></insert> 2. Operational Elements: <insert approval.="" architect's="" elements="" list="" of="" requires="" that=""></insert> 3. Miscellaneous Elements: <insert approval.="" architect's="" elements="" list="" of="" requires="" that=""></insert> 3. Miscellaneous Elements: <insert approval.="" architect's="" elements="" list="" of="" requires="" that=""></insert> 4. Visual Requirements: <insert approval.="" architect's="" elements="" list="" of="" requires="" that=""></insert> 4. Visual Requirements: <insert approval.="" architect's="" elements="" list="" of="" requires="" that=""></insert> 4. Visual Requirements: <insert aesthetic="" affects="" exposed="" list="" of="" qualities.="" that="" work=""></insert> 13 WARRANTY A. Existing Warranties: <insert affected="" and="" by="" cutting="" list="" of="" patching.="" warranties=""></insert> 14 MATERIALS A. In-Place Materials: <insert be="" list="" matched.="" materials="" must="" of="" that="" unusual=""></insert> 15 EXECUTION A. Temporary support of Work being cut. B. Existing Utility Services and Mechanical/Electrical Systems: Services/systems bypassed before cutting to [minimize] [prevent] interruption to occupied areas. C. Cutting: Using hand or small power tools. D. Patching: With seams that are as invisible as possible. END OF SECTION 02225
ENC	 Credit EQ 4B, Low-Emitting Materials, Paints and Coatings: Product data for paints and coatings used inside the weatherproofing system indicating[chemical composition and] VOC content of each product used. Indicate VOC content in g/L calculated according to 40 CFR 59, Subpart D. Credit EQ 4D, Low-Emitting Materials, Composite Wood: Product data for products containing composite wood or agrifiber products or wood glues indicating that they do not contain urea-formaldehyde resin. Credit EQ 4F, Low-Emitting Materials, Ceiling and Wall Systems: Product data for all gypsum board, insulation, acoustical ceiling systems and wall coverings installed in the building interior showing low-emitting certification. 		

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