

SYMBOL LEGEND

	NORTH ARROW		PAINT TAG
	EXTERIOR ELEVATION		DESIGN ID TAG
	INTERIOR ELEVATION		DOOR TAG
	SECTION CALLOUT		WINDOW TAG
	DETAIL CALLOUT		ABOVE FINISHED FLOOR HEIGHT TAG (IMPERIAL)
	REVISION TAG		ABOVE FINISHED FLOOR HEIGHT TAG (METRIC)
	DATUM POINT		DIMENSION LINE FROM FINISH FACE TO FINISH FACE
			REVISION CLOUD

GENERAL NOTES

- GENERAL CONTRACTOR SHALL VISIT THE SITE, REVIEW THE BUILDING SHELL DRAWINGS AS SUBMITTED BY THE LANDLORD OR STARBUCKS SITE SURVEYOR, AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
- GENERAL CONTRACTOR SHALL CONSULT WITH STARBUCKS CONSTRUCTION MANAGER TO RESOLVE ANY CHANGES, OMISSIONS, OR PLAN DISCREPANCIES PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE, AND FEDERAL CODES AND ORDINANCES.
- GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES, AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS, OR OTHER SURFACES IDENTIFIED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.
- GENERAL CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS SET SHALL BE A PART OF THE GENERAL CONTRACTOR'S "STORE CLOSE-OUT PACKAGE" AS DESCRIBED IN THE CONSTRUCTION MANAGEMENT AGREEMENT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS FROM STARBUCKS CONTRACTED THIRD PARTY LOGISTICS DISTRIBUTION SERVICES AND VENDOR DIRECT SHIPMENTS. REFER TO CONSTRUCTION MANAGEMENT AGREEMENT FOR METHODS AND LEAD TIMES.
- RESPONSIBILITY FOR SUPPLY AND DELIVERY OF MATERIALS AND EQUIPMENT IS IDENTIFIED IN THE DRAWING SCHEDULE SHEETS UNDER THE COLUMN LABELED "RESPONSIBILITY".
- FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL", SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATION INSTALLATION, UNLESS OTHERWISE NOTED.
- ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE STARBUCKS DESIGN MANAGER.
- REFER TO ITEM CUTSHEETS FOR ADDITIONAL INFORMATION.

SITE & OCCUPANCY

Project Description: Renovation: Core
Tax Map: Block: 1412 Lot: 53
Zoning: B1
Construction Classification:
Occupancy Classification: Business Group B
Maximum Travel Distance (Sprinklers): 300'-0"
Occupancy Load: Unconcentrated Seating: 408 S.F. / 15 = 54
 Retail Area: 148 S.F. / 30 = 5
 Workroom: 458 S.F. / 300 = 2
Total Occupancy = 35
Seating: Actual # interior seats = 20
 Actual # exterior seats = 4

Occupant Load
 Tenant Space = 35 Occupants
 Egress Width Occupancy 'B' = 0.2' Per occupant (Table 1005.1)
Egress Units Required (Based on Net Area)
 Tenant Space Egress Width = 35 Occupants x 0.2' = 7"
 35 Occupants / 100 = 1 Unit (Total Egress Units Required)
Egress Units Provided (Based on Net Area)
 Tenant space (Front Exit Door at Grade) = 40' Wide / 22' = 1.8 Units (Provided)
 1.8 Units Provided = 1 Unit Required

FLOOR	TYPE	AREA (SQ. FT)	OCCUPANCY LOAD FACTOR	OCCUPANCY LOAD
1	UNCONCENTRATED SEATING	408 SF	15	28
1	RETAIL AREA	148 SF	30	5
1	WORKROOM	458 SF	300	2
				35

PROJECT CONTACTS

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ABBREVIATION LIST

3PL THIRD PARTY LOGISTICS	HC HOLLOW CORE	TEMP TEMPORARY
A/C AIR CONDITIONING	HDW HARDWARE	TYP TYPICAL
A/C ACUSTICAL CEILING TILE	HM HOLLOW METAL	UON UNLESS OTHERWISE NOTED
ADJ ADJUSTABLE	HORIZ HORIZONTAL	VD VENDOR DIRECT
AFF ABOVE FINISHED FLOOR	HR HOUR	VERT VERTICAL
AMP AMPERE	HT HEIGHT	VIF VERIFY IN FIELD
ARCH ARCHITECT	HVAC "HEATING, VENTILATING, AND AIR CONDITIONING"	
BOH BACK OF HOUSE	ID INSIDE DIAMETER	
CAB CABINET	LL LANDLORD	
CL CENTER LINE	MAX MAXIMUM	
CLG CEILING	MEP "MECHANICAL, ELECTRICAL, AND PLUMBING"	
CM CONSTRUCTION MANAGER	MFR MANUFACTURER	
CTR CENTER	MIN MINIMUM	
CX COMMISSIONING	NIC NOT IN CONTRACT	
CXA COMMISSIONING AGENT	NL NIGHT LIGHT	
DEG DEGREE	NTS NOT TO SCALE	
DET DETAIL	OC ON CENTER	
DIA DIAMETER	OD OUTSIDE DIAMETER	
DIM DIMENSION	OF/CI OWNER FURNISHED/CONTRACTOR INSTALLED	
DM DESIGN MANAGER	OF/OI OWNER FURNISHED/OWNER INSTALLED	
DN DOWN	PD PRODUCTION DESIGNER	
EA EACH	PLC PLACE	
EL ELEVATION	PM PROJECT MANAGER	
EQ EQUAL	R RADIUS	
EXIST EXISTING	RCM RENOVATIONS CONSTRUCTION MANAGER	
EXT EXTERIOR	REF REFERENCE	
FF&E "FURNITURE, FIXTURE, AND EQUIPMENT" FURNISHED AND INSTALLED BY OWNER	REQ'D REQUIRED	
FIO FURNISHED AND INSTALLED BY OWNER	REV REVISION	
FLR FLOOR	RND ROUND	
FOH FRONT OF HOUSE	SB STARBUCKS	
FT FOOT/FEET	SC SOLID CORE	
G GROUND	SF SQUARE FEET	
GC GENERAL CONTRACTOR	SHT SHEET	
	SIM SIMILAR	
	SPEC SPECIFICATION	
	SQ SQUARE	

APPLICABLE CODES

BUILDING CODE:	MAINE UNIFORM BUILDING CODE 2009 INTERNATIONAL BUILDING CODE
EXISTING BUILDING CODE:	2009 INTERNATIONAL EXISTING BUILDING CODE
ACCESSIBILITY CODE:	ICC/ANSI A117.1 AND ADDAG
PLUMBING CODE:	2009 IPC WITH STATE OF ME CONSTRUCTION CODE AMMENDMENTS (TABLE 403)
ELECTRIC CODE:	2008 NEC (NFPA 70)
MECHANICAL CODE:	2009 IMC WITH STATE OF ME CONSTRUCTION CODE AMMENDMENTS
FIRE CODE:	2009 IFC
ENERGY CODE:	2009 INTERNATIONAL ENERGY CONSERVATION CODE
HEALTH CODE:	1999 FEDERAL FOOD CODE AND STATE SANITARY CODE CHAPTER 10

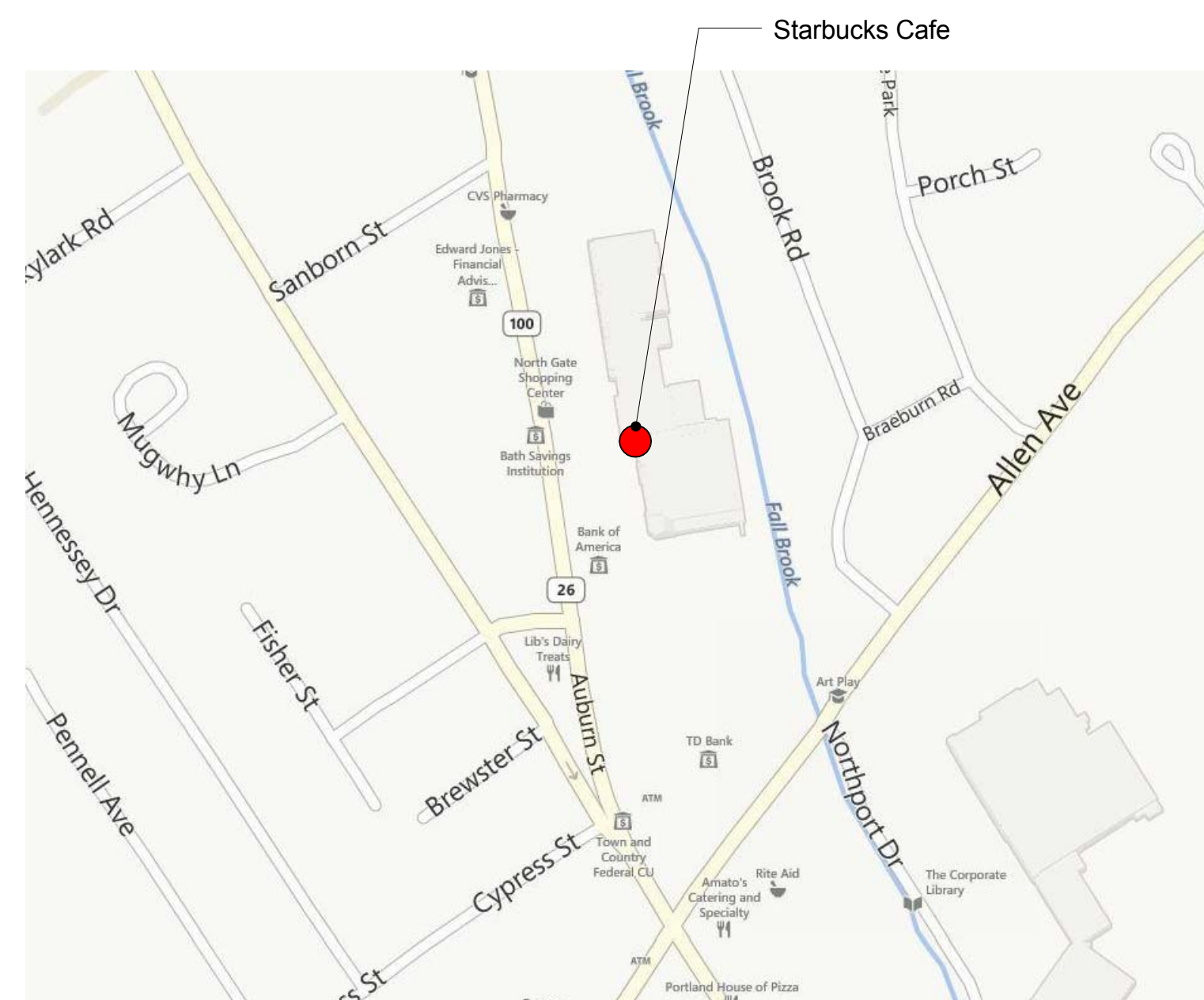
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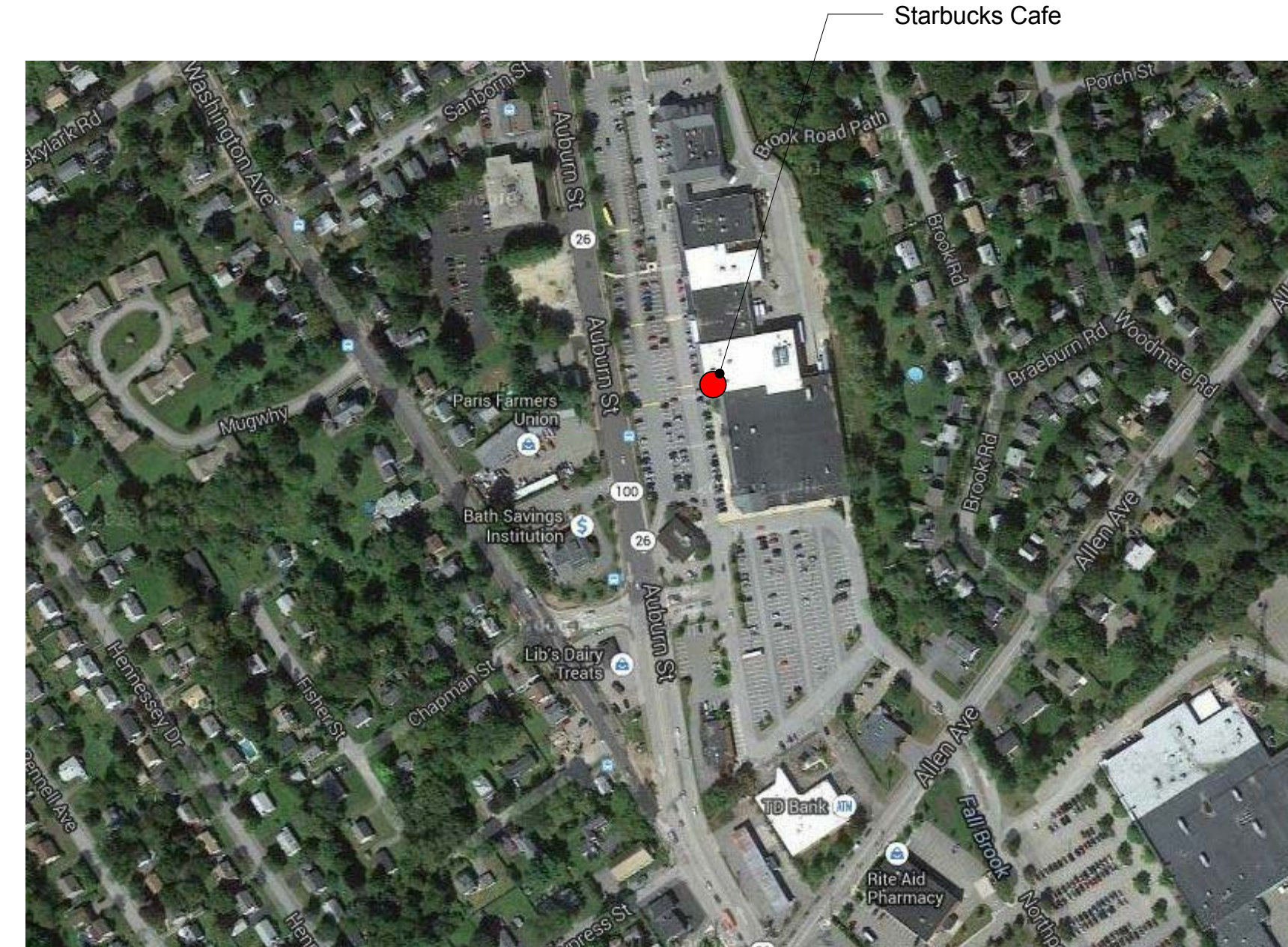
INTERIOR PERSPECTIVE



SITE PLAN



VICINITY PLAN



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 Architect of Record

Rev	Date	By	Description
1	Date 1	Revision 1	

PROJECT NAME: **NORTHGATE PLAZA**
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STORE #: 2830
 PROJECT #: 22764-021
 CONCEPT:
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 ISSUE DATE: 12/19/2013
 DESIGN MANAGER: Eta Kliger
 LEED® AP:
 PRODUCTION DESIGNER: AH
 CHECKED BY: Allison Stadnyck

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SCALE: As indicated

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