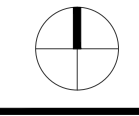


CVS/pharmacy®

111 URBAN STREET, PORTLAND, ME
CVS STORE NO. 0329

DRAWING INDEX

LOCATION MAP

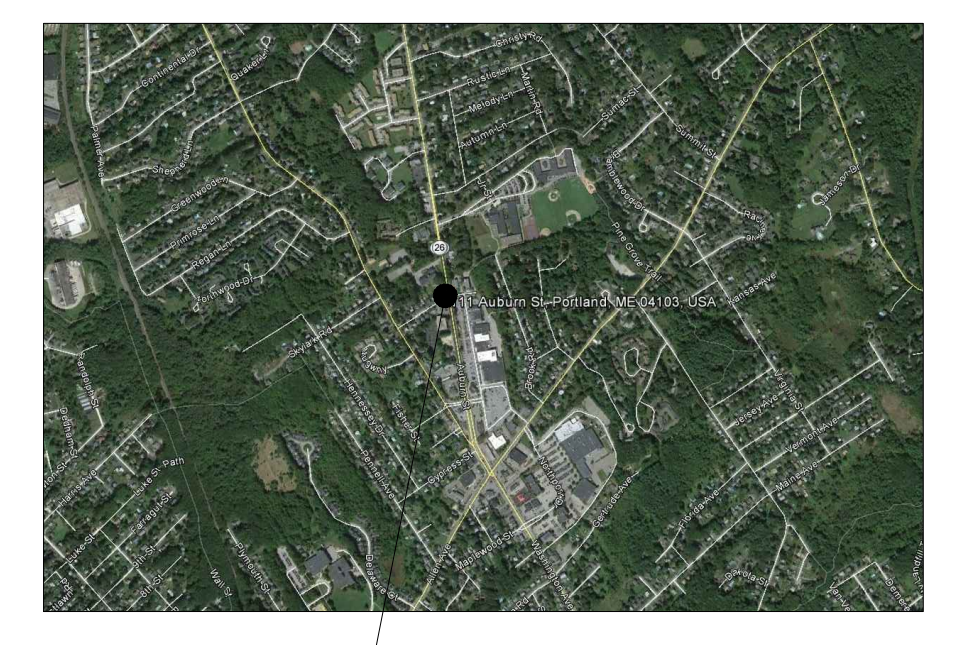


SYMBOLS

■ T-1 TITLE SHEET

ARCHITECTURAL

- F-1 MERCHANDISE PLAN
- A-1 RX CHECKOUT PLAN
HALLWAY FLOOR FINISH PLAN
- A-2 RESTROOM & HALLWAY
PLANS & ELEVATIONS



SITE LOCATION

- CENTERLINE OF COLUMN
- NOTE TAG REFERENCING
GENERAL NOTES ON PLANS
- DOOR NUMBER
RE: DOOR SCHEDULE
- ELEVATION MARK
- ENLARGED PLAN
DETAIL MARK
- SECTION MARK
'SIM' - SIMILAR
'OH' - OPPOSITE HAND

TEAM MEMBERS

ARCHITECT:	WILLIAM STARCK ARCHITECTS 126 COVE STREET FALL RIVER, MA 02720	PAT PETIT TEL: (508) 679-5733 FAX: (508) 672-8556	LANDLORD:	A&D REALTY, LLC 80 HAYDEN AVENUE LEXINGTON, MA 02421 TEL: (781) 674-2020 FAX: (781) 862-9070
CVS PROJECT MANAGER:	CVS/PHARMACY, INC. 1 CVS DRIVE WOONSOCKET, RI 02895	MARK ANDREWS TEL: (401) 770-7263 CELL: (401) 524-9983	CONTRACTOR:	TO BE DETERMINED
CVS PLANNING MANAGER:	CVS/PHARMACY, INC. 1 CVS DRIVE WOONSOCKET, RI 02895	CHRISTOPHER DALY TEL: (401) 770-4542 FAX: (401) 652-0449		

PROJECT INFORMATION

THE BUILDING SHALL BE IN COMPLIANCE WITH THE MOST CURRENT AND APPLICABLE VERSIONS OF:

- MAINE UNIFORM BUILDING & ENERGY CODE (MUBEC)
- 2009 INTERNATIONAL BUILDING CODE (IBC)
- 2009 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- MAINE STATE INTERNATIONAL PLUMBING CODE (UPC 2007)
- NEC 2007 ELECTRICAL STANDARDS ADOPTED PURSUANT TO TITLE 32/1153-A
- NFPA 2007 ADOPTED PURSUANT TO TITLE 25/2452 & 2465
- MAINE HUMAN RIGHTS LAW
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

CONSTRUCTION SCOPE OF WORK

- INTERIOR:**
- REMOVE HALLWAY FLOOR FINISH AND INSTALL NEW SOF RETAL CARPET AND VINYL BASE
 - REMOVE HALLWAY/RETAIL DOOR, INSTALL BLANK PLATES AT REMOVED HARDWARE LOCATIONS.
 - RELOCATE EXISTING RX CREDIT CARD READER & ISA
 - RELOCATE HOUSE PHONE IN RR HALLWAY
 - RELOCATE EXISTING HIGH/LOW WATER COOLER, INSTALL CANE TOUCH APRON
 - LOWER PHOTO WORKTOP AND MODIFY BRACKETS SO THAT THERE IS 30" OF CLEAR SPACE BETWEEN THEM.
 - MODIFY EXISTING OR INSTALL NEW COUPON DISPENSER AT COMPLIANT HEIGHT
- RESTROOMS:**
- REMOVE SHELVING/CABINETS
 - REMOVE COAT HOOKS
 - RELOCATE EXISTING SIGNAGE
 - RELOCATE EXISTING LAVS & MIRRORS
 - RELOCATE EXISTING KOALA BEAR CHANGING TABLES
 - RELOCATE EXISTING SIDE GRAB BARS FOR HEIGHT
 - RELOCATE SOAP DISPENSERS
 - INSTALL NEW ADA DOOR CLOSERS
 - INSTALL NEW VERTICAL GRAB BARS
 - INSTALL NEW WALL MOUNTED TRASH CANS
 - INSTALL NEW DOUBLE TP DISPENSERS

- MENS RESTROOM**
- RELOCATE EXISTING DOOR TO CREATE MINIMUM OF 12" CLEAR TO FRONT OF LAV
 - RELOCATE EXISTING REAR GRAB BAR

2010 ADA STANDARDS

Per the Americans with Disabilities Act Title III Regulations "Section 36.304 Removal of Barriers. (a) General. A public accommodation shall remove architectural barriers in existing facilities, including communication barriers that are structural in nature, where such removal is readily achievable, i.e., easily accomplishable and able to be carried out without much difficulty or expense."

This project is limited to barrier removal only as required by the ADA Title III regulations Section 36.304 Removal of barriers.

(d) Relationship to alterations requirements of subpart D of this part.
(1) Except as provided in paragraph (d)(3) of this section, measures taken to comply with the barrier removal requirements of this section shall comply with the applicable requirements for alterations in paragraph 36.402 and paragraphs 36.404-36.406 of this part for the element being altered. The path of travel requirements of paragraph 36.403 shall not apply to measures taken solely to comply with the barrier removal requirements of this section.

(2)(i) **Safe harbor.** Elements that have not been altered in existing facilities on or after March 15, 2012, and that comply with the corresponding technical and scoping specifications for those elements in the 1991 Standards are not required to be modified in order to comply with the requirements set forth in the 2010 Standards.

(ii)(A) Before March 15, 2012, elements in existing facilities that do not comply with the corresponding technical and scoping specifications for those elements in the 1991 Standards must be modified to the extent readily achievable to comply with either the 1991 Standards or the 2010 Standards. Noncomplying newly constructed and altered elements may also be subject to the requirements of paragraph 36.405(a)(5).

(ii)(B) On or after March 15, 2012, elements in existing facilities that do not comply with the corresponding technical and scoping specifications for those elements in the 1991 Standards must be modified to the extent readily achievable to comply with the requirements set forth in the 2010 Standards. Noncomplying newly constructed and altered elements may also be subject to the requirements of paragraph 36.406(a)(5).

(3) If, as a result of compliance with the alterations requirements specified in paragraph(d)(1) of this section, the measures required to remove a barrier would not be readily achievable, a public accommodation may take other readily achievable measures to remove the barrier that do not fully comply with the specified requirements. Such measures include, for example, providing a ramp with a steeper slope or widening a doorway to a narrower width than that mandated by the alterations requirements. No measure shall be taken, however, that poses a significant risk to the health or safety of individuals with disabilities or others.

INTERNATIONAL BUILDING CODE

Other codes that address barrier removal include IBC 2000 (Section 3408.6, Exception #4), IBC 3003 (Section 3409.6, Exception #4), IBC 2006 (Section 3409.7, Exception #4) and IBC 2009 (Section 3411.7, Exception #4).

IBC 2009 Per the International Building Code 2009 Chapter 34, Existing Structures, Section 3411 Accessibility for Existing Buildings, 3411.7 Alterations affecting an area containing a primary function. Where an alteration affects the accessibility to, or contains an area of primary function, the route to the primary function area shall be accessible. The accessible route to the primary function area shall include toilet facilities or drinking fountains serving the area of primary function.

Exceptions:
4. This provision does not apply to alterations undertaken for the primary purpose of increasing the accessibility of an existing building, facility or element.

MAINE HUMAN RIGHTS LAW

GENERAL NOTES (typ)

1. CONTRACTORS SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS OR INFORMATION, CONTRACTOR SHALL NOTIFY ARCHITECT. FIGURED AND CALCULATED DIMENSION TAKES PRECEDENCE OVER SCALED MEASUREMENTS. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. ALL PLAN DETAILS AND WALL SECTIONS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS DETAILED OR NOTED OTHERWISE.
2. ALL FINISHED FLOOR ELEVATIONS RE: TO ARCHITECTURAL DRAWINGS ONLY. RE: CIVIL DRAWINGS FOR RELATIONSHIP TO PROJECT BENCHMARK(S).
3. VERIFY ALL DIMENSIONS, CONDITIONS, AND GRADES AT JOB SITE. ALL CONTRACTORS SHALL COORDINATE THEIR WORK WITH OTHER TRADES AND REPORT DISCREPANCIES, PRIOR TO THEIR CONSTRUCTION, TO THE ARCHITECT FOR REVIEW AND CLARIFICATION OR ACTION.
4. VERIFY SIZE, LOCATIONS AND CHARACTERISTICS OF ALL EQUIPMENT TO BE FURNISHED WITH MANUFACTURERS OR SUPPLIERS BEFORE BEGINNING CONSTRUCTION.
5. VERIFY SIZE AND LOCATION OF ALL OPENINGS FOR MECHANICAL AND ELECTRICAL EQUIPMENT AND RELATED WORK WITH CONTRACTORS INVOLVED AND EQUIPMENT TO BE FURNISHED. FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS / DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
6. CEILING HEIGHTS SCHEDULED ON THE ROOM FINISH SCHEDULE OR REFLECTED CEILING PLAN ARE TAKEN FROM THE FINISHED FLOOR ELEVATION.
7. ALL PLAN DIMENSIONS ARE TO FACE OF FINISHED WALLS, FACE OF MASONRY, AND CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE.
8. VERIFY ALL ELEVATIONS AND DIMENSIONS OF STRUCTURAL ELEMENTS WITH ARCHITECTURAL DRAWINGS. IN CASE OF CONFLICT, NOTIFY ARCHITECT. THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THEM. ALL DIMENSIONAL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
9. ADD SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT (ANGLES, CHANNELS, ETC.) WITHIN WALLS WHERE THE WEIGHT OF ATTACHED ITEMS OR EQUIPMENT IS TOO GREAT TO BE SUPPORTED BY METAL STUDS. PROVIDE BLOCKING FOR OWNER FURNISHED OR INSTALLED ITEMS.
10. PARTITIONS WHERE INDICATED BY SYMBOL, ARE TO EXTEND AND SEAL AGAINST THE BOTTOM OF THE DECK ABOVE.
11. INSTALL METAL TRIM ON ALL GYPSUM BOARD EDGES ABUTTING OTHER MATERIALS OR STOPPING SHORT OF OTHER MATERIALS TO FORM A REVEAL OR RECESS.
12. USE METAL CORNER BEADS ON ALL GYPSUM BOARD EXTERIOR CORNERS.
13. COORDINATE WITH MECHANICAL CONTRACTOR FOR LOCATIONS OF ALL FLOOR DRAINS.
14. ALL PLUMBING WET WALLS (EXCLUDING CHASES) SHALL BE FRAMED WITH 6" METAL STUDS.
15. ALL PRODUCTS UTILIZED IN THIS CONSTRUCTION SHALL BE ASBESTOS FREE.
16. TRANSITION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL OCCUR AT CENTERLINE OF DOORS AND SHALL BE NO HIGHER THAN 1/4". CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2
17. PAINT ALL WALL SURFACES, DOOR FRAMES, BULKHEADS AND CEILINGS IN ROOMS WHERE INDICATED ON ROOM FINISH SCHEDULE. PAINT BEHIND ALL MOVEABLE ITEMS ADJACENT TO WALLS RECEIVING PAINT AND RELOCATE ITEMS.
18. ALL WEATHER - EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF.
19. ALL WORK TO CONFORM TO ALL LOCAL, STATE, AND NATIONAL BUILDING CODES, INCLUDING ACCESSIBILITY REQUIREMENTS.
20. CONTRACTOR TO REVIEW AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. ANY CONDITIONS NOT DOCUMENTED ON THESE DRAWINGS OR OBSERVED TO BE DIFFERENT THAN THOSE SHOWN ON THESE DRAWINGS ARE TO BE REPORTED TO THE ARCHITECT AND OWNER PRIOR TO BEGINNING CONSTRUCTION.
21. CONTRACTOR TO CONTACT ANY AND ALL LOCAL UTILITIES TO SUBMIT ALL APPLICABLE PERMIT DOCUMENTS, QUALIFICATIONS, ETC., AND BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH PERMITS, UTILITY EXTENSIONS, TAP-INS, ETC. ARCHITECT TO SUBMIT DOCUMENTS FOR PERMIT PLAN REVIEW AND OWNER REVIEW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE PERMITS AND ALL PERMIT AND INSPECTION COSTS.
22. THE CONTRACTOR SHALL REMOVE ALL DEBRIS AS A RESULT OF THIS PROJECT DAILY, OR AS DIRECTED BY OWNER'S REPRESENTATIVE, IN A LEGAL MANNER.
23. EACH SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE AND SCHEDULE HIS WORK WITH THE GENERAL CONTRACTOR AND ALL OTHER CONTRACTORS WHOSE WORK SHALL BE AFFECTED.
24. PARKING AT THE SITE BY ALL CONSTRUCTION STAFF SHALL BE LIMITED TO ONLY THE AREAS DESIGNATED BY THE OWNER.
25. THE AREA OF WORK SHALL MAINTAIN A WEATHER TIGHT AND SECURED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SECURE THE AREA OF WORK.
26. CONTRACTOR SHALL REVIEW ALL PERMIT DOCUMENTS FROM CITY FOR HANDWRITTEN COMMENTS AND OTHER REQUIREMENTS. FORWARD TO ARCHITECT IMMEDIATELY SO DRAWINGS AND SCOPE OF WORK CAN BE REVISED.
27. GC/CONTRACTORS SHALL COORDINATE CARTING OF DEBRIS WITH THE BUILDING MANAGEMENT.
28. ALL FIRE ALARM DEVICES SCHEDULED TO BE RELOCATED DURING CONSTRUCTION TO COMPLY WITH THE CODE AND REQUIRED HEIGHTS.
29. GC/CONTRACTORS SHALL COORDINATE CARTING OF DEBRIS WITH THE BUILDING MANAGEMENT.
30. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

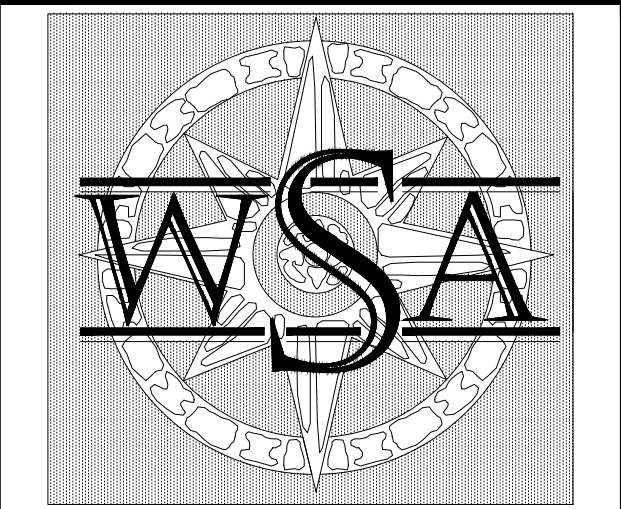


STORE NUMBER: 0329

111 AUBURN STREET
PORTLAND, ME

PROJECT TYPE: SP/ADA
DEAL TYPE:

CS PROJECT NUMBER: 078900
CAF CODE NUMBER: 00089



WILLIAM STARCK
ARCHITECTS, INC.

126 COVE STREET
FALL RIVER, MASSACHUSETTS 02720
TEL: 508.679.5733
FAX: 508.672.8556
E-MAIL: STARCK@STARCKARCHITECTS.COM
WEBSITE: WWW.STARCKARCHITECTS.COM

SEAL:



CONSULTANT:

REVISIONS:

PROJECT MANAGER:	MHA
LAYOUT COORD.	RMA
PROJECT ARCHITECT:	WSA
PLANNING MGR.	CD
DRAWING BY:	PP
DATE:	01/31/14
DRAWING SCALE:	AS NOTED
TITLE:	

TITLE SHEET

SHEET NUMBER: T-1

COMMENTS:
CONSTRUCTION DRAWINGS