

General Conditions

SECTION 01352 - SUSTAINABLE DESIGN REQUIREMENTS

- 1.1 SUMMARY
A. This Section includes general requirements and procedures for compliance with certain U.S. Green Building Council's (USGBC) LEED prerequisites and credits needed for the Project to obtain LEED [Certified] [Silver] [Gold] [Platinum] certification based on [LEED for Retail-NC, Pilot] [LEED for Retail-CI, Pilot].
1.2 DEFINITIONS
A. Certificates of Chain-of-Custody: Certificates signed by manufacturers certifying that wood used to make products was obtained from forests certified by an FSC-accredited certification body to comply with FSC 1.2, "Principles and Criteria."
1.3 SUBMITTALS
A. Project Materials Cost Data: Provide statement indicating total cost for materials used for Project.
B. LEED Action Plans: Provide preliminary submittals within [seven] [14] <insert number> days of date established for [the Notice to Proceed] [the Notice of Award] indicating how the following requirements will be met.

General Conditions (Continued)

SECTION 01420 - REFERENCES

- PART 1 - GENERAL
1.1 INDUSTRY STANDARDS
A. Applicability of Standards: Unless the Contract Documents include more stringent requirements, applicable construction industry standards have the same force and effect as if bound or copied directly into the Contract Documents to the extent referenced.
1.2 ABBREVIATIONS AND ACRONYMS
A. Industry Organizations: Where abbreviations and acronyms are used in Specifications or other Contract Documents, they shall mean the recognized name of the entities in the following list.
1.3 PERFORMANCE REQUIREMENTS
A. End-of-Project Rates for Salvage/Recycling: [50] [75] percent.
B. WASTE MANAGEMENT PLAN
A. Types and quantities of demolition and construction waste.
B. Type of waste and whether it will be salvaged, recycled, or disposed of in landfill or incinerator.
C. Net additional cost or net savings resulting from waste management plan.
1.4 LEED SUBMITTALS
A. Waste Reduction Progress Reports: Concurrent with each Application for Payment, submit completed reporting template.
B. LEED Documentation Submittals:
1. Waste Reduction Progress Reports: Concurrent with each Application for Payment, submit completed reporting template.
2. LEED Progress Reports: Concurrent with each Application for Payment, submit reports comparing actual construction and purchasing activities with LEED action plans for the following:
1. Credit MR 2.1 [and Credit MR 2.2]: Waste reduction progress reports complying with Division 1 Section "Construction Waste Management."
2. Credit MR 3: Salvaged and refurbished materials.
3. Credit MR 3.1 [and Credit MR 3.2]: Segregated and refurbished materials.
4. Credit MR 4 [and Credit MR 4.2]: Recycled content.
5. Credit MR 5.1 [and Credit MR 5.2]: Regional materials.
6. Credit MR 5.1 [and Credit MR 5.2]: Regionally manufactured materials [and regionally extracted and manufactured materials].
7. Credit MR 6 [MR 7]: Certified wood products.
8. LEED Documentation Submittals:
1. Credit SS 7.4, Heat Island Effect, Roof: Product Data for roofing materials indicating Solar Reflective Index.
2. Credit WE 1, Water Use Reduction: Data and cut sheets for all water closets, urinals and flushometers.
3. Credit MR 2, Construction Waste Management: Comply with Division 1 Section "Construction Waste Management."
4. Credit MR 3, Resource Reuse: Receipts for salvaged and refurbished materials used for Project, indicating sources and costs for salvaged and refurbished materials.
5. Credit MR 4, Recycled Content: Product Data and certification letter indicating percentages by weight of post-consumer and pre-consumer recycled content for contractor procured products having recycled content. Include statement indicating costs for each product having recycled content.
6. Credit MR 5.1 [and Credit MR 5.2], Regional Materials: Product data indicating location of material manufacturer for regionally manufactured materials. Include statement indicating cost for each regionally manufactured material [and for each regionally extracted and manufactured material].
a. Include statement indicating distance from manufacturer to Project for each regionally manufactured material.
b. Include statement indicating location of and distance from Project to point of extraction, harvest, or recovery for each raw material used in regionally extracted and manufactured materials.
7. Credit MR 7.0, Certified Wood: Product Data and certificates of chain-of-custody for products containing certified wood.
a. Include statement indicating costs for each product containing certified wood.
b. Include statement indicating total cost for wood-based materials used for Project, including non-rented temporary construction.
8. Credit EQ 3.1, Construction IAQ Management Plan, During Construction:
a. Product Data for temporary filtration media.
b. Product Data for filtration media used during occupancy.
c. Construction Documentation: Six photographs at three different occasions during construction along with a brief description of the SMACNA approach employed, documenting implementation of the IAQ management measures, such as protection of ducts and on-site stored or installed absorptive materials.
9. Credit EQ 3.2, Construction IAQ Management Plan, Before Occupancy:
a. Signed statement describing the building air flush-out procedures including the dates when flush-out was begun and completed and statement that filtration media was replaced after flush-out.
10. Credit EQ 4A, Low-Emitting Materials, Adhesives and Sealants: Product data for adhesives and sealants used inside the weatherproofing system indicating VOC content of each product used. Indicate VOC content in g/L calculated according to 40 CFR 59, Subpart D.
11. Credit EQ 4B, Low-Emitting Materials, Paints and Coatings: Product data for paints and coatings used inside the weatherproofing system indicating chemical composition and VOC content of each product used. Indicate VOC content in g/L calculated according to 40 CFR 59, Subpart D.
12. Credit EQ 4D, Low-Emitting Materials, Composite Wood: Product data for products containing composite wood or agrifiber products or wood glues indicating that they do not contain urea-formaldehyde resin.
13. Credit EQ 4F, Low-Emitting Materials, Ceiling and Wall Systems: Product data for all gypsum board, insulation, acoustical ceiling systems and wall coverings installed in the building interior showing low-emitting certification.

General Conditions (Continued)

SECTION 01574 - CONSTRUCTION INDOOR AIR QUALITY MANAGEMENT PLAN

- 1.1 SUMMARY
A. Section Includes:
1. Description of a construction Indoor Air Quality (IAQ) Management Plan.
2. IAQ construction requirements.
1.2 INDOOR AIR QUALITY
A. Goals: The Owner has set the following indoor air quality goals for jobsite operations on the project, within the limits of the construction schedule, Contract Sum, and available materials, equipment, and services. Goals include:
1. Protect workers on the site from undue health risks during construction.
2. Prevent residual problems with indoor air quality in the completed building.
1.3 REFERENCES:
A. SMACNA IAQ Guidelines for Occupied Buildings Under Construction, 1995.
1.4 CONSTRUCTION IAQ MANAGEMENT PLAN
A. HVAC Protection: Contractor to avoid using permanent HVAC equipment. When not used, system is to be sealed. All penetrations, duct openings will be sealed immediately at the time of installation. When use of permanent HVAC equipment is unavoidable, all supply and return grills and openings are to have temporary filters of Merv 8 installed. HVAC equipment is not to be used during demolition and sanding activities.
B. Provide temporary exhaust fans to maintain space air pressure negative to the outside.
C. Use vacuum-assisted power tools whenever feasible (i.e. drywall sanders and concrete saws). Clean site daily with dust suppression techniques (wet mop, HEPA vacuum). Remove spills and excess applications immediately. Use low VOC, non-toxic cleansers only.
D. Delivery of all materials, fixtures, equipment, and furniture will be directed to vacant available indoor space. All cartons and removed materials, etc. are to be kept clean and dry at all times. Any excessive indoor moisture to be addressed immediately by GC.
E. Temporary construction entry mats will be provided and maintained to retain effectiveness to remove debris during construction.
F. All volatile liquids and solvents to be kept tightly sealed when not in use and stored outside of tenant space.
G. Avoid the use of gas powered tools and equipment. When gas engines are unavoidable, do not allow engines to idle inside indoor space.
H. GC to include IAQ inspections within the weekly job reports, including photos and a tracking sheet.
I. Begin "Before Occupancy" flush-out immediately after all finishes have been installed. Replace all filtration media prior to flush-out. Flush-out with 100% outside air. Maintain an interior air temperature of at least 60° F during flush-out period. Flush-out for 24 hours a day until a minimum of 3,500 cu. ft./sq. ft. of floor area has been achieved. Begin "During Occupancy" flush-out at time of store turnover. Rate of outside air must be at least 0.30 cfm/sq. ft. Begin flush-out each day three hours prior to store occupancy and continue through day's occupancy. Continue flush-out until a total of 14,000 cu. ft./sq. ft. of floor area has been achieved. At the end of flush-out provide new filters.

END OF SECTION 01574

Site Construction

SECTION 02220 - SELECTIVE STRUCTURE DEMOLITION

- 1.1 SUMMARY
A. Demolition and removal of [portions of a building or structure] [selected site elements].
B. Historic items removed and salvaged for Owner.
1.2 SUBMITTALS
A. Qualification Data: For demolition firm, refrigerant recovery technician.
B. Schedule of Selective Demolition Activities: Indicate the following:
1. Detailed sequence of selective demolition and removal work, with starting and ending dates for each activity. Ensure Owner's building manager's and other tenants' on-site operations are uninterrupted.
2. Interruption of utility services. Indicate how long utility services will be interrupted.
3. Coordination for shutoff, capping, and continuation of utility services.
4. Use of elevator and stairs.
5. Locations of proposed dust- and noise-control temporary partitions and means of egress, including for other tenants affected by selective demolition operations.
6. Coordination of Owner's continuing occupancy of portions of existing building and of Owner's partial occupancy of completed Work.
7. Means of protection for items to remain and items in path of waste removal from building.
1.3 PROJECT CONDITIONS
A. Owner will [not] occupy portions of building immediately adjacent to selective demolition area.
B. Hazardous Materials: Unknown whether hazardous materials will be encountered. If encountered, Owner will remove hazardous materials under a separate contract.
1.4 WARRANTY
A. Existing Warranties: <insert list of existing warranties affected by selective demolition.>
1.5 EXECUTION
A. Utility Services and Mechanical/Electrical Systems: Maintained to occupied facilities.
1. Shut Off: By [Owner] [Building manager] [Contractor].
B. Site Access and Temporary Controls: Minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities.
C. Temporary Facilities:
1. Temporary barricades to prevent injury to people.
2. Temporary weather protection.
3. Protection of existing finish work to remain.
4. Protection of furnishings and equipment.
D. Temporary shoring.
E. Removed and Salvaged Items: Cleaned, crated, stored, and transported to Owner's [on] [off]-site storage area.
F. Removed and Reinstalled Items: Cleaned, repaired, crated, stored, and reinstalled.
G. Existing Items to Remain: Existing construction protected against damage.
H. Disposal of Demolished Items:
1. Burning: Not permitted.
2. Disposal: Comply with requirements in General Conditions of the Contract.

END OF SECTION 02220

SECTION 02225 - CUTTING AND PATCHING

- 1.1 SUMMARY
A. Cutting and patching required by the following:
1. Installation of other materials.
2. Finishing.
3. Alterations.
4. Tests and inspections.
1.2 QUALITY ASSURANCE
A. Limitations on Cutting and Patching:
1. Structural Elements: <insert list of elements that requires Architect's approval.>
2. Operational Elements: <insert list of elements that requires Architect's approval.>
3. Miscellaneous Elements: <insert list of elements that requires Architect's approval.>
4. Visual Requirements: <insert list of exposed Work that affects aesthetic qualities.>
1.3 WARRANTY
A. Existing Warranties: <insert list of warranties affected by cutting and patching.>
1.4 MATERIALS
A. In-Place Materials: <insert list of unusual materials that must be matched.>
1.5 EXECUTION
A. Temporary support of Work being cut.
B. Existing Utility Services and Mechanical/Electrical Systems: Services/systems bypassed before cutting to [minimize] [prevent] interruption to occupied areas.
C. Cutting: Using hand or small power tools.
D. Patching: With seams that are as invisible as possible.

END OF SECTION 02225



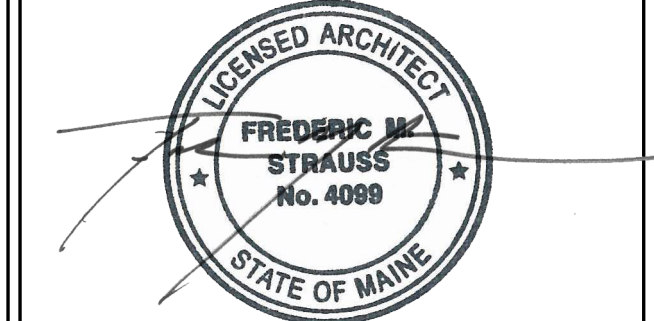
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Architect of Record

Table with 4 columns: Rev, Date, By, Description. Title: Revision Schedule

PROJECT NAME: NORTHGATE PLAZA

PROJECT ADDRESS: 91 AUBURN STREET, PORTLAND ME 04103

STORE #: 2830
PROJECT #: 22764-021
CONCEPT:
PALETTE:
ISSUE DATE: 12/19/2013
DESIGN MANAGER: Eta Kliger
LEED® AP:
PRODUCTION DESIGNER: AH
CHECKED BY: Allison Stadnyck

SHEET TITLE: DESIGN SPECIFICATIONS

SCALE: 1/4" = 1'-0"

SHEET NUMBER: G-0010

END OF SECTION 01352